



City of Lawrence

PLANNING & DEVELOPMENT SERVICES

LAWRENCE HISTORIC RESOURCES COMMISSION
AGENDA FOR **SEPTEMBER 20, 2018**
CITY HALL, 6 E 6TH STREET
6:30 PM

SPECIAL NOTICE: THE CITY OF LAWRENCE HAS EXECUTED AN AGREEMENT WITH THE STATE HISTORIC PRESERVATION OFFICER TO CONDUCT STATE PRESERVATION LAW REVIEWS AT THE LOCAL LEVEL. THEREFORE, THE LAWRENCE HISTORIC RESOURCES COMMISSION WILL MAKE ALL DETERMINATIONS REGARDING PROJECTS THAT REQUIRE REVIEW UNDER K.S.A. 75-2724, AS AMENDED.

ITEM NO. 1: COMMUNICATIONS

- A. Receive communications from other commissions, State Historic Preservation Officer, and the general public.
- B. Disclosure of ex-parte communications.
- C. Declaration of abstentions for specific agenda items by commissioners.
- D. Committee Reports

ITEM NO. 2: CONSENT AGENDA

- A. June Action Summary
- B. Administrative Approvals
 - 1. DR-18-00039 932 Maine Street; Residential Remodel; Oread Design Guidelines Review
 - 2. DR-18-00093 846 Pennsylvania Street; Commercial Remodel; State Law Review and Design Guidelines 8th & Penn Neighborhood Redevelopment Zone Review
 - 3. DR-18-00099 800 Massachusetts Street; Commercial Remodel; State Law Review
 - 4. DR-18-00138 829 Missouri Street; I/I Permit; State Law Review
 - 5. DR-18-00196 1047 Massachusetts Street; Mechanical Permit; State Law Review
 - 6. DR-18-00197 1136 Louisiana Street; Electrical Permit; State Law Review
 - 7. DR-18-00230 623 Massachusetts Street; Commercial Remodel & Sidewalk Dining; Certificate of Appropriateness and Downtown Design Guidelines Review
 - 8. DR-18-00234 710 Massachusetts Street; Sign Permit; State Law Review, Certificate of Appropriateness and Downtown Design Guidelines Review
 - 9. DR-18-00235 811 E 12th Street; Residential Addition; Certificate of Appropriateness
 - 10. DR-18-00236 734 Massachusetts Street; Mechanical Permit; State Law Review

11. DR-18-00237 929 Massachusetts Street; Mechanical Permit; State Law Review
12. DR-18-00248 640 Ohio Street; I/I Permit; State Law Review
13. DR-18-00249 618 Ohio St; I/I Permit; State Law Review
14. DR-18-00267 630 Indiana Street; I/I Permit; State Law Review
15. DR-18-00268 1229 Vermont Street; Commercial Remodel; Certificate of Appropriateness
16. DR-18-00269 825 Massachusetts Street; Commercial Remodel; State Law Review, Certificate of Appropriateness and Downtown Design Guidelines Review
17. DR-18-00285 1126 Ohio Street; I/I Permit; State Law Review
18. DR-18-00289 717 Ohio Street; Mechanical Permit; State Law Review
19. DR-18-00172 Massachusetts Street – 14th to 11th Street; Mill & Overlay; State Law Review and Certificate of Appropriateness
20. DR-18-00281 623 Massachusetts Street; Sign Permit; Downtown Design Guidelines Review and Certificate of Appropriateness
21. DR-18-00305 704 Massachusetts Street; Sign Permit; State Law Review, Downtown Design Guidelines Review and Certificate of Appropriateness
22. DR-18-00307 1745 W 24th Street; Commercial Remodel; Certificate of Appropriateness
23. DR-18-00311 716 Massachusetts Street; I/I Permit; State Law Review
24. DR-18-00320 724 Massachusetts Street; Commercial Remodel; State Law Review, Downtown Design Guidelines Review and Certificate of Appropriateness
25. DR-18-00322 716 Louisiana Street; Mechanical Permit; State Law Review
26. DR-18-00323 623 Massachusetts Street; Commercial Remodel; Downtown Design Guidelines Review and Certificate of Appropriateness
27. DR-18-00328 900 New Hampshire Street; Sidewalk Dining; Downtown Design Guidelines Review and Certificate of Appropriateness
28. DR-18-00331 925 Vermont Street; Commercial Remodel; State Law Review
29. DR-18-00332 900 New Hampshire Street; Sign Permit; Downtown Design Guidelines Review and Certificate of Appropriateness
30. DR-18-00334 612 Louisiana Street; I/I Permit; State Law Review
31. DR-18-00339 1224 Rhode Island Street; Plumbing Permit; State Law Review
32. DR-18-00346 703 Indiana Street; I/I Permit; State Law Review
33. DR-18-00347 843 Massachusetts Street; Sign Permit; State Law Review, Downtown Design Guidelines Review and Certificate of Appropriateness
34. DR-18-00348 714 Massachusetts Street; Sign Permit; State Law Review, Downtown Design Guidelines and Certificate of Appropriateness
35. DR-18-00349 1828 Massachusetts Street; Sign Permit; Certificate of Appropriateness

36. DR-18-00360 2341 Massachusetts Street; Electrical Permit; State Law Review
37. DR-18-00367 743 Louisiana Street; I/I Permit; State Law Review
38. DR-18-00368 129 South Park Street; Residential Remodel; Certificate of Appropriateness and Oread Design Guidelines Review
39. DR-18-00369 723 Louisiana Street; I/I Permit; State Law Review
40. DR-18-00370 524 Louisiana Street; I/I Permit; State Law Review
41. DR-18-00372 716 Massachusetts Street; Commercial Remodel; State Law Review, Downtown Design Guidelines and Certificate of Appropriateness
42. DR-18-00374 1317 Massachusetts Street; Residential Remodel; Certificate of Appropriateness and Oread Design Guidelines Review
43. DR-18-00382 701 Louisiana Street; I/I Permit; State Law Review
44. DR-18-00384 8 W 9th Street; ROW Permit; State Law Review
45. DR-18-00388 1338 New Hampshire Street; Electrical Permit; State Law Review
46. DR-18-00389 740 New Hampshire Street; Sign Permit; Downtown Design Guidelines Review and Certificate of Appropriateness
47. DR-18-00390 1027 Vermont Street; Sign Permit; Downtown Design Guidelines Review
48. DR-18-00391 1100 Indiana Street; Sign Permit; Oread Design Guidelines Review
49. DR-18-00392 723 New York Street; Residential Remodel; Certificate of Appropriateness

ITEM NO. 3: PUBLIC COMMENT

ADDRESSING THE COMMISSION: The public is allowed to speak to any items or issues that are not scheduled on the agenda after first being recognized by the Chair. As a general practice, the Commission will not discuss/debate these items, nor will the Commission make decisions on items presented during this time, rather they will refer the items to staff for follow up. Individuals are asked to come to the microphone, sign in, and state their name and address. Speakers should address all comments/questions to the Commission.

AGENDA ITEMS MAY BE TAKEN OUT OF ORDER AT THE COMMISSION'S DISCRETION

ITEM NO. 4: DR-18-00297 804 Pennsylvania Street; Commercial Addition; State Law Review and Design Guidelines 8th & Penn Neighborhood Redevelopment Zone Review. The property is a contributing structure to the East Lawrence Industrial Historic District, National Register of Historic Places and is located in the 8th & Pennsylvania Urban Conservation Overlay District. Submitted by Paul Werner Architects on behalf of Ohio Mortgage Investors, property owner of record.

ITEM NO. 5: DR-18-00396 945 Kentucky Street; Residential Rehabilitation; State Law Review, Oread Design Guidelines Review and Certificate of Appropriateness. The structure is listed as a contributing structure in the Oread Historic District, National Register of Historic Places, and is located in the Oread Neighborhood Conservation Overlay District. The property is also located in the environs of the Oread Neighborhood Historic District (1000 Block west side of Tennessee

Street and 1000 Block east side of Ohio Street), and the Charles and Adeline Duncan House (933 Tennessee), Lawrence Register of Historic Places. Submitted by Dale Nimz on behalf of Michael Heitmann, property owner of record.

ITEM NO. 6: DR-18-00397 1215 Delaware Street; Residential Addition & Detached Garage; Certificate of Appropriateness. The structure is located in the environs of the John & Mina Madson House (1208 Delaware), Lawrence Register of Historic Places. Submitted by Forward Design Architecture on behalf of Christian Beer, property owner of record.

ITEM NO. 7: MISCELLANEOUS MATTERS

- A. Provide comment on Zoning Amendments, Special Use Permits, and Zoning Variances received since June 21, 2018.
 - 941 Pennsylvania Street Zoning Variances
- B. Review of any demolition permits received since June 21, 2018.
- C. Miscellaneous matters from City staff and Commission members.
 - 826 Rhode Island Street changes to approved plan
 - Appoint a Historic Resources Commissioner to serve on the Steering Committee for the Downton Master Plan. The Steering Committee will advise, review, and provide feedback to the consultant, within the framework of the project scope, throughout the process for drafting the Downtown Master Plan.
 - Materials request for 1346 Maple Lane



6425 SW 6th Avenue
Topeka KS 66615-1099

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Governor Jeff Colyer, M.D.
Jennie Chinn, Executive Director

September 14, 2018

Lynne Zollner
Lawrence Historic Resources Commission
City of Lawrence
PO Box 708
Lawrence, KS 66044

Re: First Methodist Episcopal Church (946 Vermont Street, Lawrence KS, Douglas County)

Dear Ms. Zollner:

We are pleased to inform you that the *First Methodist Episcopal Church* will be considered by the Kansas Historic Sites Board of Review for nomination to the National Register of Historic Places and Register of Historic Kansas Places at its next meeting on November 17, 2018. You are being notified because the property is within the boundaries of Lawrence, KS, a Certified Local Government.

Per the requirements of 36 CFR 60-61 and Section IV of the *Procedures for Implementation of Certified Local Governments in Kansas*, we are providing your historic resources commission the opportunity to comment on this nomination. Your commission has 60 days to review and comment on this nomination. **In accordance with Section IV (C), we request receipt of the commission's recommendation report by November 15, 2018.**

The National Register of Historic Places is the federal government's official list of historic properties worthy of preservation. Listing in the National Register provides recognition and assists in preserving our nation's heritage. Should you have any questions about this nomination before the Kansas Historic Sites Board of Review meeting, please contact me at ext. 217 or at Patrick.Zollner@ks.gov.

Sincerely,

Jennie Chinn
State Historic Preservation Officer

Patrick Zollner
Deputy State Historic Preservation Officer

enclosure

cc: Janet Shupert-Arick, Douglas County Heritage Conservation Council

United States Department of the Interior
National Park Service

DRAFT
09/12/218

National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. **Place additional certification comments, entries, and narrative items on continuation sheets if needed (NPS Form 10-900a).**

1. Name of Property

Historic name First Methodist Episcopal Church

Other names/site number First M.E. Church; First Methodist Church; First United Methodist Church; KHRI: 045-3010-00022

Name of related Multiple Property Listing N/A

2. Location

Street & number 946 Vermont Street

--

 not for publication

City or town Lawrence

--

 vicinity

State Kansas Code KS County Douglas Code 045 Zip code 66044

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property meets does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

national statewide local Applicable National Register Criteria: A B C D

Signature of certifying official/Title Patrick Zollner, Deputy SHPO Date _____

Kansas State Historical Society
State or Federal agency/bureau or Tribal Government

In my opinion, the property meets does not meet the National Register criteria.

Signature of commenting official _____ Date _____

Title _____ State or Federal agency/bureau or Tribal Government

4. National Park Service Certification

I hereby certify that this property is:

entered in the National Register determined eligible for the National Register

determined not eligible for the National Register removed from the National Register

other (explain) _____

Signature of the Keeper _____ Date of Action _____

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5. Classification

Ownership of Property
(Check as many boxes as apply.)

<input checked="" type="checkbox"/>	private
<input type="checkbox"/>	public - Local
<input type="checkbox"/>	public - State
<input type="checkbox"/>	public - Federal

Category of Property
(Check only **one** box.)

<input checked="" type="checkbox"/>	building(s)
<input type="checkbox"/>	district
<input type="checkbox"/>	site
<input type="checkbox"/>	structure
<input type="checkbox"/>	object

Number of Resources within Property
(Do not include previously listed resources in the count.)

<u>Contributing</u>	<u>Noncontributing</u>	
1	0	buildings
0	0	sites
0	0	structures
0	0	objects
1	0	Total

Number of contributing resources previously listed in the National Register

0

6. Function or Use

Historic Functions
(Enter categories from instructions.)

RELIGION: religious facility

Current Functions
(Enter categories from instructions.)

RELIGION: religious facility

7. Description

Architectural Classification
(Enter categories from instructions.)

LATE VICTORIAN: Romanesque
MODERN MOVEMENT

Materials
(Enter categories from instructions.)

foundation: STONE: Limestone
CONCRETE
walls: STONE: Limestone
BRICK
roof: ASPHALT
SLATE
METAL
SYNTHETICS
other: _____

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Narrative Description

Summary

First Methodist Episcopal Church, used continuously as a religious facility since February 8, 1891, is located at 946 Vermont Street in downtown Lawrence, Douglas County, Kansas, adjacent to the city's Original Townsite plat. The oldest and most prominent portion of the building was designed by John G. Haskell in 1888 and built between 1889 and 1891. The three-story Romanesque Revival building is situated on two lots at the northeast corner of Vermont Street and 10th Street (formerly Berkley Street). The church acquired two additional lots to the north of the stone building in 1949 and 1958, and in 1962 a three-story modern brick wing, designed by Robertson & Ericson, completed along Vermont Street, creating an L-shaped plan. A third addition was constructed in 1987 to the east of the 1962 addition, and a new west entry along Vermont Street between the 1891 and 1962 portions was completed in 1987. The church building retains good historic integrity of location, setting, design, materials, and workmanship that allow the building to convey its architectural significance from 1889, when the stone church's construction began, through 1962 when the Modern addition was constructed.

Elaboration

Setting

First Methodist Episcopal Church (Church) is located in downtown Lawrence at the northeast corner of Vermont Street and W. 10th Street. (*Figures 1 and 2*). Although the church is closely associated with the downtown development, it is just east of the commercial district, Lawrence's Downtown Historic District and west of the residential district, Oread Historic District. There is an auto related shop to the south and a parking lot to the north of the church. The setting is generally an urbanized area with street trees around the exterior on the north, east, and south, with the alley directly abutting the east boundary.

Lots 90 and 92 were purchased in 1872 and are located at the northeast corner of Vermont and 10th. Construction of the current stone church building was completed by 1889 on those lots. By that time, the Plymouth Congregational Church, which is across Vermont from the church and the Trinity Episcopal Church, catty-corner from the church, on the southwest corner were built. Lots 86 and 88 were purchased in subsequent years to accommodate the 1962 educational wing addition. In 1987, an addition was added to the 1962 addition to accommodate a fellowship hall. Between the 1891 building and the later 1987 addition is a fenced in area with the Church's power station, visible only from the alley to the east of the church. The church with its subsequent addition now takes up the entire four lot parcel.



Figure 1: Contextual map; church is marked by yellow square.

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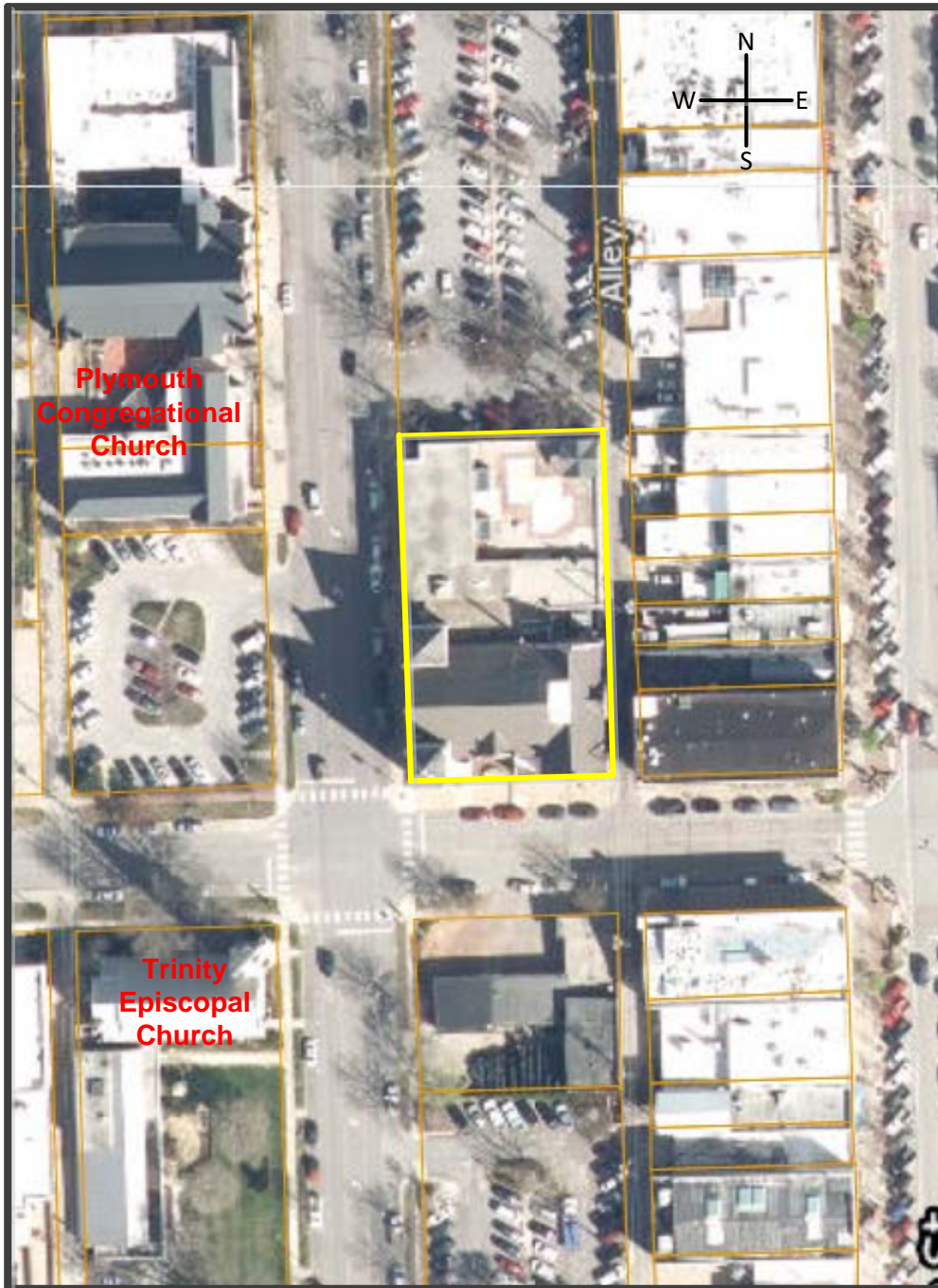


Figure 2: Aerial map; church is marked by yellow border.

Lawrence, Kansas Sanborn Maps

Originally the north, south and west sides of the Church faced a neighborhood of houses and other churches. Over time, the churches remained, but houses were replaced with commercial buildings and parking lots. The Church's east side has always faced an alley that backs up to the rear of the commercial buildings on Massachusetts Street.

The September 1883 Sanborn map shows the Methodist Church's old stone foundation taking up Vermont Street lots 90 and 92 in entirety on the northeast corner. Directly north of the stone foundation are dwellings and a boarding house. On the east side is the alley, which faces the backs of commercial buildings whose fronts face Massachusetts Street. The businesses include furniture, groceries and wall paper. On the

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southeast corner is a dwelling. Further south from the dwelling is S.A. Brown & Co lumber yard. On the southwest corner is Trinity Episcopal Church. The northwest corner is an orchard; further north dwellings, followed by Plymouth Congregational Church.

By the September 1889 Sanborn map the northeast corner shows the new Methodist Episcopal Church, taking the entire parcel. Directly north of the church continue to be dwellings and a boarding house. On the east side is the alley, which faces the backs of commercial buildings whose fronts face Massachusetts Street. The businesses include candy, furniture and stoves. The southeast corner has a larger dwelling. Further south from the dwelling is S.A. Brown & Co lumber yard. On the southwest corner is Trinity Episcopal Church. The northwest corner is a lot; further north dwellings, followed by Plymouth Congregational Church.

The February 1897 Sanborn map continues to show the Methodist Church on the northeast corner. Directly north of the church continue to be dwellings and a boarding house. On the east side is the alley, which faces the backs of commercial buildings whose fronts face Massachusetts Street. The businesses include candy, furniture and meat. The southeast corner has a large dwelling. Further south from the dwelling is tennis courts which replaced the lumber yard. On the southwest corner is Trinity Episcopal Church. The northwest corner is a lot; further north dwellings, followed by Plymouth Congregational Church.

The new century arrives. The February 1905 Sanborn map has the Methodist Church on the northeast corner. Directly north of the church continue to be dwellings. On the east side is the alley, which faces the backs of commercial buildings whose fronts face Massachusetts Street. The businesses include coal and wood yard, hardware and meat. The southeast corner has a large dwelling. Further south the tennis courts were replaced with dwellings. On the southwest corner is Trinity Episcopal Church. The northwest corner is a lot; further north dwellings, followed by Plymouth Congregational Church.

The April 1912 Sanborn map shows the Methodist Church on the northeast corner. Directly north of the church continue to be dwellings, as well as, the beginnings of commercial buildings. On the east side is the alley, which faces the backs of commercial buildings whose fronts face Massachusetts Street. The businesses, in one building, included hardware on the first floor, furniture on the second floor and a dance hall on the third floor. This building would one day be owned by the Methodist Church. The southeast corner has a large dwelling. Further south dwellings. On the southwest corner is Trinity Episcopal Church. Beginning at the northwest corner north of Plymouth Congregational Church are dwellings.

The January 1918 Sanborn map shows the Methodist Church on the northeast corner. Directly north of the church continue to be dwellings, as well as, the beginnings of commercial buildings. On the east side is the alley, which faces the backs of commercial buildings whose fronts face Massachusetts Street. The businesses, in one building, included hardware on the first floor, furniture on the second floor and a dance hall on the third floor. This building would one day be owned by the Methodist Church. The southeast corner has a large dwelling. Further south dwellings. On the southwest corner is Trinity Episcopal Church. Beginning at the northwest corner north of Plymouth Congregational Church are dwellings.

The January 1927 Sanborn map shows the Methodist Church on the northeast corner. Directly north of the church continue to be dwellings, as well as, the beginnings of commercial buildings. On the east side is the alley, which faces the backs of commercial buildings whose fronts face Massachusetts Street. The businesses, in one building, included hardware on the first floor, furniture on the second floor and a dance hall on the third floor. This building would one day be owned by the Methodist Church. The southeast corner has a large dwelling. Further south dwellings. On the southwest corner is Trinity Episcopal Church. Beginning at the northwest corner north of Plymouth Congregational Church are dwellings.

Changes identified for each of the Sanborn years; 1935, 1954, 1959, 1961, 1968 were drawn, cut and pasted onto the 1927 map. The last Sanborn map reflects the Methodist Church with the 1962 education wing on the northwest corner. Directly north of the church is parking. On the east side is the alley, which faces the backs of commercial buildings whose fronts face Massachusetts Street. The businesses are now unidentified. The

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southeast corner shows a tire store. Further south a mix of commercial and dwellings. On the southwest corner is Trinity Episcopal Church. Beginning at the northwest corner is one dwelling, north is parking, followed by Plymouth Congregational Church.

Church Building – Exterior

The Church occupies the entirety of four city lots. The three-story 1891 Romanesque Revival limestone building occupies most of the southern two lots with public facades facing west towards Vermont Street and south towards 10th Street. Attached to the north of the 1891 building is a three-story blond brick Modern Education Wing, constructed in 1962. A non-historic (1987) addition fills in the ell of the two historic portions (*Figure 3*). The current main entrance to the Church is within the space between the 1891 and 1962 portions on Vermont Street. This entry, added in 1987, is a combination of steel and glass; this includes the roof, wall to north and south of entry doors and the doors. Because of the complexity of the Church's footprint, the following description is organized chronologically, beginning with the 1891 building.



Figure 3: Vermont and 10th Streets; southwest corner

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Figure 4: Main entrance

1891 Romanesque Revival Building

The 1891 Romanesque Revival section of the Church (*Figure*

5) is a three-story building constructed of quarry-faced limestone laid in broken ashlar with facing and trim of Cottonwood stone. The gable roof is covered in asphalt shingles. Two square towers with a central gable-front bay have pyramidal black slate roofs. The north tower is three stories, and the south bell tower is four stories. The north tower has a wide cornice band with a checkerboard pattern formed by alternating quarry-face and dressed-face stones. The south bell tower has brackets at the roof eaves, and round spired columns at the four corners. It is open on the fourth story, which is striking for its large radiating stones on the arched openings, a hallmark of the Romanesque Revival style.



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Figure 5: The new church early 1900s; southwest corner
West (Vermont Street) Façade

The windows in both towers vary in treatment. Second story has small rectangular stained glass windows, while the third story has small rectangular stained glass windows with round stone arches above. When constructed, a large arch window of stained glass was located in the wall between the two towers (*Figure 6*). The window was bricked up in 1939 due to leakage, and the smaller round stained glass rose window was added in the top part of the original window space. The windows at street level (basement) are double hung aluminum windows. Two sets of double wood entry doors, set between the two towers, are both within Romanesque arches.



Figure 6: Former arch window

South (10th Street) Façade

The south elevation, also a primary facade, has cross gable bays. The windows vary in treatment. Similar to the north side, the second story has small rectangular stained glass windows, while the third story has small rectangular stained glass windows with round stone arches above. Several singular stained glass windows are found on both primary elevations. Set between the two entries is a three-story Romanesque arched panel. The gable ends have parapet tops at the peaks. On the west side is a stone covered entrance with rubber roof, added in circa 1962. The double glass door entrance provides access down concrete stairs to the basement and the original fellowship hall. To the west of the covered entrance is a street level former window that has been infilled with brick. To the east of the covered entrance, at street level, are three double hung aluminum windows. The original south entrance to the church is the Romanesque stone arch entry with two sets of oak, hand carved, doors in eight sections in a floral design. To the east of the oak doors are street level windows

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with glass block. On the east side of the façade, by the roof line, is a circular window that has been infilled with brick (*Figure 7*).



Figure 7: Elegant late 18th century façade

East (Alley) Façade

The east elevation faces the alley (*Figure 8*). Similar to the west and south facades, the second story has small rectangular stained glass windows, while the third story has small rectangular stained glass windows with round arches above. On the south end, third story, second window is now infilled with brick. Street level windows are glass block. There are two exits from the stone church on this side. One exit, with steel door, is from the basement directly to the alley. The other exit, with steel door, exits from the original stone basement to alley.



Figure 8: Back alley

There are five building exits to the alley. From the stone church; two exits. The first exit is from the first story, facing east, through a tan painted wood door, directly to the alley. The second exit, facing north, from the third

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story is a solid steel door and down a flight of green steel steps. The third exit is from the 1962 addition. This exit from the enlarged boiler room, faces east, through a wide solid steel door.

The remaining exits are from the 1987 addition. The first exit is from the second story, facing south, through a green steel and glass door and down concrete steps. The second exit, facing south, from the first story are green double steel and glass doors and up concrete steps. Exit through any of the steel doors leads to a chain link gate that opens directly onto the alley.

North Façade

The majority of this wall is covered by the 1962 addition (northwest side) with no windows and the 1987 addition (northeast side) has two single inset glass block windows (*Figure 9*).



Figure 9: Parking lot view



Figure 10: Staircase, northwest tower

Church Building – Interior

The interior retains much of the original white oak wainscoting, carved white oak door trim (*Figure 10*), metal door handles, hinges and trim (*Figure 11*). On the second floor, southeast corner, is the library. The wood burning fireplace is original to 1891 (*Figure 12*). The hand carved wood mantle includes the original mirror above the mantle, as well as, the tile surrounding the opening to the fire box.

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Figure 11: Original door hardware



Figure 12: Original library fireplace

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1891 Romanesque Revival Building

The original limestone foundation is intact and has been maintained. The foundation has changed in the areas where the second entrance from 10th Street was added in 1939 (*Figure 13*) and the 1962 addition. In the boiler room the location of the original coal and/or wood chute can still be seen on the east stone wall; which is across from the Majestic ash clean out door for the original chimney (*Figure 14*). The first floor has the original pastor's office on the south side which is now used for storage. The original stair cases from the second floor southeast and southwest corners are present. The original class room area on the east side, where bible studies were held, has at one time been the choir room and is now the youth place. The original location for the kitchen on the west side is now a secondary kitchen. The remaining space that was the original fellowship hall has been divided into separate rooms to support the needs of the current congregation.



Figure 13: Entry and stairwell to old fellowship hall

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Figure 14: Original coal chute (left) and ash clean out door (right)

The layout for the second floor has changed little since 1891. The original Vermont Street 1891 main entries still exist. In 1939 the main entrance changed to the 10th Street entry (Figure 15). These entries lead to the sanctuary. The library is off the 10th Street entrance. Original stairs to both towers are off the Vermont Street entries.



Figure 15: Main entry; 1939

The sanctuary is most of the second floor. The vestry of the sanctuary has always faced west (Figure 16). Originally the sanctuary had third floor galleries on the north, south and east sides (Figure 17). The gallery depth allotted three rows of pews. The north and south galleries were removed in 1939, leaving the east gallery (Figure 18) until removal in 1982. The original stain glass exists on the north, south and east walls. The original stain glass (west wall) (Figure 19) was removed in 1939 and the rose window installed in the top part of the original window space.

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Figure 16: Vestry, 1939

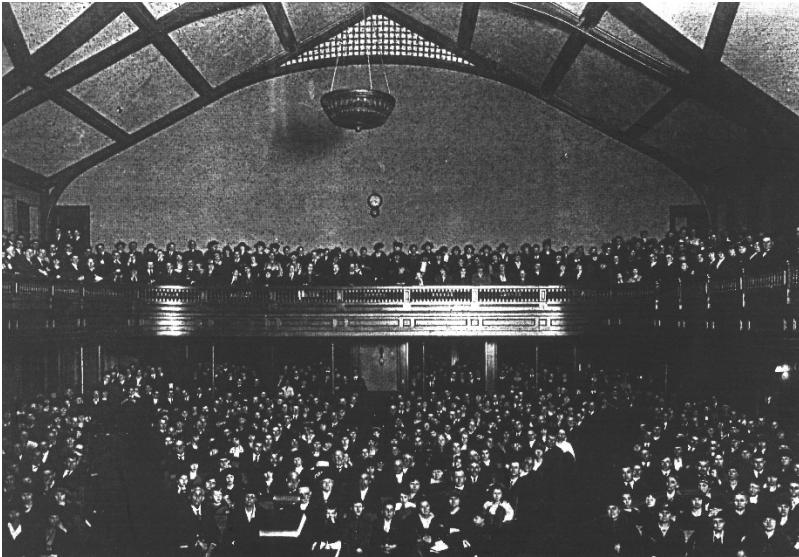


Figure 17: Galleries; pre-1939

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Figure 18: Gallery; 1939



Figure 19: Two stories of stain glass; west wall, January 2, 1938

The third story is located on the east side. Stain glass windows are present along the south, east and north walls. Originally the east gallery had a door on each end to the gathering area. When the east gallery was removed, the gathering space was expanded to include the former gallery. This gathering space has been used as a youth place and presently the choir room. An office is located in the southeast corner outside the choir room. The southwest tower is four stories, the first three stories each have one room with stain glass windows on the south and west walls. The belfry is located on the top story. The northwest tower is three

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stories. Each story has one room with stain glass windows on the west and north walls. Two large unfinished attics are present.

1962 Modern Addition

On the northwest side is the first addition completed in 1962 on Vermont Street lots 86 and 88 (*Figure 20*). Vermont Street lot 88 was procured in March 1949. Vermont Street lot 86 was left to the church in July 1958. The three story education wing is constructed of brick and concrete. All windows are double hung aluminum windows. The roof is asphalt and gravel. A new gathering area was added tying the west portion of the north exterior, of the 1891 church, to the 1962 addition. New staff offices were also built in this location.



Figure 20: Education wing

West (Vermont Street) Façade

On the north side of the façade is a double glass door exit with two stories of colored glass above the door.

North (Parking Lot) Façade

The north wall is blank. There is no exit on this side of the building.

The education wing contains three floors of classrooms. Continued growth of the congregation brought need for more classroom space for bible studies, Christian education, meetings and community programs. The United Child Development Center (UCDC) was established to meet the needs of children pre-kindergarten and parents in the congregation and surrounding communities. UCDC provides quality care in a Christian environment with opportunity for the child to develop physically, mentally, emotionally, socially and spiritually to their fullest potential. The children's playground is ground level behind (east) of the education wing.

1987 Addition

The Church's northeast portion is a later addition built in 1987. Split faced concrete block was used predominantly to tie the stone original building together with the brick addition. This addition has an EDPM roof covered in concrete pavers which creates a fenced rooftop patio. Most windows are glass block, but the south façade also has one over one replacement windows. There are two exits from the later addition. The first exit is from the second story, facing south, through a steel and glass door and down steel steps. The second exit, facing south, from the first story are double steel doors that exit directly to the alley. This north side of the building is flush with the north wall of the 1962 addition. The east third story is an open outdoor gathering area. Two entrances lead from the addition to the parking lot.

This most recent addition, on the first floor, was a new fellowship hall, where the children's playground previously was located, as well as, a large new modern kitchen. The outdoor playground moved to the east third story. The staff offices were moved to the second floor in the education wing, allowing the greeting area to be expanded. An elevator was incorporated into the education wing providing access to all three stories.

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Integrity

The west, east and south exterior sides of the stone church look very much as it did 127 years ago.

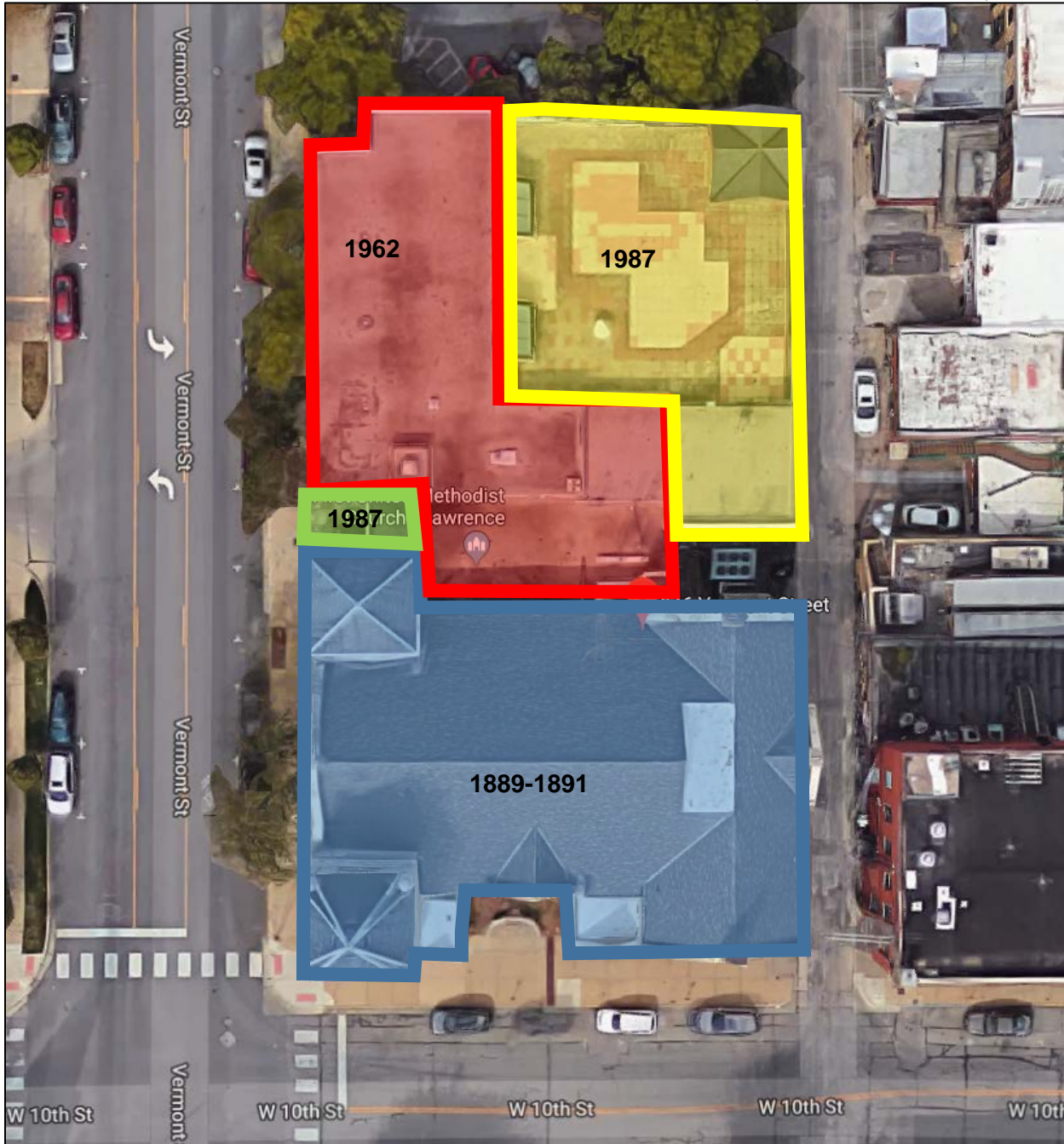


Figure 21: Aerial map with addition dates.

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8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B Property is associated with the lives of persons significant in our past.
- C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- A Owned by a religious institution or used for religious purposes.
- B removed from its original location.
- C a birthplace or grave.
- D a cemetery.
- E a reconstructed building, object, or structure.
- F a commemorative property.
- G less than 50 years old or achieving significance within the past 50 years.

Areas of Significance

ARCHITECTURE

Period of Significance

1888-1962

Significant Dates

1888-1891, 1939, 1954, 1962 (addition)

Significant Person

(Complete only if Criterion B is marked above.)

N/A

Cultural Affiliation

N/A

Architect/Builder

Haskell, John Gideon (1891 architect)

Dahlene, Daniel (1891 stonemason)

T.C. White (1891 carpentry)

Robertson & Ericson (1962 architect)

Finney & Turnipseed (1962 structural engineer)

Moore & Clark (1962 mech. & elec. engineers)

Period of Significance (justification)

The period of significance spans the years of construction, beginning in 1888 when the oldest portions of the church building were undertaken and ending in 1962 with the completion of the modern wing.

Criteria Considerations (justification)

This property also falls under Criterion Consideration A because it is owned by a religious organization and is used for religious purposes. Because the property derives its primary significance from its architecture, it meets Criterion Consideration A.

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Narrative Statement of Significance

Summary

First Methodist Episcopal Church (1888-1891) is nominated to the National Register of Historic Places under Criterion C for its architectural significance as an picturesque Late Victorian-era church, Romanesque Revival style building with a strong Richardsonian influence.

Elaboration

Church History

The Beginning

In 1854 Kansas officially becomes a US Territory in late May. The city of Lawrence is founded in September. Methodist ministers, William H. Goode and James Griffing, arrive in Lawrence in November to begin Methodist ministry in the territory. "June 17, 1855 is the date usually assigned for the organization of the local Methodist Church...It is believed that this took place under the branches of a spreading oak on the west side of the 800 block of Kentucky Street."¹

The Tent Church 1855-1857

After meeting in various homes and even some business places, a primitive church was erected in 1855 at the southwest corner of Vermont and 10th Street, formerly Berkley Street (*Figure 22*). The Methodist Episcopal Church had rough board sides, a dirt floor and a canvas roof. It was commonly known as 'the tent' and was destroyed by a storm.



Figure 22: Model of "The Tent"; 1856

Frame Church 1858-1865

July 6, 1855, the church purchased lot 34, 724 Vermont Street for \$150. By 1858 a wood frame church (*Figure 23*) is completed at a cost of about \$2000. On August 21, 1863 the Lawrence massacre (also known as Quantrill's raid) left an estimated 164 civilians dead. The seats of the Methodist Church were removed, and the bodies were laid out in long rows as an improvised morgue and hospital for the wounded. A famous Harper's Weekly illustration shows the Lawrence business district following Quantrill's raid. "The drawing, looking south along Massachusetts Street after the raid... few remaining buildings, the dry goods store and the Methodist Church, stand amidst the burned remains of the rest of the commercial district."² "For many days following the

¹ "Share the Faith Assure the Future" (private collection of First United Methodist Church, 1988), 1.

² Lawrence Convention and Visitors Bureau, "Quantrill's Raid: The Lawrence Massacre" (brochure, University of Kansas Map Associates, 1997), 12.

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scene of terror, the people, fearing fresh bands of marauders carried their arms to church, stacked them behind the door, and detailed a guard for duty outside.”³ The frame church building was sold November 15, 1865 and was later used as a home. The building was razed in 1940. A historical marker was placed on the west exterior wall of the commercial building on lot 34: ‘Site of First Methodist Church in Lawrence Bought July 6, 1855 Building Erected 1857 Used as Morgue Aug 21, 1863’.



Figure 23: 724 Vermont Street; Cabinet card 1858-1865

Brick Church 1864-1891

In 1864 the foundation and cornerstone for a new church at the southwest corner of Massachusetts and 10th Street (formerly Berkeley Street) were laid. Construction of the red brick church was stopped twice. The first the result after Quantrill's raid “leaving the city in ruins, business suspended, the people discouraged and poor...The work of church building resumed but was again interrupted when all able-bodied men were needed to fill the Kansas regiments.”⁴ The church (*Figure 24*) was completed in August 1865, at a cost of \$15,000. The church was occupied for 25 years. Lawrence financier J.B. Watkins purchased the former church building in spring 1890 from the Methodist Church for \$5,000, and it was razed in 1909.

³ “Memorial Book and Directory of First Methodist Episcopal Church” (private collection of First United Methodist Church, 1891), 2.

⁴ “Memorial Book and Directory of First Methodist Episcopal Church”, 2.

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Figure 24: Massachusetts and Berkeley Streets; date unknown

Stone Church 1891-Present

In 1872, the First Methodist Episcopal Church building committee purchased Lots 90 and 92 at the northeast corner Vermont and 10th for \$2,200. Architect George Wells was commissioned to design a large Gothic-style stone church (*Figure 25*). "Ground for the new structure was broken on October 21, 1872 but construction progress was slow due to difficulty in collecting pledges. It was almost a year before the building committee could report that the structure was ready for floor joists. At this point construction stopped completely due to lack of funds."⁵ The financial panic of 1873, as well as, the 1874 drought and grasshopper infestation took years to recover. To this end "a new church edifice was planned, lots were purchased, and a foundation put in at a cost of about \$8,000."⁶ The September 1883 Lawrence Kansas Sanborn map described the location as the "old stone foundation."⁷

⁵ John M. Peterson, *John G. Haskell: Pioneer Kansas Architect* (Lawrence, KS: Douglas County Historical Society, 1984), 176.

⁶ "Memorial Book and Directory of First Methodist Episcopal Church", 5.

⁷ Sanborn Map and Publishing Co, *Lawrence, Kansas: 1883*. Map. (New York: Sanborn Map and Publishing Co, 1883), 4. From University of Kansas Spencer Research Library, KU LUNA Collections. <https://luna.ku.edu/luna/servlet/view/all/where/Lawrence?sort=identifier%2Carea%2Ccitation%2Cclassification> (accessed April 26, 2018).

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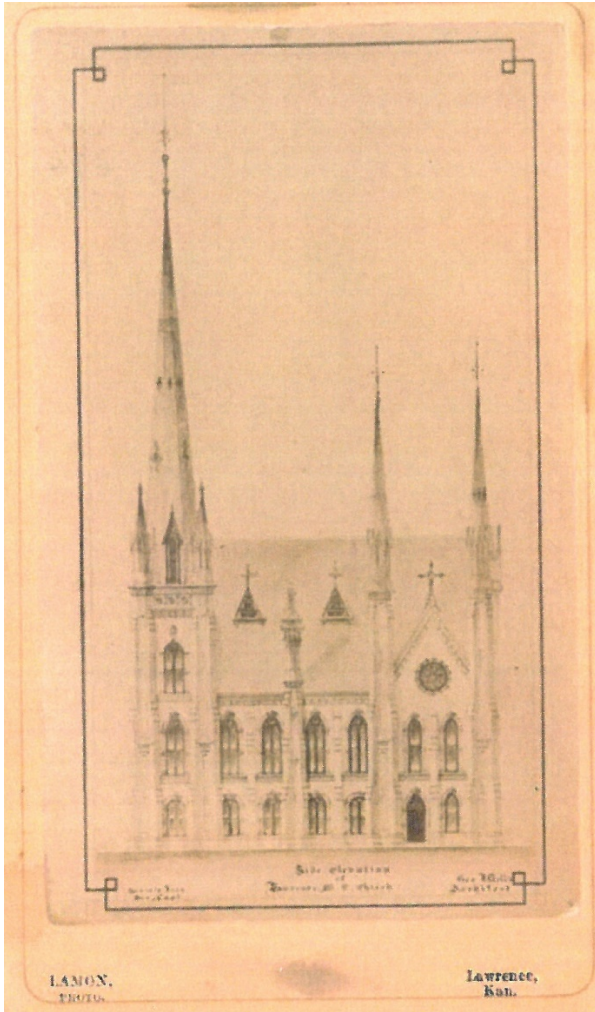


Figure 25: Proposed design 946 Vermont Street; Cabinet card, 1872 by George Wells

George Wells also designed the Lawrence Universalist church, southwest corner of Vermont and 9th Streets (formerly Warren), that building was completed in 1871. During the time George Wells was working on the Universalist church and the design for the new Methodist church, John G. Haskell, Lawrence architect, was busy with several projects that were church related: “Plymouth Congregation Church (1867-1870), which Mr. Haskell was a member and across the street (Vermont) from the future First Methodist Episcopal Church, English Lutheran Church (1870), United Presbyterian Church (1870-71), and Friends Church (1872).”⁸

The Kansas Tribune (Lawrence, Kansas) printed March 14, 1878, “We are gratified to announce the fact that our fellow townsman Mr. George Wells, who enjoys the respect of the entire community...has entered into partnership with Mr. Unwerth, a skilled architect of Chicago, and the new firm will begin operations in Kansas City this week”⁹

By 1872, the congregation was burgeoning, and a larger building was needed. March 1888, sixteen years after initial construction had stopped, the First Methodist Episcopal Church building committee reinitiated the attempt to build a new church. By this time a number of the members of the committee had turned over. “Dr. James Marvin, the former Chancellor of the University of Kansas who now was the church’s pastor, made a

⁸ Peterson, 246.

⁹ Jonathan M. Pitts, “A Removal.” *Kansas Tribune* (Lawrence, KS), March 14, 1878.

<https://kansashistoricalsociety.newspapers.com/image/367180019> (accessed August 23, 2018).

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trip east to study current church design. He found two he favored, one in Delaware, Ohio, and one in Richmond, Indiana.”¹⁰ Local architect, John G. Haskell, was selected to prepare the plans and specifications for the new church. (*Figure 26*).

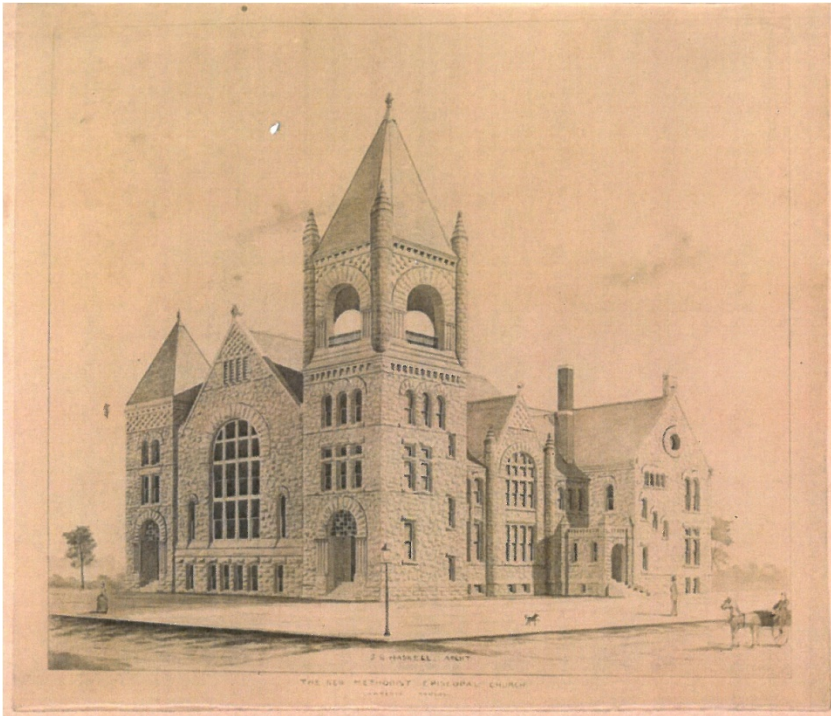


Figure 26: Proposed design 946 Vermont Street; Cabinet card, 1888 by John Haskell

“In the winter the old foundation was completed to sidewalk grade.”¹¹ On May 29, 1889, at the southwest corner, the cornerstone ceremony was held. A memory box was placed in a specially made compartment, followed by the corner stones. Engraved on the first stone ‘MAY 29’, second stone ‘1889’. Despite the unfinished auditorium [sanctuary] the congregation made the move to the new stone church February 8, 1891. May 21, 1891 the building dedication ceremony was held. In celebration a leaflet was published. This was the first attempt of the church in preserving its own history. The following passage comes from this leaflet. “The new edifice stands on the corner of Vermont and Berkley [10th] streets, with a front of 95 feet and length of 117. It is built of stone from the quarries near the city, faced and trimmed with light gray limestone from the Cottonwood quarries of southwest Kansas. The interior is finished with white oak throughout. The pews in the auditorium [sanctuary] are arranged in curved lines facing the pulpit, and all appliances are in the most approved style. The lecture room with gallery, will seat five hundred, and the auditorium eight hundred. Fronting the lecture room is the church parlor below, and the pastor’s study above. In the towers and above the two main entrances are four class rooms. The edifice has no superior in Kansas Methodism, and but few in the West.”¹² A moveable wood wall divider [east] separated the sanctuary from other rooms. When the dividers were removed about 1,200 could be seated. Total building cost for the church was approximately \$40,000.

“Cast in Troy, N.Y., in 1865, the Methodist bell was originally in what was known as the red brick church at 10th and Massachusetts...It was moved to the present building in 1880”.¹³ The belfry holds the original pure metal

¹⁰ Peterson, 176.

¹¹ Mary Peterson Clark, *History of the First Methodist Episcopal Church of Lawrence, Kans* (Kansas City, MO: Franklin Hudson Publ. Co., 1915), 48.

¹² “Memorial Book and Directory of First Methodist Episcopal Church”, 7.

¹³ Nancy Smith, “Church Bells Echo New England Heritage,” *Lawrence Journal-World* (Lawrence, KS), May 18, 1986.

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'A flat' bell inscribed on one side 'Jones & Company, Founders, Troy N.Y., 1865'. On the other side of the bell is inscribed 'Patented 1855'. The bell is hung with patent rotary yokes. Jones and Company bells were known for their richness of tone, prolongation of sound, excel in depth and durability.

The stain glass windows throughout the stone church were installed when the church was built in 1890. "Little history remains about the designs in the windows and no names of individual artists are available. The windows were made by the Wells Glass Company of Chicago, Illinois."¹⁴ Exceptions are the rose window [west] at the top of the dedicated November 1939. The other stain glass window was installed in the stone church [north] wall around 2003 and can be seen upon entry through the west entrance.

"Music — particularly the music of the organ — is central to the life of the church. Members say the instrument's rich sounds complement their liturgy, inspire congregational singing and even seem to invite the Holy Spirit into their presence."¹⁵ In 163 years the First Methodist Episcopal Church has owned two organs. Originally, 1904 mechanical organ which little is known about and the present Reuter organ originally installed in 1939. Over the years the 1938 Reuter organ fell into disrepair which resulted in a major overhaul. Repairs and enhancements including the removal of the organ console to be thoroughly cleaned by Reuter. "Reuter rebuilt the console incorporating a solid-state electronic switching system. The 1938 oak console shell with its ornate carving was retained because it matches the lectern, pulpit, communion table, and other woodwork originally constructed by the organ company."¹⁶ Presently the organ has 124 ranks (over 7,000 pipes) and is the largest and one of the most versatile organs in this area of the country.

946 Vermont Building Changes through the Years

1897: The February 1897 Lawrence Kansas Sanborn map stated the "Heat Furnace".¹⁷

1904: The first pipe organ is installed in the northwest side of the vestry. The church is carpeted. The basement is finished.

1905: An important structure change in the building was made to the gallery above the lecture room. "They were torn out, and a complete second floor built in the east end of the church, the upper room being arranged as a modern church dining-room and kitchen. Another improvement at about the same time was the building of granitoid steps at the south entrance".¹⁸ The February 1905 Lawrence Kansas Sanborn map stated the "Heat: Steam Lights: Gas".¹⁹

1909: In the basement a large room under the lecture room and a small room under the parlor were added in support of ever increasing church activities and Sunday school classes. "In the large room, each class has a table and is separated from the other classes by a series of screens."²⁰

¹⁴ Deanell Reece Tacha, *A Legacy of Love: The Windows, Banners, and Pipe Organ of First United Church Lawrence, Kansas* (Topeka, KS: Mainline Printing, 2000), 2.

¹⁵ Jonathan M. Pitts, "Churches Struggling to find Organists," *The Baltimore Sun* (Baltimore, MD), April 7, 2017. <http://www.baltimoresun.com/news/maryland/bs-md-church-organist-shortage-20170407-story.html> (accessed April 25, 2018).

¹⁶ Tacha, 19.

¹⁷ Sanborn Map and Publishing Co. *Lawrence, Kansas: 1897*. Map. (New York: Sanborn Map and Publishing Co, 1897), From University of Kansas Spencer Research Library, KU LUNA Collections. <https://luna.ku.edu/luna/servlet/view/all/where/Lawrence?sort=identifier%2Carea%2Ccitation%2Cclassification> (accessed April 26, 2018).

¹⁸ Clark, 73.

¹⁹ Sanborn Map and Publishing Co. *Lawrence, Kansas: 1905*. Map. (New York: Sanborn Map and Publishing Co, 1905), From University of Kansas Spencer Research Library, KU LUNA Collections. <https://luna.ku.edu/luna/servlet/view/all/where/Lawrence?sort=identifier%2Carea%2Ccitation%2Cclassification> (accessed April 26, 2018).

²⁰ Clark, 86.

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1912: The April 1912 Lawrence Kansas Sanborn map stated the lights in the church as "gas and electric".²¹

1916: Southwest corner in the basement a fireplace was built, and lights were installed over it.

1936 The J.C. Ecke building (945 Massachusetts Street) was willed to the church. The second and third floors of the Ecke building would eventually be used by the church for classes and a nursery. While the first floor was rented and provided income for the church.

1939: The anonymous gift of a new organ made it necessary to remodel the church. The new Russell Memorial organ, made by the Reuter Company of Lawrence, was installed in the southwest corner of the vestry. The big west stain glass window in the vestry was bricked up and a rose stain glass window substituted in the top part of the original window space. The south entry door was enlarged and made the main entrance. The second story south and north galleries (three pews deep) were removed leaving the east gallery. The second story east gallery would eventually be removed in the 1980s. The chancel was divided with the ladies' choir sitting on the south side and the men's choir sitting on the north side. A covered walkway was built from the east second floor, across the alley, to the west second floor of the Ecke building. The covered walkway (*Figure 27*) would remain until the church sold the J. C. Ecke building in the 1980s and was subsequently torn down.



Figure 27: Bridge across alley, date unknown (between 1968 and early 1980s)

1949: Vermont Street lot 88 was procured.

1954: The large chimney, "which had been in the middle of the partition between the sanctuary and rear sanctuary, was torn down and replaced by a smokestack outside the building in the north. The pillars between the two rooms were removed and narrow metal posts substituted. The floor of the rear sanctuary was slanted so that it is now continuous with the rest of the main room, and this rear space as well as the main room and the gallery equipped with pews, uniform throughout. The rooms above and below the rear sanctuary were made over in departmental quarters for Sunday School groups."²²

²¹ Sanborn Map and Publishing Co. *Lawrence, Kansas: 1912*. Map. (New York: Sanborn Map and Publishing Co, 1912), From University of Kansas Spencer Research Library, KU LUNA Collections.
<https://luna.ku.edu/luna/servlet/view/all/where/Lawrence?sort=identifier%2Carea%2Ccitation%2Cclassification> (accessed April 26, 2018).

²² Clark, 26.

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1958: Vermont Street lot 86 was left to the church in July.

1962: Robertson and Ericson (architect), Finney and Turnipseed (structural engineer), Moore and Clark (mechanical and electrical engineers) designed the three story education wing. The addition included lower, main and upper levels for class rooms. A new main entry connected the stone church to the new brick addition. The inclusion of an elevator, as well as, a gathering area tied the stone church to the new addition. Once the north facing education building was completed the church school moved in.

Church Social History

"Methodism entered what is now Kansas by means of Indian missions at least as early as the [18]30s...The Kansas-Nebraska Bill passed in May, 1854...The disruption of the Church on the question of slavery nearly ten years earlier had caused the name 'Methodist' to be practically synonymous with 'free state.'²³ The First Methodist Episcopal Church has been serving the local community, missions both home and foreign since 1854.

Students from Kansas University and Haskell began to attend the Methodist Church for student prayer meetings as early as March 1877. Attendance was as many as 100 persons per meeting. The church roll book began to contain names marked 'student' in the margin. Eventually Wesley KU was established as a united Methodist campus ministry. The work at Haskell during this time was "carried on so quietly that in the absence of records it is very difficult to obtain details about it."²⁴

Missionary work started at the beginning for the 20th century. Church volunteers were sent to foreign lands that include: China, India, Japanese work, Korea, South America and Sumatra.

Founded in 1858 as the first university in Kansas, Baker is an institution that has held close ties with the Methodist Episcopal Church, which became the Methodist Church in 1939, and then the United Methodist Church in 1968 and has retained its affiliation. The Methodist Church has supported Baker since its founding.

The Methodist Church opened its doors so that other religions and ethnicities could use the church for worship. This include freed black slaves.

The 20th century has seen the church's growth and its problems, war and depression, war and peace, war and social upheaval. The interests of the Methodist Church have become even more people oriented.

The congregation in the 1980's confirmed its commitment to the city and its heritage when it was decided to keep and improve the downtown church rather than moving to the city's fringe.

John Gideon Haskell, architect

John Haskell had a love for architecture from a very early age. He was born in Vermont in 1832 and died in Lawrence, Kansas in 1907. He came to Kansas at age 25 and spent the next 50 years designing buildings that were built to last.

The First Methodist Episcopal Church Romanesque Revival style was used in several large buildings; Lawrence High School, the McPherson County Courthouse and Douglas County Courthouse (with Frederick Gunn). Common design elements found in Haskell architected churches include "semi-circular seating arrangement, the tall tower, and the sliding door which could be opened to unite a secondary room with the main audience room."²⁵ All these elements are present in the Methodist Church.

²³ Peterson, 6.

²⁴ Peterson, 74.

²⁵ Peterson, 135.

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The National Register Historic Properties lists eleven Kansas Haskell properties. Six are in Lawrence. Biographer John Peterson states in his introduction that “Unfortunately no archive or collection of family letters or business records exists”.²⁶

Robertson & Ericson, architect

Lawrence architects Donald M. Robertson and Paul N. Ericson were active in the 1960s and 1970s. The functionalism 'modern look' is visible in their 1962 simplicity in form and design for the churches new education wing. Robertson & Ericson were the architects that designed the new Lawrence Public Library in 1972. The new libraries brutalist 'modern look' of recurring concrete modular characteristics was a dramatic change in design from the Carnegie Library that was used from 1904-1972.

Settlement of Lawrence

“When the Kansas-Nebraska bill passed, May 25, 1854, there was a feeling of despondency all over the north...its passage opened Kansas to slavery ...Kansas lay beyond Missouri, and Missouri was a slave state.”²⁷ The anti-slavery north knew if Kansas was settled with people who wanted the state to be free the move to make Kansas a slave state would be to put down the counter ideals coming from Missouri. The Emigrant Aid Company was formed in Massachusetts to educate, financially support and helped bring about emigration to Kansas. Eli Thayer and Amos A. Lawrence were charged to begin recruiting people for settlement in Lawrence. “As early as June 1854, they [The Emigrant Aid Company] sent Dr. Charles Robinson, of Fitchburg, and Mr. Charles H. Branscomb, of Holyoke, to explore the territory and select a site for a colony.... Dr. Robinson and his party...looked off over what was afterwards the site of Lawrence. They marked the beauty of the spot and the magnificence of the view.”²⁸

The inaugural party arrived at Wakarusa [Lawrence] August 1, 1854. The second group of emigrants came soon after on September 9, 1854. Amos Lawrence “was a very liberal contributor to its [The Emigrant Aid Company] funds.... His interest in Kansas, and especially in Lawrence, never faltered.”²⁹ Amos Lawrence’s reputation, financial support and public spirit influenced the first settlers to name the new settlement ‘Lawrence’; “the first free state town in Kansas”.³⁰

Religion was present from the very founding of Lawrence with laymen coordinating the first sermon readings. Protestant, Methodist and Unitarian religious denominations being the first to form religious congregations in Lawrence.

Lawrence 1889

The years after the Civil War ended were ones of steady growth and progress for Lawrence. “The city’s population jumped to 8,320 by 1870 and climbed to just short of 10,000 by 1890.”³¹ Lawrence was a city with a diverse ethnic population; German, Irish, American Indian, African American, Hispanic and Asian. The different ethnic groups brought distinctive culture, religion and job skills.

The effects of the financial panic of 1873 were felt by most citizens of Lawrence. Ten years after the panic, the First Methodist Episcopal church congregation was growing, as was the financial respects. During this time the church debt was paid off. “Now at last increase in membership and the needs of

²⁶ Peterson, xi.

²⁷ Richard Cordley, D.D., *A History of Lawrence, Kansas from the First Settlement to the Close of the Rebellion* (Lawrence, KS: Lawrence Journal Press, 1895), 1.

²⁸ Cordley, 4.

²⁹ Cordley, 10.

³⁰ Cordley, 10.

³¹ Virgil W. Dean, *Images of America Lawrence* (Charleston, SC: Arcadia Publishing, 2015), 25.

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repairs on the old church [10th and Massachusetts Streets] made building almost necessary and the freedom from debt made it possible."³² By April 1888 a church committee was established to secure new building plans and estimates. October 31, 1888, the church building committee was elected. "On the 20th of November, the subscription [funds] being large enough to warrant proceeding with the building [10th and Vermont Streets], it was decided to advertise bids according to plans and specifications of J.G. Haskell, architect."³³

John Haskell's Lawrence roots go back to his father who was in one of the 1854 parties The Emigrant Aid Company sent to settle Lawrence. John Haskell was known as a skillful architect who had designed close to three dozen buildings in Lawrence over his lifetime. This included his architecting the Plymouth Congregational Church [where he attended], across Vermont Street from the First Methodist Episcopal church [10th and Vermont Streets] and the Trinity Episcopal Church on the southwest corner of 10th and Vermont Streets.

Winter brought the completion of the new churches foundation to sidewalk grade. The corner-stone was laid in spring 1889. The construction of the exterior church building was near completion late May 1890. "The next few months were devoted to the plastering, painting, finishing of interior, and arranging for the seats and the heating and lighting systems. February 8, 1891, the congregation removed to the new church, although the auditorium was not finished, and it was necessary at first to hold services in the lecture-room."³⁴

The new Methodist church at 10th and Vermont Streets was in the style of "Romanesque Revival with a strong Richardsonian influence...There were heavy, round arches over the doors and many windows, some of which were very large. A massive, square tower topped by belfry with a large open arch on each side, a short turret at each corner, and a pyramidal roof, stood at the southwest corner of the building. A smaller and shorter square tower stood at the northwest corner. Each tower covered an entrance; other entrances were on the south side. There was a very large arched window under the west gable...The rough, rock-faced surface of the [exterior] walls contributed to the feeling of rugged strength embodied in design."³⁵

Romanesque Revival (1840–1900) style did not immediately become an architectural style used in the United States until "American architect Henry Hobson Richardson embraced the style in the 1870s and 1880s. Richardson, a graduate of the École des Beaux Arts in Paris, developed a more dramatic version of this style with bolder, wider arches and strong sculptural forms."³⁶

Lawrence 1939, 1954, 1962

In 1939, the final year of the Great Depression, brought the slow recovery to Lawrence through WPA projects. Lawrence celebrated its 85th anniversary of its founding; the original two parties of The Emigrant Aid Society arrived. "Significant change and growth can be observed in the general Lawrence population numbers, which increased substantially during the 1950s and 1960s and beyond. In 1950, census takers enumerated 23,351 inhabitants, 32,858 in 1960".³⁷ The baby boomer generation (1946-

³² Clark, *History of the First Methodist Episcopal Church of Lawrence, Kans.*, 47.

³³ Clark, *History of the First Methodist Episcopal Church of Lawrence, Kans.*, 48.

³⁴ Clark, *History of the First Methodist Episcopal Church of Lawrence, Kans.*, 49.

³⁵ Peterson, 177.

³⁶ Pennsylvania Historical & Museum Commission, "Romanesque Revival Style 1840 – 1900," In *Pennsylvania Architectural Field Guide*, August 26, 2015, <http://www.phmc.state.pa.us/portal/communities/architecture/styles/romanesque-revival.html> (accessed September 2, 2018).

³⁷ Dean, 97.

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1964) brought development of new neighborhoods and commercial growth outside of Lawrence's downtown district.

In 1936, the J.C. Ecke building, directly east of the church, was willed to the church. Through an anonymous gift of a new organ in 1939 brought about the necessity of remodeling the church. Some of the changes that came from the remodel include: installation of the new organ, the bricking up of the very leaky stain glass window to the west of the vestry and the installation of the rose stain glass window, above the new brick, at the top of the windows arch and the building of a covered walkway between the churches east second floor, across the alley, to the west second floor of the J.C. Ecke building. The second and third floors in the Ecke building provided needed space for a nursery and meeting room.

The 1954 changes updated the sanctuary and provide additional space for Sunday school rooms.

The number of children in the congregation continued to grow through the 1950s. By 1958, the church "began planning for a major facilities expansion of a new education building."³⁸ Robertson and Ericson were selected to design the new three story education wing. The architectural plan design was for a Modern Movement aesthetic. "[F]ree from the styles and forms of the past... the Moderne style [roughly 1933-1965] featured smooth walls with little surface ornamentation, rounded corners and curved glass. Moderne buildings have flat roofs, and bands of windows with a horizontal emphasis."³⁹ Late in 1959 the church building committee approved the preliminary plans for the new education wing. Construction began in 1960. "The church school moved into the new building in April 1862."⁴⁰

³⁸ Sesquicentennial Committee, *Some of the History of First United Methodist Church Lawrence, Kansas 1954-2004* (Lawrence, KS: Self-Published, First United Methodist Church, 2004), 4.

³⁹ Pennsylvania Historical & Museum Commission, "Moderne Style 1930 – 1950," In *Pennsylvania Architectural Field Guide*, August 26, 2015, <http://www.phmc.state.pa.us/portal/communities/architecture/styles/moderne.html> (accessed September 2, 2018).

⁴⁰ Sesquicentennial Committee, 4.

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9. Major Bibliographical References

Bibliography (Cite the books, articles, and other sources used in preparing this form.)

- Clark, Mary Peterson. *History of the First Methodist Episcopal Church of Lawrence, Kans.* Kansas City, MO: Franklin Hudson Publ. Co., 1915.
- Clark, Mary Peterson. *History of the First Methodist Episcopal Church of Lawrence, Kansas 1915-1954.* Self-Published, First United Methodist Church, 2004.
- Lawrence Convention and Visitors Bureau., "Quantrill's Raid: The Lawrence Massacre." Brochure, University of Kansas Map Associates, 1997.
- "Memorial Book and Directory of First Methodist Episcopal Church." Private collection of First United Methodist Church, 1891.
- Peterson, John M. *John G. Haskell: Pioneer Kansas Architect.* Lawrence, KS: Douglas County Historical Society, 1984.
- Pitts, Jonathan M. "Churches Struggling to find Organists." *The Baltimore Sun* (Baltimore, MD), April 7, 2017. <http://www.baltimoresun.com/news/maryland/bs-md-church-organist-shortage-20170407-story.html> (accessed April 25, 2018).
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- Sanborn Map and Publishing Co. *Lawrence, Kansas: 1897.* Map. New York: Sanborn Map and Publishing Co, 1897. From University of Kansas Spencer Research Library, KU LUNA Collections. <https://luna.ku.edu/luna/servlet/view/all/where/Lawrence?sort=identifier%2Carea%2Ccitation%2Cclassification> (accessed April 26, 2018).
- Sanborn Map and Publishing Co. *Lawrence, Kansas: 1905.* Map. New York: Sanborn Map and Publishing Co, 1905. From University of Kansas Spencer Research Library, KU LUNA Collections. <https://luna.ku.edu/luna/servlet/view/all/where/Lawrence?sort=identifier%2Carea%2Ccitation%2Cclassification> (accessed April 26, 2018).
- Sanborn Map and Publishing Co. *Lawrence, Kansas: 1912.* Map. New York: Sanborn Map and Publishing Co, 1912. From University of Kansas Spencer Research Library, KU LUNA Collections. <https://luna.ku.edu/luna/servlet/view/all/where/Lawrence?sort=identifier%2Carea%2Ccitation%2Cclassification> (accessed April 26, 2018).
- "Share the Faith Assure the Future." Private collection of First United Methodist Church, 1988.
- Smith, Nancy. "Church Bells Echo New England Heritage." *Lawrence Journal-World* (Lawrence, KS), May 18, 1986.
- Tacha, Deanell Reece. *A Legacy of Love: The Windows, Banners, and Pipe Organ of First United Church, Lawrence, Kansas.* Topeka, KS: Mainline Printing, 2000.

Other Sources

Baker University Archives, Baker University
Spencer Research Library, University of Kansas
Helen Osma Local History Room, Kansas Collection, Lawrence Public Library
Watkins Museum of History, Lawrence, Kansas

First Methodist Episcopal Church
Name of Property

Douglas County, KS
County and State

Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67 has been requested)
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # _____
- recorded by Historic American Engineering Record # _____
- recorded by Historic American Landscape Survey # _____

Primary location of additional data:

- State Historic Preservation Office
 - Other State agency
 - Federal agency
 - Local government
 - University
 - Other
- Name of repository: First United Methodist Church Archive

Historic Resources Survey Number (if assigned): _____ N/A

10. Geographical Data

Acreeage of Property less than one

Provide latitude/longitude coordinates OR UTM coordinates.
(Place additional coordinates on a continuation page.)

Latitude/Longitude Coordinates

Datum if other than WGS84: _____
(enter coordinates to 6 decimal places)

- | | | | | | |
|---|------------------|-------------------|---|-----------|------------|
| 1 | <u>38.966043</u> | <u>-95.236796</u> | 3 | _____ | _____ |
| | Latitude: | Longitude: | | Latitude: | Longitude: |
| 2 | _____ | _____ | 4 | _____ | _____ |
| | Latitude: | Longitude: | | Latitude: | Longitude: |

Verbal Boundary Description (describe the boundaries of the property)

Vermont Street Lots 86, 88, 90 & 92 (Plate/Record Id: U01424A; U01424, 26, 27-01 & 28-01 Combined 1988)
Total lot size 200' x 117'; beginning at SW corner (Vermont Street and 10th Street) North 200', at NW corner East 117', at NE corner South 200', SE corner West 117'.

Boundary Justification (explain why the boundaries were selected)

The nominated property includes the Douglas County, KS legal and property descriptions for the entire parcel historically associated with the First Methodist Episcopal Church.

11. Form Prepared By

name/title Jane A. Cotitta/Church Historian

organization First United Methodist Church of Lawrence date April 24, 2018

street & number 1424D Brighton Circle telephone (913) 220-5013

city or town Lawrence state KS zip code 66049

e-mail jkittel01@gmail.com

Property Owner: (complete this item at the request of the SHPO or FPO)

name First United Methodist Church of Lawrence

First Methodist Episcopal Church

Douglas County, KS

Name of Property

County and State

street & number 946 Vermont Street

telephone (785) 841-7500

city or town Lawrence

state KS

zip code 66044

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 100 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Office of Planning and Performance Management, U.S. Dept. of the Interior, 1849 C. Street, NW, Washington, DC.

Additional Documentation

Submit the following items with the completed form:

Photographs

Submit clear and descriptive photographs. The size of each digital image must be 1600x1200 pixels (minimum), at 300 ppi (pixels per inch) or larger. Key all photographs to a sketch map or aerial map. Each photograph must be numbered and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

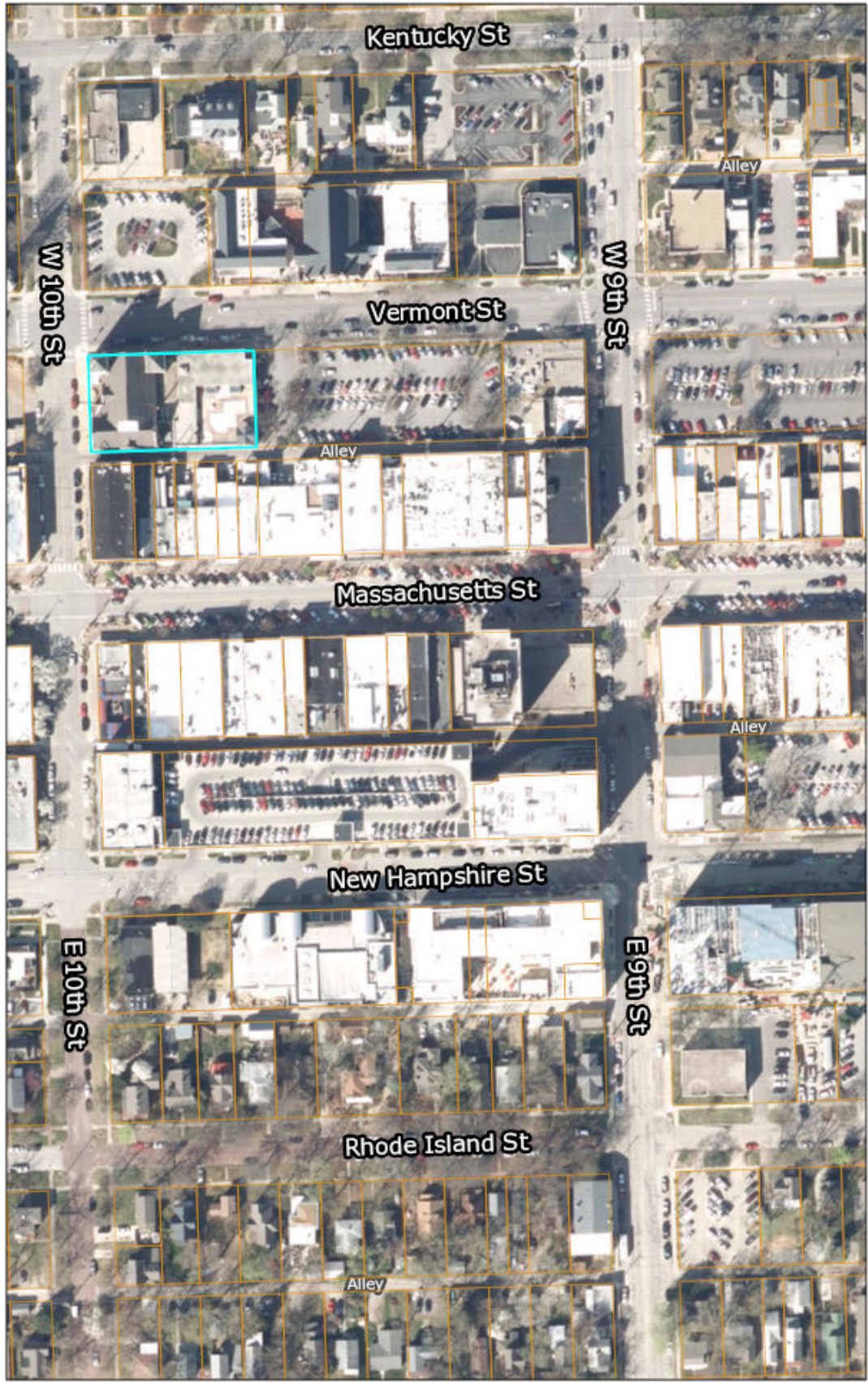
Figures

- 01 of 28: Contextual map, Kansas Historic Resources Inventory
- 02 of 27: Aerial map, Douglas County, KS Property Viewer
- 03 of 27: Vermont and 10th Streets. Amanda Loughlin, 2018
- 04 of 27: Main entrance, Jane Cotitta, 2018
- 05 of 27: The new church early 1900s, First United Methodist Church Archives, unknown date
- 06 of 27: Former arch window, Jane Cotitta, 2018
- 07 of 27: Elegant late 18th century façade, Jane Cotitta, 2018
- 08 of 27: Back alley, Jane Cotitta, 2018
- 09 of 27: Parking lot view, Jane Cotitta, 2018
- 10 of 27: Staircase, Jane Cotitta, 2018
- 11 of 27: Original door hardware, Jane Cotitta, 2018
- 12 of 27: Original library fireplace, Jane Cotitta, 2018
- 13 of 27: Entry and stairwell to old fellowship hall, Jane Cotitta, 2018
- 14 of 27: Original coal chute (left) and ash clean out door (right), Jane Cotitta, 2018
- 15 of 27: Main entry, Jane Cotitta, 2018
- 16 of 27: Vestry, First United Methodist Church Archives, 1939
- 17 of 27: Galleries, First United Methodist Church Archives, pre-1939
- 18 of 27: Gallery, First United Methodist Church Archives, 1939
- 19 of 27: Two stories of stain glass, First United Methodist Church Archives, 1938
- 20 of 27: Education wing, Jane Cotitta, 2018
- 21 of 27: Aerial map with addition dates.
- 22 of 27: Model of "The Tent", unknown source and date
- 23 of 27: 724 Vermont Street, Baker University Archives, 1858-1865
- 24 of 27: Massachusetts and Berkeley Streets, unknown source and date
- 25 of 27: Proposed design 946 Vermont Street, First United Methodist Church Archives, 1872
- 26 of 27: Proposed design 946 Vermont Street, First United Methodist Church Archives, 1888
- 27 of 27: Bridge across alley, date unknown (between 1968 and early 1980s)

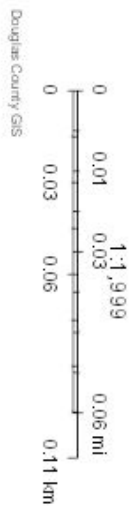
First Methodist Episcopal Church
Name of Property

Douglas County, KS
County and State

April 16, 2018
Parcel



Property Viewer for Douglas County, KS



DISCLAIMER: This is not a legal survey. This map is to be used for reference purposes only, and no other use or reliance on the same is authorized.
Property Viewer for Douglas County, KS



6425 SW 6th Avenue
Topeka KS 66615-1099

phone: 785-272-8681, ext. 240
fax: 785-272-8682
kshs.shpo@ks.gov

Governor Jeff Colyer, M.D.
Jennie Chinn, Executive Director

September 14, 2018

Lynne Zollner
Lawrence Historic Resources Commission
City of Lawrence
PO Box 708
Lawrence, KS 66044

Re: Johnson Block Historic District (E side of 800 block of Arkansas, W side of 800 block of Missouri, includes an alley between the two streets, Lawrence KS, Douglas County)

Dear Ms. Zollner:

We are pleased to inform you that the *Johnson Block Historic District* will be considered by the Kansas Historic Sites Board of Review for nomination to the National Register of Historic Places and Register of Historic Kansas Places at its next meeting on November 17, 2018. You are being notified because the property is within the boundaries of Lawrence, KS, a Certified Local Government.

Per the requirements of 36 CFR 60-61 and Section IV of the *Procedures for Implementation of Certified Local Governments in Kansas*, we are providing your historic resources commission the opportunity to comment on this nomination. Your commission has 60 days to review and comment on this nomination. **In accordance with Section IV (C), we request receipt of the commission's recommendation report by November 15, 2018.**

The National Register of Historic Places is the federal government's official list of historic properties worthy of preservation. Listing in the National Register provides recognition and assists in preserving our nation's heritage. Should you have any questions about this nomination before the Kansas Historic Sites Board of Review meeting, please contact me at ext. 217 or at Patrick.Zollner@ks.gov.

Sincerely,

Jennie Chinn
State Historic Preservation Officer

Patrick Zollner
Deputy State Historic Preservation Officer

enclosure

cc: Janet Shupert-Arick, Douglas County Heritage Conservation Council

United States Department of the Interior
National Park Service

National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. **Place additional certification comments, entries, and narrative items on continuation sheets if needed (NPS Form 10-900a).**

1. Name of Property

Historic name Johnson Block Historic District

Other names/site number KHRI #045-6395

Name of related Multiple Property Listing Historic Resources of Lawrence, Douglas County, Kansas

2. Location

Street & number East side of 800 Block of Arkansas Street and west side of 800 Block of Missouri Street not for publication

City or town Lawrence vicinity

State Kansas Code KS County Douglas Code 045 Zip code 66044

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property meets does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

national statewide local Applicable National Register Criteria: A B C D

Signature of certifying official/Title Patrick Zollner, Deputy SHPO Date _____

Kansas State Historical Society
State or Federal agency/bureau or Tribal Government

In my opinion, the property meets does not meet the National Register criteria.

Signature of commenting official _____ Date _____

Title _____ State or Federal agency/bureau or Tribal Government

4. National Park Service Certification

I hereby certify that this property is:

entered in the National Register determined eligible for the National Register

determined not eligible for the National Register removed from the National Register

other (explain:) _____

Signature of the Keeper _____ Date of Action _____

Johnson Block Historic District
Name of Property

Douglas County, Kansas
County and State

5. Classification

Ownership of Property
(Check as many boxes as apply.)

<input checked="" type="checkbox"/>	private
<input type="checkbox"/>	public - Local
<input type="checkbox"/>	public - State
<input type="checkbox"/>	public - Federal

Category of Property
(Check only **one** box.)

<input type="checkbox"/>	building(s)
<input checked="" type="checkbox"/>	district
<input type="checkbox"/>	site
<input type="checkbox"/>	structure
<input type="checkbox"/>	object

Number of Resources within Property
(Do not include previously listed resources in the count.)

<u>Contributing</u>	<u>Noncontributing</u>	
<u>28</u>	<u>10</u>	buildings
		sites
		structures
		objects
<u>28</u>	<u>10</u>	Total

Number of contributing resources previously listed in the National Register

6. Function or Use

Historic Functions
(Enter categories from instructions.)

DOMESTIC: single dwelling

DOMESTIC: secondary structure

Current Functions
(Enter categories from instructions.)

DOMESTIC: single dwelling

DOMESTIC: secondary structure

7. Description

Architectural Classification
(Enter categories from instructions.)

OTHER: Foursquare

LATE 19TH & EARLY 20TH CENTURY AMERICAN MOVEMENTS: Bungalow/Craftsman, Prairie School

LATE 19TH & EARLY 20TH CENTURY REVIVALS:

Tudor Revival

OTHER: Minimal Traditional

Materials
(Enter categories from instructions.)

foundation: CONCRETE, BRICK

walls: WOOD

STUCCO

roof: OTHER: COMPOSITION SHINGLE

other: _____

Johnson Block Historic District
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Narrative Description

(Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources, if applicable. Begin with a **summary paragraph** that briefly describes the general characteristics of the property, such as its location, type, style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

Summary

The Johnson Block Historic District is an intact residential neighborhood located within the city boundaries of the City of Lawrence, Douglas County, Kansas. Located eleven blocks east of downtown and three blocks north of the University of Kansas, the district encompasses the east side of the 800 block of Arkansas and the west side of the 800 block of Missouri and includes an alley between the two streets. The district contains 19 contributing residences, nine contributing outbuildings, three non-contributing residences, and seven non-contributing outbuildings. Residences maintain a uniform setback and orientation.

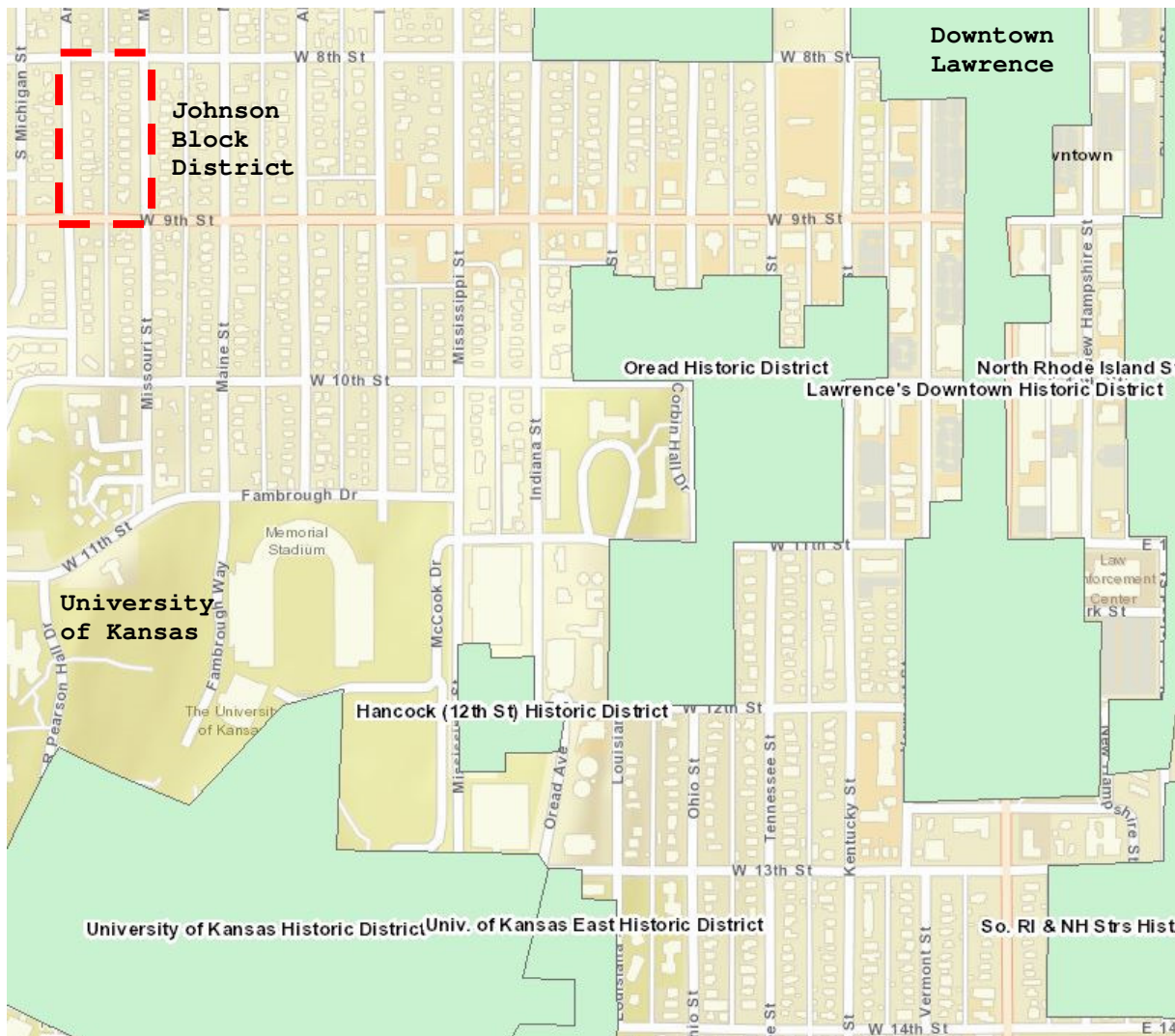


Figure 1: Contextual map, showing Johnson Block District (bold, dashed line) in relation to downtown and University of Kansas (KHRI).

Johnson Block Historic District
Name of Property

Douglas County, Kansas
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The district is bounded on the north by 8th Street, Missouri Street on the east, 9th Street on the south, and Arkansas Street on the west. Both blocks are characterized by sidewalks that are separated from the street by mature trees.

The district is a mix of several of the residential property types outlined in Section F of the multiple property document, "Historic Resources of Lawrence, Douglas County, Kansas." Contributing buildings meet the property type description and registration requirements as defined in Section F.

Figure 2: Douglas County's GIS aerial map, showing parcel separations within the district.

Elaboration

Setting

The Johnson Block Historic District is characterized by residences with a uniform set back and orientation. The streets are paved with a modern asphalt. Both blocks have sidewalks that are separated from the street by mature trees. There are eight full driveways and one partial driveway that interrupt the rhythm of sidewalks and trees beside the street. Behind the houses is a paved alley that runs between the 800 block of Arkansas and the 800 block of Missouri. Contributing and non-contributing outbuildings line the alley.

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The terrain is gently sloping from west to east and from southwest to northeast. The block has been platted on a grid street pattern with an alley. A majority of the contributing buildings are oriented east-west with some exceptions including the few non-contributing post-World War II buildings. Properties have a uniform setback from the street. Most properties have grassed front and side yards with mature trees and foundation plantings. There are both brick and concrete sidewalks.

Because the Johnson Block was on the edge of urban development in Lawrence, paved streets and sidewalks were constructed after 1909. Gas mains were laid in the alley. According to the City of Lawrence, Arkansas Street was paved with cement in 1914. Electrical service was extended to the block later in the early twentieth century.

Inventory

The nominated district contains 38 resources, including 22 houses. The inventory is arranged by block, starting with the 800 block of Arkansas from north to south, then moving to the 800 block of Missouri from north to south. Each inventory entry begins with the street address, legal address, style, date of construction, exterior materials, and photograph number. Construction dates are calculated from the county records.

800 BLOCK OF ARKANSAS STREET, EAST SIDE

1. 800 Arkansas Street (Yancey House) KHRI #045-3010-01745 **Contributing Building**

Legal Description: LANE PLACE ADD BLK 16 LT 24

Style: Craftsman

Date of Construction: c. 1920

Exterior Materials: Stucco, composition shingle roof, concrete foundation

Photograph Number: 1

Description: This is a cross gabled Craftsman style house with an airplane bungalow-style second floor. The house features Craftsman details including exposed roof rafters, a low-pitched gable roof with a wide, unenclosed eave overhang, and piers on the porch that extend to ground floor. The full front porch is supported on red brick piers with battered posts covered in stucco. The house has a concrete or concrete block foundation covered in stucco, a contrasting red brick water table, walls and gable ends finished in stucco, and a composition roof shingle. On the north elevation is a red brick exterior chimney and an interior brick chimney in the rear roof peak. The central entrance faces east, under the full front wood-decked porch with a wooden railing. The entrance has a wooden 8-light door and a wooden 8-light storm door. The front door is flanked by a pair of 4/1 double-hung wooden windows. Other significant Craftsman features include exposed roof rafters, the low-pitched gable roof with a wide, unenclosed eave overhang, and decorative beams under the gables.

1a. 800 Arkansas Street (Garage) **Contributing Building**

Photograph Number: 2

A one-story, one-car front-gabled garage with a composition shingled roof that matches the primary building. Accessed from the alley by a curved concrete driveway that faces north towards 8th Street. The garage is located on the southeast corner of the lot.

2. 804 Arkansas Street (House) KHRI #045-3010-01744 **Contributing Building**

Legal Description: LANE PLACE ADD BLK 16 LT 23

Style: National Folk

Date of Construction: c. 1920

Exterior Materials: Wood frame construction with weatherboard, shingle sheathing in gable ends, concrete foundation, and composition shingle roof

Photograph Number: 3

Description: This rectangular two-story house has a front gabled, full-length front porch. The porch is supported on concrete block piers with two square wooden end posts. The porch has a wooden floor,

Johnson Block Historic District
Name of Property

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steps, two square low posts, and benches between the posts. One entrance faces west towards Arkansas Street, with a side entrance in the center of the north elevation. The front entrance door appears to be wooden with an upper glazed panel and a wooden storm door. The north side entrance door appears to be a replacement. The majority of the windows are 1/1 double hung windows. The house features simple ornamentation, including a slightly projecting molding above windows and doors and a leaded glass section in the large front window. The house has been enlarged with a substantial contemporary rear two-story addition with a lower two-story bay extending to the east northeast. This addition has a rear wooden deck and stair.

2a. 804 Arkansas Street (Garage)

Contributing Building

Photograph Number: 4

The garage is a 1 1/2-story, front-gabled structure constructed to match the primary building. Accessed from the alley by a paved driveway, the entrance faces south. The garage is located on the northeast corner of the lot.

3. 806 Arkansas (Ochse House) KHRI #045-3010-01743

Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 22 & N 1/2 LT 21 (U05127 & U05128 COMBINED 1987)

Style: Craftsman

Date of Construction: c. 1925

Exterior Materials: Wood frame construction with weatherboard, concrete foundation, and composition shingle roof

Photograph Number: 5

Description: This is a rectangular one-story Craftsman style bungalow with a front gable roof. There is a cantilevered projecting window bay in the south elevation, a projecting second story rear bay above a screened porch in the east elevation, and a shed bay to the northeast. It appears that the two gable roof dormers in the front and a shed-roofed dormer in the rear are additions. The projecting front porch has been enclosed and a large wooden deck that runs along the south side provides access to the main side entrance and the rear. The house has a concrete or concrete block foundation, wood frame construction, weatherboard, and composition shingle roofing. The partial-width porch has concrete block piers, wooden lattice skirting, floor, and posts. The front entrance door appears to be a wooden door with glazed panel. The majority of the windows are 4/1 double-hung. Craftsman ornamentation includes detailing on the porch lintel and eave braces on the porch and main gable ends.

3a. 806 Arkansas (Garage)

Contributing Building

Photograph Number: 6

This one-story front gabled garage is accessed by a driveway from Arkansas Street. The garage door opens to the west side, towards Arkansas Street.

4. 818 Arkansas (House) KHRI #045-3010-01738

Non-Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 20 & S 1/2 LT 21 (U05125 & 26 COMBINED 1988)

Style: Minimal Traditional

Date of Construction: c. 1950

Exterior Materials: Wood frame on slab construction with synthetic siding, brick chimney, and composition shingle roof

Photograph Number: 7

Description: This is a rectangular one-story house with a side-gable roof and central entrance. There is a slightly projecting one-story addition with a side-gable roof to the north. The house is wood frame on a slab construction with synthetic siding, and composition shingle roofing. There is a prominent brick chimney on the west elevation of the addition. The entrance door appears to be a synthetic door with an aluminum storm door. There is a picture window flanked by 2/2 double-hung sash. Other windows are 2/2 double-hung sash in the main block and 1/1 sliding sash in the addition.

5. 820 Arkansas (House) KHRI #045-3010-01736

Non-Contributing Building

Johnson Block Historic District
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Legal Description: LANE PLACE ADD BLK 16 LT 19

Style: Minimal Traditional

Date of Construction: c. 1954

Exterior Materials: Wood frame construction, synthetic siding, concrete foundation, and composition shingle roof

Photograph Number: 8

Description: This is a rectangular one-story Minimal Traditional type house with a side-gable roof and central entrance. There is a partial width shed-roofed entry to the north. There is a contemporary shed-roofed rear addition to the northeast with a small wooden deck and steps. The house has a concrete foundation, wood frame construction, synthetic siding, and composition shingle roofing. The entrance has a paneled door with a glazed aluminum storm door. To the north, there is a picture window flanked by 2/2 double-hung windows. Other windows are 2/2 double-hung windows. In the addition, the windows are 1/1 sliding sash. There is an L-shaped aluminum wheel-chair ramp providing access to the front entrance.

6. 824 Arkansas (Overston House) KHRI #045-3010-01734

Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 18

Style: Prairie

Date of Construction: c. 1915

Exterior Materials: wood frame construction with shingle sheathing, brick foundation, and composition shingle roof

Photograph Number: 9

Description: This is a rectangular two-story Four-square house with Prairie style features. The house has a two-bay front, a side entrance, and a pyramidal roof with hipped roof dormers. There is a second-story sleeping porch in the rear. There is a prominent front porch, a projecting one-story addition in the south elevation, a two-story projecting addition in the north elevation, and a one-story shed-roofed rear addition with a contemporary wooden deck and two flights of steps. The house has a brick foundation, wood frame construction, shingle sheathing, and composition shingle roofing. The additions have concrete foundations. The front porch is supported on brick piers with stone caps and brick posts. The pedimented gable end has a lintel with modest dentil molding, wide cornice returns, and a dentil molding in the eave. The broad roof overhang is a Prairie style detail. The replacement windows are 9/1 double-hung metal sash.

7. 828 Arkansas (Birch House) KHRI #045-3010-01732

Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 17

Style: National Folk

Date of Construction: c. 1912

Exterior Materials: Wood frame with weatherboard and shingle sheathing, stone block foundation, and composition shingle roof

Photograph Number: 10

Description: This is a rectangular, one-and-a-half-story National Folk house. It has a front gable roof with gable roof dormers to the north and south. The house has a rock-faced coursed stone block foundation, wood frame construction, weatherboard on the first story and shingle sheathing on the gable ends and roof dormers, and composition shingle roofing. There is a central interior brick chimney. The full length front porch has a hipped roof and is supported on three slender columns. The porch has a wooden floor, lattice skirting, and a low railing. The central entrance has a glazed wooden door and aluminum storm door. There is a leaded glass window to the north. Other windows are 1/1 double-hung sash with aluminum storms. Ornamental features include the porch columns, a bay window in the south elevation, and the slightly projecting pedimented dormer roofs. A projecting rear second-story sleeping porch rises from a rear one-story hipped roof addition. There is a small shed addition projecting to the southeast from this rear addition.

7a. 828 Arkansas (Garage)

Non-Contributing Building

Photograph Number: 11

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This is a one-store, front gabled garage with synthetic siding. The garage door faces to the east towards the alley. The building features exposed rafter tails and a composition shingle roof.

8. 832 Arkansas (Young House) KHRI #045-3010-01730

Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 16

Style: Prairie

Date of Construction: c. 1912

Exterior Materials: Wood weatherboard, brick foundation, and composition shingle roof

Photograph Number: 12

Description: This is a Prairie style American Four-square house. It has a two-bay front with a side entrance and a hipped roof with hipped roof dormers to the west, north, and south. The house has a brick foundation, wood frame construction, weatherboard, and composition shingle roofing. There is a second-story tripartite bay window above the side entrance and a bay window in the south elevation. There is a one-story gable-roofed rear addition. The full length front porch has a shed roof supported on three square wooden posts. The porch has a wooden floor, lattice skirting, steps, and railing. There is a wooden entrance door with three upper lights and a glazed storm door. Windows are 1/1 double-hung sash.

8a. 832 Arkansas (Garage)

Non-contributing Building

Photograph Number: 13

This building is a two-story structure with a front gabled roof and synthetic siding. The double-wide garage door entrances faces east towards the alley. On the second floor are non-historic windows. The roof eaves have a slight overhang, and an awning is located above a pedestrian entrance on the north side of the building.

9. 838 Arkansas (House) KHRI #045-3010-01727

Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 15

Style: National Folk

Date of Construction: c. 1916

Exterior Materials: Wood weatherboard, concrete block foundation, and composition shingle roof

Photograph Number: 14

Description: This is a rectangular two-story house with a front gable roof and Craftsman details. It has a two-bay front with a side entrance. The house has a concrete block foundation, wood frame construction, weatherboard, and composition shingle roofing. There is an interior brick end chimney to the east. The gable-roofed porch has brick piers, wooden floor, lattice skirting, steps, railing and posts. There is a wooden multi-light entrance door and aluminum storm door surmounted by a transom window. Windows appear to be 1/1 metal replacements. Ornamental features include the recessed paneled porch posts, overhanging eaves with ornamental rafter tails, and eave knee braces.

9a. 838 Arkansas (Garage)

Contributing Building

Photograph Number: 15

This one story garage has a front gabled roof, with the entrance facing south. The appearance resembles the main house with weatherboard siding and exposed rafter tails. The roof appears to be a modern composition shingle.

10. 844 Arkansas (House) KHRI #045-3010-01726

Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 14

Style: Tudor Revival

Date of Construction: c. 1930

Exterior Materials: Brick, stucco, and composition shingle roof

Photograph Number: 16

Description: This rectangular one-and-a-half-story Tudor Revival style features a front-facing gable with wing and a front brick chimney. The front-gabled projecting one-story entrance bay is flanked by the

Johnson Block Historic District
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prominent exterior brick chimney to the north. The house has a stucco foundation and walls. The roof is covered with composition shingle roofing. The entrance has a concrete landing with concrete steps capped with red brick and an ornamental iron railing. There is a wooden multi-light entrance door with an 8-light storm door. Windows are 6/1 double-hung sash.

11. 846 Arkansas (House) KHRI #045-3010-01725

Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 13

Style: Tudor Revival

Date of Construction: c. 1930

Exterior Materials: Stucco, concrete foundation, and composition (possibly concrete tile) shingle roof

Photograph Number: 17

Description: This is a rectangular one-and-a-half-story Tudor Revival style house with a front-gabled roof and a side shed-roofed entrance. It has an irregular T-plan with a recessed side entrance to the northwest and a projecting entrance bay to the southwest. There is a rear basement garage entrance. The house has a concrete foundation (scored to imitate stone courses), stucco walls, and composition (possibly concrete tile) shingle roofing. There is an interior brick chimney in the south slope of the front gable roof. The front gable ends have vents with arched tops.

Both front entries have concrete landings with concrete steps accentuated by a curved border surmounted with red brick and iron railings. The wooden front entrance doors have four upper lights—a pattern repeated in the 4/1 wooden double-hung windows with aluminum storms. Ornamental Tudor Revival features include the steeply pitched roof, paired 4/1 windows, stucco, and arched vents. Windows to the east have shed awnings.

800 BLOCK OF MISSOURI, WEST SIDE

12. 801 Missouri (Granger House) KHRI #045-3010-01765

Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 1

Style: Prairie

Date of Construction: c. 1910

Exterior Materials: Wood siding, stone foundation, and composition shingle roof

Photograph Number: 18

Description: This Prairie-style house has a two-bay front with a side entrance to the north and a central entrance in the north elevation. The stone foundation is constructed of rock-faced blocks in an ashlar pattern. The house has a gable roof with a curved cornice return detail. In the north elevation, there is a projecting gable window bay lighting the stair and a similar projecting window bay in the south elevation. There is a rear wing with a second-story sleeping porch and a shed-roofed rear porch. The house is wood frame construction with weatherboard and composition shingle roofing. The house has a central interior brick chimney.

The wood frame front porch has a gable roof with curved end cornice returns supported by two tapered and grooved square posts with molded capitals. The porch has wooden steps, floor, and railing. The wooden entrance door has a large glazed panel and a wooden storm door. There are 1/1 double-hung windows. Modest ornamental features include a small leaded glass window beside the entrance and ornamental wood shingle courses in the main and porch gable ends.

12a. 801 Missouri (Garage)

Non-contributing Building

Photograph Number: 19

This one-story front-gabled garage features a modern garage door that faces the north towards 8th Street. The garage is accessed via the alley. It is constructed with modern siding and a composition shingle roof.

13. 805 Missouri (House) KHRI #0445-3010-01741

Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 2

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Style: Prairie

Date of Construction: c. 1912

Exterior Materials: Wood siding, stone foundation, and composition shingle roof

Photograph Number: 20

Description: This is a rectangular two-story *Foursquare* type residence with Prairie and Craftsman style features. The house has a two-bay front with a side entrance to the north. The foundation is constructed of coursed rock-faced stone blocks. The house has a side-gable roof with wide overhangs and cornice returns. There are front and rear hipped roof dormers. The rear first story extends slightly to support a cantilevered sleeping porch. A one-story hipped roof addition to the north extends from this wing. The house is wood frame construction with weatherboard on the first story and shingle sheathing on the second story and gable ends. The roof has composition shingle roofing. There is an interior brick chimney to the southwest. The hipped roof front porch is wood frame construction with three tapered posts, a railing and steps with railings. The wooden entrance door has a large glazed panel and contemporary glass storm door. There are 1/1 double-hung windows with aluminum storms. Ornamental features include a small leaded glass window to the north and a larger window with leaded ornament to the south.

13a. 805 Missouri (Garage)

Non-contributing Building

Photograph Number: 21

This is a one-story front-gabled garage with doors that face to the north. The garage is accessed from the alley to the west. To the left of the garage door is a pedestrian door with access to the fenced-in back yard. The garage is constructed with modern siding and a composition shingle roof.

14. 809 Missouri (Klein House) KHRI #045-3010-01763

Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 3

Style: Prairie

Date of Construction: c. 1914

Exterior Materials: Weatherboard siding, stone foundation, and composition shingle roof

Photograph Number: 22

Description: This is a rectangular two-story *Foursquare* plan house with simplified Prairie and Craftsman style features. The house has a square plan with a secondary entrance on the north, a hipped roof, and hipped roof dormers to the east, south, and north. The foundation is constructed of coursed rock-faced stone blocks. The house is wood frame construction with weatherboard on the first story and shingle sheathing on the second story. There is a projecting bay in the north elevation and a bay window in the south elevation as well as a rear hipped-roof wing to the northwest with a second floor sleeping porch. There is a central interior brick chimney. The house has a full-length front porch on stone piers. The porch has a wooden floor, steps, railing, and square posts. Ornamental features include the broad overhanging eaves and contrasting shingle sheathing on the second story and roof dormers. There is a paneled wooden entrance door with a contemporary aluminum storm door. The windows are 1/1 double-hung with aluminum storms.

14a. 809 Missouri (Garage)

Contributing Building

Photograph Number: 23

This one-story garage does not open to the alley. Due to the fencing in the backyard, it is difficult to confirm, but the garage likely opens towards the house to the east. The small structure has wood weatherboard siding, a concrete foundation, and a composition shingle roof.

15. 815 Missouri (Pickens House) KHRI #045-3010-01761

Non-contributing building

Legal Description: LANE PLACE ADD BLK 16 LT 4

Style: Prairie

Date of Construction: c. 1912

Exterior Materials: Synthetic siding, stone foundation, and composition shingle roof

Photograph Number: 24

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Description: This is a rectangular two-story Prairie style house. It has a two-bay front with a side entrance. The house has a tripartite bay window with a pedimented head in the south elevation, an entrance in the north elevation, a small shed-roofed addition at the northwest corner, and a two-story rear wing with a second-story sleeping porch, and a one-story gable-roofed addition. The house has a coursed rock-faced stone foundation (parged with mortar). It is wood frame construction with synthetic siding and composition shingle roofing. There is a central interior brick chimney in the north roof slope. The house has a full-length front porch on brick piers with stone caps supporting two end columns and wooden steps and railing. The wooden entrance door with glazed panels is flanked by a small leaded glass window to the north and a large window with leaded ornamentation to the south. Windows are 1/1 double-hung sash with aluminum storm windows. Contemporary shutters are affixed beside the front second story and attic windows. Due to the secondary siding, the house is considered non-contributing. If the siding be removed in the future, the status should be reevaluated.

15a. 815 Missouri (Garage)

Contributing Building

Photograph Number: 25

This one-story garage appears to be constructed of concrete masonry units and finished with a parging that has been detailed to have the appearance of horizontal siding. There is no entrance to the alley, and the roof is composition shingle.

16. 817 Missouri (Kirchoff House) KHRI #045-3010-01760

Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 5

Style: Craftsman/Bungalow

Date of Construction: c. 1910

Exterior Materials: Weatherboard siding, stone foundation, and composition shingle roof

Photograph Number: 26

Description: This rectangular two-story house features Craftsman details. It has a two-bay front with a gable roof and off-set entrance. The house has a bay window with hipped roof in the south elevation and a rear wing with a second story sleeping porch. The house has a coursed rock-faced stone block foundation. The house is wood frame construction with weatherboard sheathing and shingle sheathing in the main and porch gable ends. The house has standing seam metal roofing. There is an exterior metal flue in the south elevation. The full-length front porch has three brick piers with stone caps supporting end columns. There is a wood floor, steps, and railing. The wooden entrance door has an oval glazed panel and storm door. It is flanked by a small leaded glass window to the north and a large window with leaded detail to the south. Windows are 1/1 double-hung sash that appear to be metal replacements. Ornamental features include a slightly projecting head molding over doors and windows and knee braces in the eaves and a tripartite window in the gable ends.

16a. 817 Missouri (Garage)

Non-contributing building

Photograph Number: 27

This garage is a small 1 ½ story structure with a shed roof and clerestory aluminum windows. The roof appears to be metal. The building has non-historic wood siding and a door that faces to the north.

17. 823 Missouri (Edie, Ernest, House) KHRI #045-3010-01757

Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 6

Style: Craftsman/Bungalow

Date of Construction: c. 1910

Exterior Materials: Weatherboard siding, brick foundation, and composition shingle roof

Photograph Number: 28

Description: This is a rectangular one-and-a-half-story Craftsman style bungalow with a front-gabled roof, a front screened roof dormer, and two roof dormers to the north and south. It has a three-bay front with a central entrance. There is a rear shed-roofed entry to the northwest. The house has a brick foundation. It is wood frame construction with weatherboard on the first story, shingle sheathing on the gable ends and

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dormers, and composition shingle roofing. There is an exterior brick chimney with rock-faced stone ornamentation in the south elevation.

The full-length hipped-roof front porch has brick piers, wooden lattice skirting, floor, railing, steps and handrail. The porch roof is supported on four tapered wooden posts. The wooden glazed entrance door has a contemporary glazed storm door and is flanked by two large windows with upper leaded glass ornamentation. Craftsman ornamental features include the porch posts, 3/1 double-hung windows, two small ornamental leaded glass windows in the north and south elevations, and cornice returns.

18. 825 Missouri (Hill House) KHRI #045-3010-01756

Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 7

Style: Prairie

Date of Construction: c. 1909

Exterior Materials: Weatherboard siding, stone foundation, and composition shingle roof

Photograph Number: 29

Description: This is a two-story Prairie style house with a Foursquare plan. It has a three-bay front, central entrance, and truncated hipped roof with broad overhang. There is a projecting window bay in the second story to the east, a bay window in the south elevation, a projecting bay in the north elevation, and a hipped roof rear wing with a hipped entry to the northwest. The house has a rock-faced stone block foundation laid in an ashlar pattern. It is wood-frame construction with weatherboard on the first story and ornamental shingle sheathing on the second story. There is a composition shingle roof and a central interior brick chimney. The full length front porch has rock-faced stone block piers, wooden floor, railing, and square posts. There is a glazed wooden entrance door with a contemporary aluminum storm door. The large flanking windows have upper leaded glass ornamentation. There is a small leaded glass window in the north elevation and a bank of three leaded glass windows in the south elevation. Other windows are 1/1 double-hung sash with aluminum storm windows.

18a. 825 Missouri (Garage)

Non-contributing Building

Photograph Number: 30

This two-story garage has a pyramid hip roof with a second-story dormer facing to the south. The second story dormer is covered in wood shingles painted to match the primary house. The first floor has a modern garage door that faces west to the alley and synthetic siding. The roof is wood shingles.

19. 829 Missouri (Winey House) KHRI #045-3010-01754

Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 8

Style: Prairie

Date of Construction: c. 1912

Exterior Materials: Weatherboard siding, stone foundation, and composition shingle roof

Photograph Number: 31

Description: This is a rectangular two-story Prairie style house with a rectangular plan and front-gabled roof. It has a two-bay front with side entrance and front-gabled roof. The house has a foundation constructed of coursed rock-faced stone blocks. It is wood frame construction with weatherboard sheathing and composition shingle roofing. There is a two-story bay window in the south elevation, a gable-roofed bay in the north elevation and a rear wing with a second story sleeping porch. There is a central interior brick chimney. The full length front porch is supported on brick piers. It has a wooden floor, lattice skirting, railing, steps, and square posts. The glazed wooden entrance door has a paneled wooden storm door. There are 1/1 double-hung windows with aluminum storms. Ornamental features include the curved porch cornice returns and eave cornice returns. There is a leaded glass window in the center of the first story bay and a cruciform address block centered in the porch gable end.

19a. 829 Missouri (Garage)

Contributing Building

Photograph Number: 32

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This two-story front-gabled garage has a first-floor garage door opening that faces to the south. On the south side is a second-story window, as well as two openings on the west side that have been closed in. The building features exposed rafter tails and a composition shingle roof.

20. 833 Missouri (Cronemeyer House) KHRI #045-3010-01752

Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 9

Style: Prairie

Date of Construction: c. 1910

Exterior Materials: Weatherboard siding, stone foundation, and composition shingle roof

Photograph Number: 33

Description: This is a Prairie style house with a rectangular floor plan and a front-gabled roof. It has a two-bay front with side entrance and front-gabled roof. There is a bay window in the south elevation, a rear shed-roofed entry addition, and a gable dormer addition in the north elevation. The house has a coursed rock-faced stone block foundation. It is wood frame construction with weatherboard sheathing and composition shingle roofing. There is a central interior brick chimney. The full length front porch has concrete block piers covered by the wooden lattice skirting. The porch has a wooden floor, railing, steps, handrail, and square posts. The wooden entrance door has an aluminum storm door. There is a small leaded glass window beside the entrance, another in the north elevation, and a large window to the south. Other 1/1 double-hung windows appear to be metal replacements. Ornamental features include the cornice returns on the porch and main gable ends, the tripartite window in the attic, and the projecting pedimented roof over the bay window.

20a. 833 Missouri (Garage)

Non-contributing Building

Photograph Number: 34

This is a two-story structure with a front-gabled roof and synthetic siding. There are no doors, pedestrian or vehicular, on the north, south, or east sides. There are vinyl windows on each of these sides. On the north side, two vinyl windows in the second story and one on the first. The west side towards the alley has two irregular windows, and the south side has two windows in the second story as well. The roof is composition shingle.

21. 839 Missouri (Edie House) KHRI #045-3010-01752

Contributing Building

Legal Description: LANE PLACE ADD BLK 16 LT 10

Style: Craftsman/Bungalow

Date of Construction: c. 1912

Exterior Materials: Weatherboard siding, concrete block foundation, and composition shingle roof

Photograph Number: 35

Description: This is a rectangular one-story Craftsman bungalow type with well-preserved Craftsman details. It has a main cross-gable roof, a central entrance, a projecting window bay in the south front and a projecting porch in the north front. There is a projecting window bay in the south elevation and a similar screened porch bay in the north elevation. The house has a concrete block foundation, wood frame construction, wood shingle sheathing, and composition shingle roofing. There is an exterior brick chimney with rock-faced stone ornament in the south elevation. The front porch has a central entrance with wooden floor, steps, railing, solid railing covered with shingles, tapered square end posts with a molded cap, and an ornamental lintel. There is a glazed wooden entrance door and storm door. The windows are 9/1 with double-hung sashes. Ornamental features include the extra stickwork in the gables, wide, unenclosed eave overhangs, and the curved rafter tails.

21a. 839 Missouri (Garage)

Contributing Building

Photograph Number: 36

This one-story garage features a front-gabled roof over the garage door, which fronts the alley to the west. It appears to retain its historic weatherboard siding and is covered with a composition shingle roof.

22. 845 Missouri (Johnson, Victor, House) KHRI #045-3010-01747

Contributing Building

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Legal Description: LANE PLACE ADD BLK 16 LTS 11 & 12 (U05116 & 17 COMBINED 1988)

Style: Prairie

Date of Construction: c. 1908

Exterior Materials: Tan brick and stone, stone foundation, and composition shingle roof

Photograph Number: 37

Description: This is an irregular shaped two-story Prairie style house oriented east-west with a wing to the south and a side entrance in the main block. It has a hipped roof with broad, overhanging eaves. There is a side entrance in the main block to the north and a shed-roofed entrance porch which extends into a porte-cochere to the northeast. A one-story sunroom with a rear entrance extends from the west elevation. There are hipped-roof dormers to the east, north, and west. The house has a coursed rock-faced stone block foundation which is continued in the stone masonry first story. The second story is constructed of tan brick. The roof is covered with composition shingle roofing. There are two interior chimneys constructed of tan brick. The house has an oblique entrance to the southeast leading to a concrete deck extending into the entrance porch. The deck and porch have rock-faced stone block piers, a smooth-cut stone water table and a rock-faced stone block railing with a smooth-faced cap. The porch and porte-cochere are supported on rough-cut stone block posts. There is a 15-light wooden entrance door with a wooden storm door flanked by a horizontal leaded glass window. A similar window overlooks the porte-cochere and another is located in the south wing. Other windows are 9/1 double-hung. Ornamental features include the smooth-cut stone water table, belt course, window sills, lintels, and corner quoins.

22a. 845 Missouri (Garage)

Contributing Building

Photograph Number: 38

This one-story garage has a hipped roof covered in composition shingles. The garage door faces to the north and is accessed from the alley to the west.

	Address	Resource	Contributing Status
1	800 Arkansas St.	Yancey House	C
1a		Garage	C
2	804 Arkansas St.	House	C
2a		Garage	C
3	806 Arkansas St.	Ochse House	C
3a		Garage	C
4	818 Arkansas St.	House	NC
5	820 Arkansas St.	House	NC
6	824 Arkansas St.	House	C
7	828 Arkansas St.	Birch House	C
7a		Garage	NC
8	832 Arkansas St.	Young House	C
8a		Garage	NC
9	838 Arkansas St.	House	C
9a		Garage	C
10	844 Arkansas St.	House	C
11	846 Arkansas St.	House	C
12	801 Missouri St.	Granger House	C
12a		Garage	NC
13	805 Missouri St.	House	C
13a		Garage	NC
14	809 Missouri St.	Klein House	C
14a		Garage	C
15	815 Missouri St.	Pickens House	NC

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15a		Garage	C
16	817 Missouri St.	Kirchoff House	C
16a		Garage	NC
17	823 Missouri St.	Edie, Ernest, House	C
18	825 Missouri St.	Hill House	C
18a		Garage	NC
19	829 Missouri St.	Winey House	C
19a		Garage	C
20	833 Missouri St.	Cronemeyer House	C
20a		Garage	NC
21	839 Missouri St.	Edie House	C
21a		Garage	C
22	845 Missouri St.	Johnson, Victor, House	C
22a		Garage	C

Historic Integrity

The neighborhood retains a high degree of historic integrity. Overall, most houses retain their original siding, windows, and distinctive features. It is the policy of the Kansas State Historic Preservation Office and the Kansas Historic Sites Board of Review to not list or nominate resources containing non-historic siding either individually on the National Register of Historic Places, on the Register of Historic Kansas Places, or as contributors to historic districts. For over 25 years, the National Park Service has provided guidance for treating historic buildings through its Preservation Briefs. Preservation Brief #8, "Aluminum and Vinyl Sidings on Historic Buildings," states that "To the degree that they conceal the original building fabric, substitute materials such as aluminum and vinyl sidings will always subtract from the basic integrity of historically and architecturally significant buildings."¹

¹ John H. Myers, rev. by Gary L. Hume, "Aluminum and Vinyl Sidings on Historic Buildings," National Park Service Preservation Brief #8 (1984): 2.

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8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B Property is associated with the lives of persons significant in our past.
- C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- A Owned by a religious institution or used for religious purposes.
- B removed from its original location.
- C a birthplace or grave.
- D a cemetery.
- E a reconstructed building, object, or structure.
- F a commemorative property.
- G less than 50 years old or achieving significance within the past 50 years.

Areas of Significance

ARCHITECTURE

Period of Significance

1908-1930

Significant Dates

Significant Person

(Complete only if Criterion B is marked above.)

Cultural Affiliation

Architect/Builder

Overton & Leigh

Victor Johnson

Period of Significance (justification)

The Johnson Block experienced its boom in growth in just over twenty years, from 1908 – 1930. The first contributing structure was built in 1908, and the last contributing structures were constructed in 1930.

Criteria Considerations (justification)

N/A

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Narrative Statement of Significance

(Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

Summary

The Johnson Block is a locally designated district located in Lane Place Addition. The majority of the residences were constructed during the "A Quiet University Town, 1900-1945" period described in the multiple property documentation form "Historic Resources of Lawrence, Douglas County, Kansas" (1998). This multiple property listing outlines the historic context for this district. As a whole, the district is an example of southern and western residential expansion of Lawrence.

Elaboration

The Johnson Block historic district is located in Lane Place Addition, a subdivision which was dedicated on March 14, 1871. It is located to the south of a slightly older subdivision, Lane Place, dedicated on May 8, 1868. To the east, a small subdivision, Logan Place, was dedicated on June 4, 1887, and Sinclair's Addition on the south side of Ninth (Warren) Street was dedicated on March 4, 1884.² When Victor Johnson initiated residential development of the Johnson Block, the area west of Lane Place Addition was occupied by several larger tracts and was not subdivided as residential lots.³

In the early twentieth century, the area of the Johnson Block was described as "a pasture." Downtown Lawrence was located to the east and there was some residential development to the north and south. A few houses were scattered to the west as the terrain rose sharply to the top of the Mount Oread ridge. Today the Johnson Block of early twentieth century residences is surrounded by residential development of a similar age and character. On the west side of Arkansas Street, there are residences of a similar age, size, and character with some compatible infill buildings. North of Eighth Street and on the east side of Missouri Street, there are also similar residences. To the south, Ninth Street is a major connector with a relatively high traffic volume, but residences of a similar age, size, and character remain.

The historic context for this district is outlined in the National Register multiple property listing "Historic Resources of Lawrence, Douglas County, Kansas," (1998). Almost all of the extant residences in the Johnson Block were constructed during the "A Quiet University Town, 1900-45" period described in the multiple property listing. As the Lawrence Daily Journal boasted in 1910, "Lawrence is conceded on all hands to be the most beautiful residence city in Kansas. Its homes present a uniformity in good architecture, a tasteful construction and in delightful surroundings." Few of these homes were rented, "most of them having been built to be occupied by the owners, which means good construction and well-kept grounds."⁴ The area in West Lawrence bordering Ninth Street encompassing the Johnson block was a popular location for new homes during this period of measured growth and urban development.

The area included in the historic district was initially platted during the brief town-building boom in Lawrence history from 1864 to 1873. Lane Place Addition was dedicated on March 14, 1871. However, because of the recession following 1873 and slow population growth in Lawrence during the late nineteenth century, the subdivision actually was not developed until the early twentieth century. Block 16 had several owners before Victor Johnson purchased the tract on April 10, 1909. Johnson then developed the block beginning in 1909.

² Public records, Douglas County Register of Deeds, Lawrence, Kansas.

³ Standard Atlas of Douglas County (Chicago, IL: George A. Ogle & Son, 1921), "Section 36," 12.

⁴ Lawrence Daily Journal, "Live Lawrence," commemorative edition (November, 1910), 1.

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A contemporary description offered a dramatic perspective of this significant urban development in the “quiet University town.” As the Lawrence Daily Journal reported on May 4, 1909,

What can be done under the leadership of a wide awake man has been demonstrated in the development of the Vic Johnson block, situated in the 800 block between Arkansas and Missouri streets in West Lawrence. The block has been a pasture for years and when it was placed on the market the men to whom it was offered found little attraction in it. Vic Johnson finally bought it and before placing any of the lots on the market thought out a plan which has been strictly followed.⁵

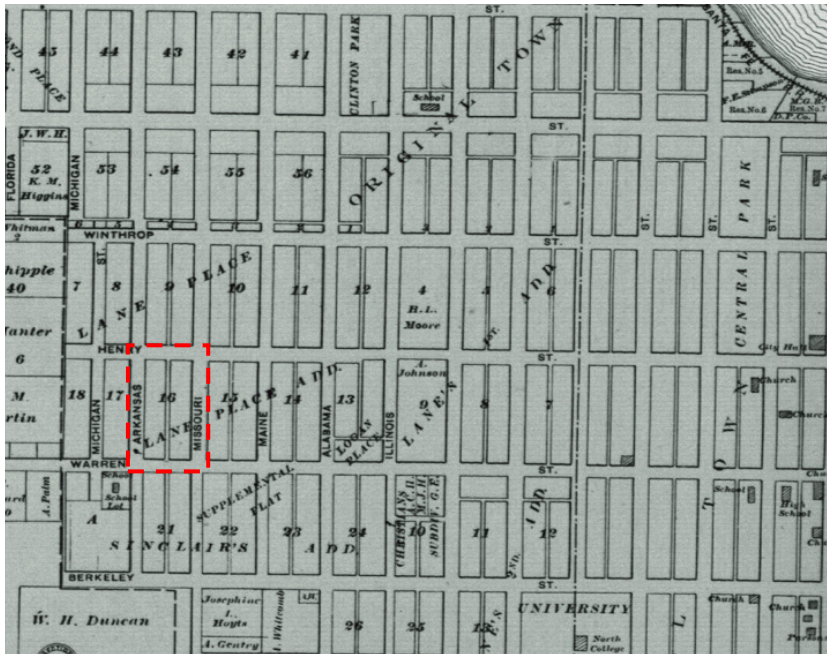


Figure 3: Plat book from 1909 showing Lane Place and Lane Place Addition. Johnson Block is marked in red. (Kansas Memory)

Johnson’s plan produced a uniformity and quality of design that created lasting value and architectural character. This included deed restrictions that stipulated each house “must stand back thirty feet from the line, must stand five feet from the north lot line, must not cost less than \$2,000 and each buyer bound himself to put in cement walks and to favor paving the street.” Sewer and water pipes were then laid in the alley and gas mains in front so “each home would have the benefit of modern conveniences as soon as completed.”⁶ Victor Johnson reserved the southeast corner of the block for himself and announced that he would build a \$6,000 home. He also expected to erect a \$3,000 rental property on the northwest corner and a third house for rent.⁷

Early in May, 1909, when the proposed “block of beautiful homes” was announced, two houses were already being erected, that of H.L. Winey, near the center of the block facing the east (829 Missouri) and that of C.E. Birch directly back of it facing west (828 Arkansas). At the time, Ninth Street (Warren) on the south was paved and Johnson expected Arkansas and Missouri streets to be paved as quickly as possible.⁸ Johnson’s plan was an influential investment in local development. As the Daily Journal reporter commented,

Quite a number of new houses will be put up during the summer and it will be but a short time until the cow pasture of the past has been turned into the finest residence block in the city, where everything has been laid out with order and where every home is modern and of a high class. The wisdom of Mr. Johnson’s move has been shown by the eagerness with which the lots have been taken. Little effort has been made to find buyers, while many who have desired lots have been unable to secure them for various reasons. The idea has been so popular that it is understood that others expect to follow it later on in opening additions.⁹

⁵ “Will Make Model Block,” Lawrence Daily Journal 4 May 1909.

⁶ “Will Make Model Block,” Lawrence Daily Journal 4 May 1909.

⁷ “Will Make Model Block,” Lawrence Daily Journal 4 May 1909.

⁸ According to the City of Lawrence, Arkansas Street was paved with cement in 1914.

⁹ “Will Make Model Block,” Lawrence Daily Journal 4 May 1909.

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Documentation of the significance of the Johnson Block and developer Victor Johnson further defines the early twentieth century trend of southern and western residential expansion in Lawrence. In 1909 residential development was facilitated by the construction of the electric street car system by the Lawrence Light and Railway Company. That line extended west to Mississippi Street, just a few blocks east of the Johnson Block. At that time, only a few residents owned automobiles and most used horses or walked to go to work and shop. The Johnson Block is only eleven blocks west of Massachusetts Street, the main route of the streetcar line. The streetcar system and increasing automobile use stimulated the expansion of residential development at a greater distance from the historic town center. Real estate advertising in the summer of 1909 began to emphasize proximity to the new streetcar line as an advantage.

After 1920, the pace of urban development in Lawrence slowed down. The town recorded twenty-nine additions and subdivisions between 1901 and 1919, primarily in the south part of town. However, between 1920 and 1945, only seven new plats were recorded—the first in 1925 and the last two in 1938.¹⁰

Victor Johnson biography¹¹

Victor Johnson was a US citizen born in Lawrence on June 28, 1874. He was the son of John and Jane Johnson, Swedish immigrants. According to Victor's grandson, Peyton McLamb, family records gave the names as John and Sophia Johannsen. Victor's father was the proprietor of a meat market, Johnson & Company, at 637 Massachusetts Street. According to Lawrence city directories, Victor joined his father from 1893 to 1898. The business, renamed Johnson & Son, was located at 633 Massachusetts.

Victor Johnson married Mayme Augusta Rich (b. 1876, Muncie, IN) in Lawrence circa 1899. The couple had one child, Esther (1907-2004). Apparently, Victor Johnson expanded the business and was listed as a grocer, 633 Massachusetts Street, from 1900 to 1907. Victor and Mayme lived above the store at 6411/2 Massachusetts. Also, Victor became a partner in a men's clothing business, Johnson & Carl, located at 905 Massachusetts. Development of the Johnson Block was a crowning achievement in Victor Johnson's career. After 1923, he was listed with no occupation, living with Mayme at 845 Missouri. Victor and Mayme are presumed to have moved from 845 Missouri sometime before 1932, as that year's city directory lists a Floyd V Rankin (wife Phyllis) at 845 Missouri. The 1932 city directory, a Vic Johnson, wife Mayme, is listed at 846 Arkansas. By 1935, Ray T. Wright is listed at 846 Arkansas.

Peyton McLamb reported that his grandfather, Victor Johnson, prospered in Lawrence and lived well for many years. He was a speculator and some of his business investments succeeded. However, he lost most of his savings in a scheme for cold storage of eggs in railroad cars. At some point, a load of eggs was parked on a siding and ruined. That incident was financially devastating for Johnson. According to Peyton McLamb, his grandfather then worked as a bartender at the "Belle Rive" hotel in Lawrence. Mayme moved east to be near their only daughter's children. The family visited Lawrence during the summers until Victor Johnson sold the house on Missouri Street and moved east to New Jersey to join his family where he remained until his death in 1968. Mayme Johnson died in 1947.

City Directory Listings of Residents

The first house built within the district was Victor Johnson's home at 845 Missouri. The house, a key contributing structure to the nominated district, was built in 1908. The first city directory listing for the house shows Victor Johnson, developer of the block, and wife Mayme as the owners from 1911-1928. Also listed as an owner is Owen Carl, of Johnson & Carl Clothing Co. From 1929 to 1930, the house is listed as vacant.

¹⁰ Stan Hernly, "Cultural Influences on Suburban Form: With Examples from Lawrence, Kansas," M.Arch. Thesis, University of Kansas (1984), 112.

¹¹ This biography is based on research and interviews conducted by Michael Arp.

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The next house to be built on the block was 825 Missouri, constructed in 1909. The first city directory listing from 1913-1928 show Mr. and Mrs. William Hill. The occupation listed is the owner of the City Drug Store at 706 Massachusetts, but by 1927, the occupation listed is laborer.

Three houses on the block are listed as being constructed in 1910. 833 Missouri's first listing in the city directory shows Earl and Venia Cronemeyer from 1911 – 1917. Earl was an accountant at Kansas University. The next listing is 1917 – 1928, J. Herman and Mabelle Fritts, travelling salesman. Moving north along the block, the next 1910 house is 823 Missouri. The first listing from 1913 – 1917 shows Ernest and Ethel Edie; Ernest was a letter carrier. The next listing from 1927 – 1928 has Mrs. Myrtle Winsor, a widow. Next door to this property is 817 Missouri, also built in 1910. From 1913 – 1928, the residents were George and Ada Kirchhoff, Jr., salesman and then buyer for the Theo Poehler Mercantile Company. The final c. 1910 house is 801 Missouri, where the city directory lists Dwight and Mary Granger from 1911 – 1914. No occupation is listed. Records show Maurice and Blanche Pearson in 1917; Maurice was a ticket clerk on the Santa Fe Railroad. From 1927 – 1928, John and Clara Bollin are listed. John was a travelling salesman.

In 1912, the 800 block of Missouri begins to fill in and development starts on Arkansas as well. 839 Missouri's first listing in the city directory is 1911 – 1914, Albert and Lucy Edie, clerk RMS. The next listing is 1928 – 1928, William and Alta Essick, high school teacher. 829 Missouri lists Henry and Lotta Winey from 1913 – 1914. Occupation listed is owner of Winey and Arnold Clothing at 902 Massachusetts. In 1928, Mrs. Anna Rice, widow, is listed. 815 Missouri is the next lot with a construction date of 1912. The first listing in 1911 – 1914 has Norman and Nellie Pickens, travel agent, Theo Poehler Merc. Co., wholesale grocers. The next listing is 1927-28, John and Annette Henry; occupation listed as physician. Finally, 805 Missouri was also constructed c. 1912. The first city directory listing from 1913 – 1917 has Leslie and Alice Deforest, also a travel agent at Theodore Poehler Mercantile Company. From 1927 – 1928, listed are Raymond and Eula Schwegler. Raymond was a professor at Kansas University.



Figure 4: Postcard showing Theo Poehler Mercantile Co., where several residents of the Johnson Block worked.

On Arkansas, two lots date to c. 1912: 828 Arkansas and 832 Arkansas. Records indicate that 828 Arkansas was constructed by Clarence C. Birch (wife Elizabeth Edna), principal of Haskell Institute. It is speculated it was an investment property, as there is no record Birch ever lived there. Lawrence H. DeForest and wife Martha were residents in 1911. DeForest worked at Theodore Poehler Mercantile Company as a traveling agent. George S. Ware (wife Nida) purchased the house from Clarence Birch on August 4, 1919. Ware was a clerk at C. P. Starkweather, later a salesman at Butler Sanderson Motor Company. John H. Lehman (wife Mary C.) bought the house from Ware on May 28, 1920. Lehman worked as a carpenter. The Lehmans sold

the house to Fred Brown et al on December 23, 1943. The first city directory listing for 832 Arkansas is in 1911 for James R. Young and wife Lou. James owned a store specializing in groceries, meat, flour, and fruit at 1033 Massachusetts. From 1913-14, the city directory lists J.R. Dougan and wife Nellie. J.R. Dougan was sales manager for American Cement Plaster Co. In 1917, Edward Kendall, a travel agent, and Lillian. From 1927-28, U.S. Roadmaster Arthur Jung and Flora.

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The final lot to be constructed on the 800 block of Missouri was 809 Missouri, dated c. 1914. The first city directory listing from 1913 – 1917 shows Edward and Blanche Klein, harness maker. From 1927 – 1928, only Blanche Klein, widow of Edward, is listed.

In the 800 block of Arkansas, only one lot dates to 1915, 824 Arkansas. The first listing in 1911 city directory, Albert and Pearl Overston, owner of Overton [sic] and Leigh Contractors. Next listing is 1913-14, Joseph and Jeanette Hoopes; Joseph Hoopes was a travel agent. From 1927-28, the house was shared by the Rev. Burton Cragg and his wife Sara, along with Cameron and Dessie Day. Cameron Day was an instructor at Kansas University.

Following this, 838 Arkansas was constructed c. 1916. The first listing in 1917 is Walter H. Wellhouse, a student at KU. In 1927-28, the city directory lists Mahlon and Lottie Perkins. Mahlon Perkins was listed as a farmer.

In 1920, the north portion of the 800 block of Arkansas begins to develop with 800 and 804 Arkansas. The first documented resident for 800 Arkansas appears in the 1927 – 1928 city directory: Alfred N. Yancey, manager, Zephyr Bakery. Although the county records date the construction of 804 Arkansas to 1920, the city directory has listings for the property beginning in 1911. It's unknown if a house previously existed on the lot. The 1911 city directory lists Mrs. Belle L. Fairchild, a widow. In 1913-14, the directory lists Miss Ulriah Barnes, no occupation listed. In 1917, Edward and Edna Houghton, no occupation listed. Finally, in 1927-28, Mrs. Tina Weisley, no occupation, is listed.

After this period, construction slows in the district, with the next house constructed c. 1925 at 806 Arkansas. The first city directory listing is found in 1927-28 for Adolph Ochse, printer.

The last two houses constructed within this period of significance are 844 and 846 Arkansas, both dated c. 1930. In the 1932 city directory, both EE Fisher (wife Cora) and Lucille Fisher are listed at 844 Arkansas. The directory shows Vic Johnson (wife Mayme) at 846 Arkansas.

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9. Major Bibliographical References

Bibliography (Cite the books, articles, and other sources used in preparing this form.)

Armstrong, Albert W. *Plat Book and Complete Survey of Douglas County, Kansas*, 1909. Accessed via Kansas Memory, www.kansasmemory.org.

Douglas County Register of Deeds. *Public Records*. Lawrence, Kansas, n.d.

Hernly, Stan. *Cultural Influences on Suburban Form: With Examples from Lawrence, Kansas*. M. Arch Thesis, Lawrence, Kansas: University of Kansas, 1984.

Interviews by Michael Arp. *Interviews for Johnson Block* (n.d.).

Lawrence City Directories, 1911, 1913, 1917, 1927-28, 1932, 1935.

Lawrence Daily Journal. "Live Lawrence." November 1910: 1.

Lawrence Daily Journal. "Will Make Model Block." May 4, 1909.

Myers, John H., rev. Hume, Gary L. "Aluminum and Vinyl Sidings on Historic Buildings." *National Park Service Preservation Brief #8*. 1984.

Ogle, George A. & Son. "Section 36." In *Standard Atlas of Douglas County*, 12. Chicago, IL, 1921.

Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67 has been requested)
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # _____
- recorded by Historic American Engineering Record # _____
- recorded by Historic American Landscape Survey # _____

Primary location of additional data:

- State Historic Preservation Office
- Other State agency
- Federal agency
- Local government
- University
- Other
- Name of repository: _____

Historic Resources Survey Number (if assigned): _____

10. Geographical Data

Acreage of Property 6.02 acres

Provide latitude/longitude coordinates OR UTM coordinates.

(Place additional coordinates on a continuation page.)

Latitude/Longitude Coordinates

Datum if other than WGS84: _____

(enter coordinates to 6 decimal places)

1 38.969417 -95.249909
Latitude: Longitude:

3 38.967457 -95.248662
Latitude: Longitude:

2 38.969421 -95.248657
Latitude: Longitude:

4 38.967486 -95.249890
Latitude: Longitude:

OR

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UTM References

_____ NAD 1927 or _____ NAD 1983

1 _____
Zone Easting Northing

3 _____
Zone Easting Northing

2 _____
Zone Easting Northing

4 _____
Zone Easting Northing

Verbal Boundary Description (describe the boundaries of the property)

The district is bounded on the north side by W 8th Street and on the south side by W 9th Street. On the west, the district is bounded by Arkansas Street and bounded on the east by Missouri Street.

Boundary Justification (explain why the boundaries were selected)

Although there are similar houses in the surrounding neighborhoods, these two blocks represent an area specifically developed by Victor Johnson. In addition, these two blocks have a high concentration of extant resources that represent the growth of Lawrence during this time. These boundaries define the locally designated district as well.

11. Form Prepared By

name/title Dale Nimz and Michael Arp with Lynne Zollner (City of Lawrence) and Lauren Jones (KSHS)

organization _____ date September 14, 2018

street & number _____ telephone _____

city or town Lawrence State KS zip code _____

e-mail _____

Property Owners: (complete this item at the request of the SHPO or FPO)

name On file with SHPO.

street & number _____ telephone _____

city or town _____ state _____ zip code _____

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 100 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Office of Planning and Performance Management, U.S. Dept. of the Interior, 1849 C. Street, NW, Washington, DC.

Additional Documentation

Submit the following items with the completed form:

Photographs

Submit clear and descriptive photographs. The size of each digital image must be 1600x1200 pixels (minimum), at 300 ppi (pixels per inch) or larger. Key all photographs to a sketch map or aerial map. Each photograph must be

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numbered and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

Photograph Log

Name of Property: Johnson Block Historic District

City or Vicinity: Lawrence

County: Douglas State: Kansas

Photographers: Dale Nimz, Lauren Jones

Date

Photographed: Dale Nimz – August 2016, Lauren Jones – August 2018

Description of Photograph(s) and number, include description of view indicating direction of camera:

- 01 of 41:** 800 Arkansas. Looking SE at north and west elevations, Dale Nimz.
- 02 of 41:** 800 Arkansas garage. Looking SW at north and east elevations, Lauren Jones.
- 03 of 41:** 804 Arkansas. West elevation, Dale Nimz.
- 04 of 41:** 804 Arkansas garage. Looking NW at south and east elevations, Lauren Jones
- 05 of 41:** 806 Arkansas. West elevation, Lauren Jones.
- 06 of 41:** 806 Arkansas garage. Looking NW at south and east elevations, Lauren Jones.
- 07 of 41:** 818 Arkansas. West elevation, Dale Nimz.
- 08 of 41:** 820 Arkansas. West elevation, Dale Nimz.
- 09 of 41:** 824 Arkansas. Looking NE at west and south elevations, Dale Nimz.
- 10 of 41:** 828 Arkansas. West elevation, Dale Nimz.
- 11 of 41:** 828 Arkansas garage. East elevation, Lauren Jones.
- 12 of 41:** 832 Arkansas. West elevation, Dale Nimz.
- 13 of 41:** 832 Arkansas garage. North side of east elevation, Lauren Jones.
- 14 of 41:** 838 Arkansas. West elevation, Dale Nimz.
- 15 of 41:** 838 Arkansas garage. Looking NW at south and east elevations, Lauren Jones.
- 16 of 41:** 844 Arkansas. West elevation, Dale Nimz.
- 17 of 41:** 846 Arkansas. Corner of Arkansas and 9th Streets, looking NE at south and west elevations, Dale Nimz.
- 18 of 41:** 801 Missouri. Corner of Missouri and 8th Streets, looking SW at north and east elevations, Dale Nimz.
- 19 of 41:** 801 Missouri garage. Looking SE at north and west elevations, Lauren Jones.
- 20 of 41:** 805 Missouri. East elevation, Dale Nimz.
- 21 of 41:** 805 Missouri garage. Looking SE at north and west elevations, Lauren Jones.
- 22 of 41:** 809 Missouri. Looking SW at north and east elevations, Dale Nimz.
- 23 of 41:** 809 Missouri garage. Looking SE at north and west elevations, Lauren Jones
- 24 of 41:** 815 Missouri. Looking SW at north and east elevations, Dale Nimz.
- 25 of 41:** 815 Missouri garage. Looking SE at north and west elevations, Lauren Jones.
- 26 of 41:** 817 Missouri. Looking NW at south and east elevations, Dale Nimz.
- 27 of 41:** 817 Missouri garage. Looking SE at north and west elevations obscured by fence, Lauren Jones.
- 28 of 41:** 823 Missouri. East elevation, Dale Nimz.
- 29 of 41:** 825 Missouri. East elevation, Dale Nimz.
- 30 of 41:** 825 Missouri garage. Looking NE at south and west elevations, Lauren Jones.
- 31 of 41:** 829 Missouri. East elevation, Dale Nimz.
- 32 of 41:** 829 Missouri garage. Looking NE at south and west elevations, Lauren Jones.
- 33 of 41:** 833 Missouri. Looking NW at south and east elevations, Dale Nimz.
- 34 of 41:** 833 Missouri garage. Looking NE at south and west elevations, Lauren Jones.
- 35 of 41:** 839 Missouri. East elevation, Dale Nimz.
- 36 of 41:** 839 Missouri garage. Looking NE at south and west elevations, Lauren Jones.
- 37 of 41:** 845 Missouri. Looking NW at south and east elevations, Dale Nimz.

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- 38 of 41:** 845 Missouri garage. Looking SE at north and west elevations, Lauren Jones.
- 39 of 41:** View of Missouri Street. Looking SW from in front of 805 Missouri, Dale Nimz.
- 40 of 41:** View of Arkansas Street. Looking N from in front of 844 Arkansas, Dale Nimz.
- 41 of 41:** View of Arkansas Street. Looking SE from 801 Arkansas, Dale Nimz.

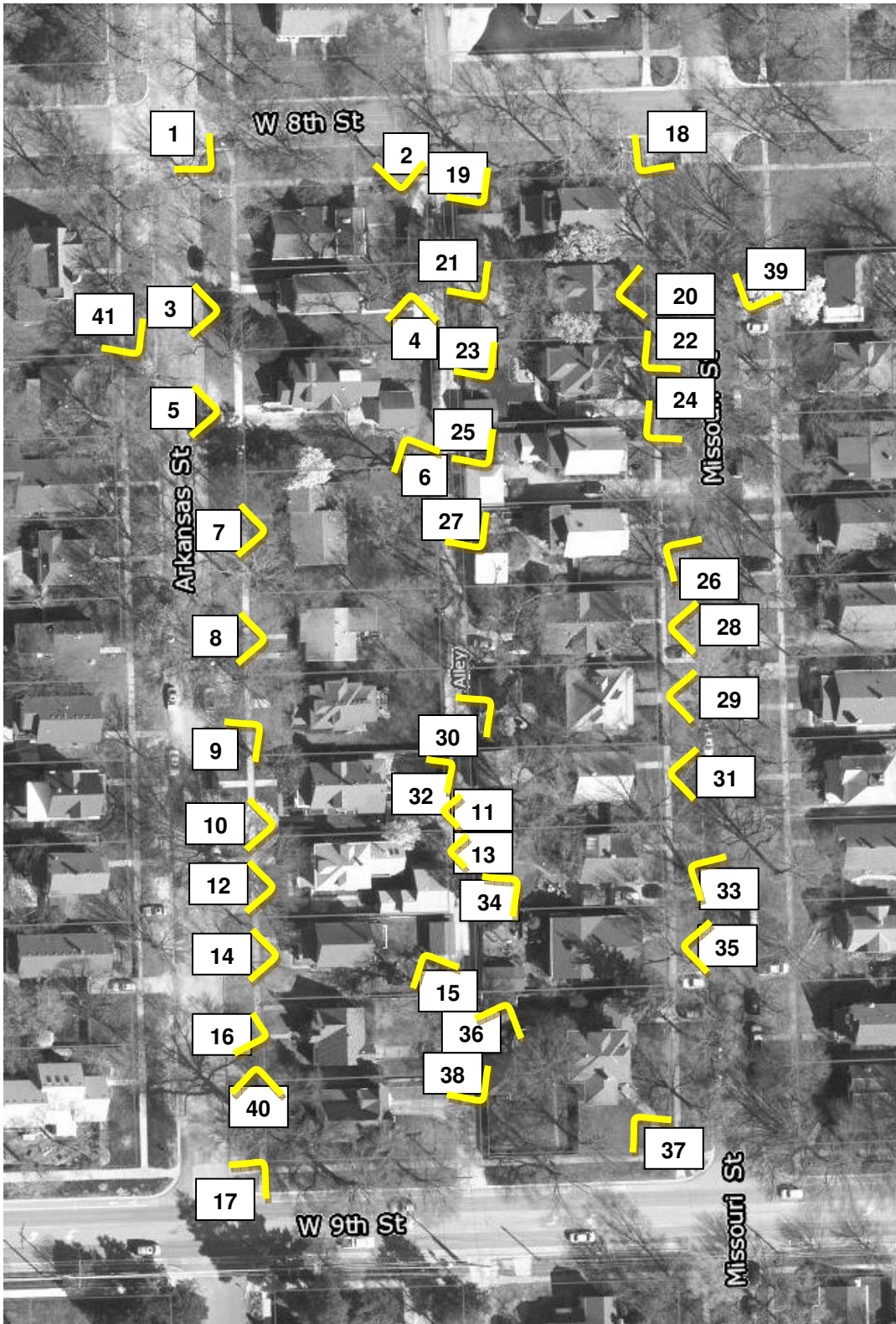


Figure 5: Photo Key Plan

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Figures

Include GIS maps, figures, scanned images below.

Figure 1: Contextual map, showing Johnson Block District (bold, dashed line) in relation to downtown and University of Kansas (KHRI).

Figure 2: Douglas County's GIS aerial map, showing parcel separations within the district.

Figure 3: Plat book from 1909 showing Lane Place and Lane Place Addition. Johnson Block is marked in red. (Kansas Memory)

Figure 4: Postcard showing Theo Poehler Mercantile Co., where several residents of the Johnson Block worked.

Figure 5: Photo Key Plan.

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Figure 6: Map of contributing and non-contributing structures.



City of Lawrence

PLANNING & DEVELOPMENT SERVICES

LAWRENCE HISTORIC RESOURCES COMMISSION ACTION SUMMARY FOR **JUNE 21, 2018**

Commissioners Present: Bailey, Buchanan, Erby, Evans, Fry, Hernly, Veatch
Staff Present: Dolar, Zollner

ITEM NO. 1: COMMUNICATIONS

- A. All communications received were included in the agenda packet.
- B. There were no ex-parte communications.
- C. There were no abstentions.
- D. There were no Committee Reports.

ITEM NO. 2: CONSENT AGENDA

- A. May 17, 2018 Action Summary
- B. Administrative Approvals
 - 1. DR-18-00078 733 New Hampshire Street; Sign Permit; State Law Review, Certificate of Appropriateness and Downtown Design Guidelines Review
 - 2. DR-18-00185 1345 West Campus Road; Commercial Remodel; State Law Review
 - 3. DR-18-00194 713 Louisiana Street; I/I Permit; State Law Review
 - 4. DR-18-00195 1510 Wedgewood Drive; Residential Remodel; Certificate of Appropriateness
 - 5. DR-18-00200 710 Massachusetts Street; Commercial Remodel; State Law Review
 - 6. DR-18-00201 106 North Park Street; Commercial Remodel; Downtown Design Guidelines Review, State Law Review and Certificate of Appropriateness
 - 7. DR-18-00202 822 Massachusetts Street; Mechanical Permit; State Law Review
 - 8. DR-18-00219 11 E 8th Street; Mechanical Permit; State Law Review
 - 9. DR-18-00220 808 Massachusetts Street; Mechanical Permit; State Law Review
 - 10. DR-18-00227 1312 New Hampshire Street; I/I Permit; State Law Review

ACTION TAKEN

Motioned by Commissioner Fry, seconded by Commissioner Evans, to approve the May 17, 2018 Action Summary.

Motion carried 5-0-1, Commissioner Bailey abstained.

Motioned by Commissioner Bailey, seconded by Commissioner Fry, to confirm the administrative approvals.

Unanimously approved 6-0.

ITEM NO. 3: PUBLIC COMMENT

Ms. KT Walsh mentioned that the Juneteenth Freedom Festival will be held on Friday at Holcom Park. She also expressed some concerns about the East 9th Street Project, specifically about what was included or left out of the bid for the project, including details about salvaging bricks and preservation of the trolley tracks.

ITEM NO. 4: DR-17-00401 505 Tennessee Street; Residential Remodel; State Law Review. The property is a contributing structure to the Pinckney I Historic District, National Register of Historic Places. (The Historic Resources Commission approved the Certificate of Appropriateness for this project on October 19, 2017.) Submitted by Struct/Restruct, LLC on behalf of Robert A. Beck and Amy M. Pettle, property owners of record.

STAFF PRESENTATION

Ms. Zollner explained the ARC memo and reviewed the project.

Commissioners agreed they were happy with the solution.

NO PUBLIC COMMENT

ACTION TAKEN

Motioned by Commissioner Bailey, seconded by Commissioner Evans, to approve the amended project and require any alterations to the project return to the Historic Resources Commission for review.

Unanimously approved 6-0.

ITEM NO. 5: DR-18-00181 707 Vermont Street; Mural; Certificate of Appropriateness and Downtown Design Guidelines Review. The property is located in the Downtown Conservation Overlay District and is located in the environs of Fire Station No. 1, the House Building, and Miller's Hall, Lawrence Register of Historic Places.

Commissioner Hernly arrived during the presentation of the item.

STAFF PRESENTATION

Ms. Lynne Zollner presented the item.

Commissioner Bailey asked if they'll be cleaning the concrete before painting.

Ms. Zollner said yes, the application states it would be cleaned, primed, and painted.

Commissioner Bailey wanted to clarify a point in the staff report, that under the Downtown Design Guidelines (15.2) the board formed concrete is considered a character-defining feature.

Ms. Zollner said it is a character defining feature, but the Downtown Design Guidelines are meant to preserve the overall historic character of Downtown and the library is not a historic structure. She explained that a mild preparation process and painting alone will not damage the concrete; however, the removal of the paint could result in damage.

Commissioner Bailey said there appears to be a hose and some lettering on the proposed wall.

Ms. Zollner explained that there is an electrical fixture and the names of those who made donations for the library lawn.

Commissioner Buchanan asked what will happen to the name plate.

Ms. Zollner said that isn't within their purview.

APPLICANT PRESENTATION

Ms. Marylin Hinojosa, Lead Artist, said the design team is committed to painting directly on the wall, noting that people typically paint concrete to protect it. She explained that their vision is to share Lawrence history with future generations, to inspire curiosity about little-known histories through the visual representation of amazing women. She added that panels would be not only an unforeseen expense but would also be more difficult and invasive.

Ms. Connie Fitzpatrick, Project Organizer, asked the Commission to please consider a special circumstance for the proposed mural. She explained that the mural will contain histories not represented at the Watkins Museum of History, and have a letter of support from them. She said Brenda Nunez is a lifelong resident of Lawrence and spoke at City Commission about the Jim Crow era and her experience not being able to sit down downtown or other spaces, but the library was an exception.

Commissioner Bailey asked if they had received an estimate for panels.

Ms. Hinojosa said they haven't looked into it because they felt it would be invasive and could even be removed, displaced, or sold. They do not feel panels are appropriate for this mural and would like it to be a permanent structure. She added that the only damage could arise from the removal of the mural, which is not the intent.

PUBLIC COMMENT

Ms. KT Walsh said she is a professional community muralist and preservationist, with experience painting on concrete, and supports the proposed mural. She explained that the walls only need to be hosed down and no invasive tools are needed. She noted that it could be removed with non-toxic paint stripper and a soft baby brush, as well as dental picks to remove any remaining paint. She said the wood grain element will be part of the mural and only enhance the texture. She said the existing metal staples are already rusting and running down the wall, but will be better maintained by muralists to prevent rust stains. She argued that the mural is removable, but as a sign of respect, it needs to go on the library wall and remain permanent. She added there is only one person of color that works at the library.

Ms. Trisha Karlin, 726 Ohio Street, said there are seven persons of color working at the library.

Ms. Kelly Nightengale, Girls Rock Lawrence, said they're a nonprofit summer camp for kids (girls, trans, and non-binary youth ages 12-18). She said their organization strongly supports the mural

and is excited about the inclusion of women of color at a civic space, and the beautification of the library building.

A member of the public, who lives at 1136 Ohio Street, said he has a fine arts degree from the San Francisco Art Institute. He said it's important to remember the existing murals on historic buildings along Massachusetts Street. He compared history to layers of memory, and the mural will add to that history written in Lawrence, so this discussion is about the decision to formally document that history of women of color.

Mr. Nicholas Ward, local muralist and filmmaker, said he wanted to address the Commission in technical terms of the mural. He explained that he was hired by the Conservation Center in Chicago to restore 14 murals on concrete in South Dakota, and only cotton balls, q-tips, water, and non-permeating chemicals were used to remove areas of the mural, with no effect on the concrete.

Mr. Christopher Beckland said the mural is a sign of respect for women of color within the community. He added that the panel system mentioned seems significantly more permanent and invasive than the proposed application.

Mr. Dan Phelps, 334 Illinois Street, talked about his personal experience with a relative who has experienced prejudice, and his views of Lawrence as a welcoming community. He stressed the importance of the mural for these reasons.

A member of the public said there is no difference between form and content for this particular project.

COMMISSION DISCUSSION

Commissioner Evans suggested they deal with the Certificate of Appropriateness first.

Commissioner Bailey agreed. He said there is no line of sight for the three listed properties.

ACTION TAKEN

Motioned by Commissioner Bailey, seconded by Commissioner Evans, to issue the Certificate of Appropriateness and find that the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs.

Unanimously approved 7-0.

COMMISSION DISCUSSION

Commissioner Erby said the applicants should be allowed to paint directly on the library and felt they should not view the paint as irreversibly damaging; rather, they should consider the mural as a character defining feature of the structure. She said the building is new enough that it should be considered in its current state as unfinished, and the mural would complete the building.

Commissioner Veatch said the Downtown Design Guidelines address character defining features. He noted that this is a 2015 building, so staff's consideration was to protect the historic fabric or pattern.

Commissioner Erby said she doesn't understand the discussion about the removal of the mural.

Commissioner Veatch explained that removal has the potential to damage the concrete in the future.

Commissioner Erby said it's a moot point if the mural is considered character defining and is not removed.

Commissioner Veatch said it's an architect designed city owned building, and the design was to have board formed concrete, not a mural.

Commissioner Bailey said he doesn't feel the board formed concrete is a character defining feature. He asked if a mural on this building would reach historic significance at some point.

Commissioner Buchanan said it would in 40 years.

Commissioner Veatch noted that if the mural is valuable to the community then it would likely be considered a character defining feature.

Commissioner Erby agreed.

Commissioner Buchanan referenced a section in the Downtown Design Guidelines (10.8) that says existing masonry walls shall not be painted.

Commissioner Fry said there are other buildings with murals on them.

Commissioner Veatch said murals are generally part of the culture downtown, but if you put a mural on a contributing structure to the district, that would be a different scenario.

Commissioner Hernly said sections 10.7 and 10.8 of the Downtown Design Guidelines seem to contradict, which state that the concrete should not be covered up (like with panels) but also should not be painted. He noted that it is a city owned building and the Historic Resources Commission (HRC) won't decide whether paint or panels is appropriate, that is up to the City Commission.

Commissioner Evans said there are two key issues: the location of the mural and the content. He felt the City should give serious consideration to a mural on the Library in terms of possible damage and the defining character of the Library, because the board formed concrete goes all the way around and establishes a base for what happens above. He urged the City to engage other people in the process of choosing the location of the mural.

Commissioner Bailey went to back to discussion of the design criteria and the language that encourages public art but other criteria that explicitly discourages painting.

Commissioner Buchanan felt the location and canvas for the mural should be strongly considered, and agreed with Commissioner Evans that the conversation should continue.

Commissioner Bailey said that could be a conversation for another body at another time, and reminded commissioners that the HRC has received a staff recommendation for approval.

Ms. Zollner said the recommendation is for approval under the Downtown Design Guidelines with a statement to the City Commission if the HRC feels the application of the mural will harm the building.

Commissioner Evans said it's not the HRC's task to say yes or no, so the recommendation to the City Commission is important. He felt the decision needed to be made at the City level and by an inclusive group.

Commissioner Bailey said their task is to forward a recommendation, and he usually agrees with staff's findings, but felt it was worth noting that language in the Downtown Design Guidelines (10.8) is very specific.

Commissioner Veatch questioned whether the spirit of that guideline applies to this project on a 4-year old building.

Commissioner Erby agreed. She said this is a brand new building that could be considered unfinished and the community would like to finish it with a mural.

Commissioner Veatch said it is rare that the HRC addresses something contemporary.

Commissioner Bailey agreed that this project may not apply to the spirit of the intended code language.

Commissioner Buchanan argued that there is other language in the guidelines to suggest that the architectural details of the building should not be significantly altered.

Commissioner Veatch asked Commissioner Buchanan if she felt it was appropriate to apply that guideline to any building or only those that are historic.

Commissioner Buchanan said that 40 years from now the building will be historic.

Commissioner Veatch said he doesn't feel it's the intent of the guidelines to apply them to a non-historic building.

Commissioner Evans said he feels it meets the guidelines.

Commissioner Fry agreed.

Commissioner Hernly asked if the discussion would be different if the mural was proposed as a continuation of the design when the building was constructed. He said he's inclined to view the mural as a continuation of the building because it is so new.

Commissioner Bailey asked for thoughts regarding the additional recommendation to the City Commission.

Commissioner Buchanan said she wouldn't be in favor of approving the mural without the recommendation or at least acknowledging that the mural will damage the architectural integrity of the building.

Commissioner Bailey asked if Commissioner Buchanan feels the board formed concrete is a character defining feature.

Commissioner Buchanan said absolutely, and as a finished building.

Commissioner Fry asked how she could support approval if she doesn't feel it meets the guidelines.

Commissioner Bailey noted that the review for this project has been lengthy and not everything may have been considered all at one time.

Ms. Zollner explained that staff's recommendation is for approval and that that the project does meet the intent of the Downtown Design Guidelines. She said there was a lot of research and review that went into the staff report, so the additional recommendation to the City Commission was to bring attention to the potential harm to an architecturally significant building in the downtown area.

Commissioner Hernly noted the word "potential" is important, and that he couldn't say that the mural would irreversibly damage the building, and whether there might be a better paint removal method in the future.

Commissioner Veatch agreed that the word "potential" is key, and only if the mural is removed in an inappropriate way.

Commissioner Hernly said that is a good point.

Commissioner Buchanan felt that if the building was historic it would be a completely different conversation. She questioned whether the building would even be eligible for listing as a historic structure with the proposed mural.

Commissioner Veatch said he can see her perspective but he doesn't agree with it.

Commissioner Erby said also does not agree. She said she feels they are still in the moment of the design completion and conceptualization and the community has decided that this will be a character defining feature now and in the future.

Commissioner Evans talked about the architectural details of the building and whether the mural would be a compliment. He said it's not clear what the community wants, only this group.

Commissioner Bailey said that is outside of the Commission's purview.

Commissioner Hernly said they might find out that the community wants the whole concrete base painted with murals.

Commissioner Evans asked what might happen if white supremacists wanted to paint a mural on the other side.

Commissioner Bailey said that is outside of the Commission's purview.

ACTION TAKEN

Motioned by Commissioner Bailey, seconded by Commissioner Veatch, to approve the proposed project using the Downtown Design Guidelines and determine that it meets the development and design standards.

Unanimously approved 7-0.

Motioned by Commissioner Bailey to forward a recommendation that there is potential to irreversibly damage the character defining board formed concrete if it were to ever be removed.

COMMISSION DISCUSSION

Commissioner Erby suggested they include language about the appropriate method of removal.

Commissioner Bailey said the applicants and members of public will likely be present to provide those details, noting they were using the word "potential".

Commissioner Erby did not feel that proposed language was strong enough.

Commissioner Veatch suggested they use the language "inappropriate removal".

Commissioner Bailey withdrew his motion.

ACTION TAKEN

Motioned by Commissioner Veatch, seconded by Commissioner Fry, to forward a recommendation to the City Commission that the proposed application method has the potential to irreversibly damage the character defining board formed concrete element of the city owned library building if the mural is ever inappropriately removed.

Motion carried 6-2, Commissioner Buchanan and Commissioner Evans dissented.

COMMISSION DISCUSSION

Commissioner Evans felt the application of the mural might cause damage.

Commissioner Hernly asked if he felt that the paint will physically damage the concrete or if the mural damages the character of the building.

Commissioner Evans said he thinks it is both.

Commissioner Bailey said he's welcome to make a new motion.

Commissioner Buchanan talked about the design guidelines and what elements of structures are character defining. She felt that it would be inappropriate to cover up the board formed concrete because it is character defining.

Commissioner Veatch argued that it is not a historic structure.

Commissioner Buchanan said it's not yet. She did not feel that taking away from the integrity of an iconic city owned structure would be the most compelling or appropriate way to document stories in history.

Commissioner Fry that is not the HRC's task.

Commissioner Buchanan agreed that it is not, but their recommendation should reflect the concern that the mural is architecturally inappropriate.

Commissioner Erby noted that they are a historic architecture commission, not just an architecture commission, so it's not within their purview to say that the mural will take away from the architectural integrity of a non-historic building.

Commissioner Bailey said that's true unless the board formed concrete is considered a character defining feature under the Downtown Design Guidelines.

Commissioner Evans reiterated his previous concerns and would like a city group to look further at the proposed project.

Commissioner Veatch said he doesn't want their recommendation to inaccurately reflect the overall perspective of the Commission, noting that a motion had already been passed.

ACTION TAKEN

Motioned by Commissioner Evans, seconded by Commissioner Buchanan, to forward to the City Commission a finding that the proposed application method for the project has the potential to irreversibly damage the character defining board formed concrete element for the city owned library building, and that there are concerns about whether the painting will negatively affect the board formed concrete, and consideration should be given as to whether the mural is in character with the existing building. Commissioner Evans reiterated the staff recommendation- Buchanan seconded.

Motion not passed 3-4, Commissioners Bailey, Erby, Fry, and Veatch dissented.

Commissioner Evans said it is a concern for him.

ITEM NO. 6: MISCELLANEOUS MATTERS

- A. There were no Zoning Amendments, Special Use Permits, or Zoning Variances received for comment since May 17, 2018.
- B. There were no demolition permits received for comment since May 17, 2018.
- C. Miscellaneous matters from City staff and Commission members.

Ms. Zollner explained that staff is recommending approval of a change proposed to the previously approved project at 615 Tennessee Street (DR-18-00111), but the change was more than an administrative level for this project and the Commission should make the determination.

Commissioner Hernly asked how far back the wall is offset.

Ms. Zollner said about a foot.

Mr. Lance Adams, applicant, explained the proposed changes to the project.

ACTION TAKEN

Motioned by Commissioner Hernly, seconded by Commissioner Buchanan, to approve the design changes.

Unanimously approved 7-0.

Motioned by Commissioner Bailey, seconded by Commissioner Hernly, to adjourn the meeting.

Meeting adjourned 7:54 PM.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00039 932 Maine Street; Residential Remodel; Oread Design Guidelines Review

B. PROJECT DESCRIPTION

Residential Remodel Permit

C. STANDARDS FOR REVIEW

Oread Neighborhood Design Guidelines (Oread Neighborhood Conservation Overlay District)

D. STAFF DETERMINATION

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the *Oread Neighborhood Design Guidelines* and determined that the project, as proposed, meets these development and design standards.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00093 846 Pennsylvania Street; Commercial Remodel; State Law Review and Design Guidelines 8th & Penn Neighborhood Redevelopment Zone Review

B. PROJECT DESCRIPTION

Commercial Remodel Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

Design Guidelines 8th and Penn Redevelopment Zone (8th and Pennsylvania Urban Conservation Overlay District)

D. STAFF DETERMINATION

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the *Design Guidelines 8th and Penn Redevelopment Zone* and determined that the project, as proposed, meets these development and design standards.

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00099 800 Massachusetts Street; Commercial Remodel; State Law Review

B. PROJECT DESCRIPTION

Commercial Remodel Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00138 829 Missouri Street; I/I Permit; State Law Review

B. PROJECT DESCRIPTION

Inflow/Infiltration Abatement Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00172 Massachusetts Street 14th – 11th; Mill & Overlay; State Law Review and Certificate of Appropriateness

B. PROJECT DESCRIPTION

Mill & Overlay Project

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00196 1047 Massachusetts Street; Mechanical Permit; State Law Review

B. PROJECT DESCRIPTION

Mechanical Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00197 1136 Louisiana Street; Electrical Permit; State Law Review

B. PROJECT DESCRIPTION

Electrical Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00230 623 Massachusetts Street; Commercial Remodel & Sidewalk Dining; Certificate of Appropriateness and Downtown Design Guidelines Review.

B. PROJECT DESCRIPTION

Commercial Remodel Permit and Sidewalk Dining Site Plan

C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00234 710 Massachusetts Street; Sign Permit; State Law Review, Certificate of Appropriateness and Downtown Design Guidelines Review.

B. PROJECT DESCRIPTION

Sign Permit



C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00235 811 E. 12th Street; Residential Addition; Certificate of Appropriateness

B. PROJECT DESCRIPTION

Residential Addition Permit

C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00236 734 Massachusetts Street; Mechanical Permit; State Law Review

B. PROJECT DESCRIPTION

Mechanical Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00237 929 Massachusetts Street; Mechanical Permit; State Law Review

B. PROJECT DESCRIPTION

Mechanical Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00248 640 Ohio Street; I/I Permit; State Law Review

B. PROJECT DESCRIPTION

Inflow/Infiltration Abatement Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00249 618 Ohio Street; I/I Permit; State Law Review

B. PROJECT DESCRIPTION

Inflow/Infiltration Abatement Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00267 630 Indiana Street; I/I Permit; State Law Review

B. PROJECT DESCRIPTION

Inflow/Infiltration Abatement Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00268 1229 Vermont Street; Commercial Remodel; Certificate of Appropriateness

B. PROJECT DESCRIPTION

Commercial Permit

C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00269 825 Massachusetts Street; Commercial Remodel; State Law Review, Certificate of Appropriateness and Downtown Design Guidelines Review

B. PROJECT DESCRIPTION

Commercial Remodel Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

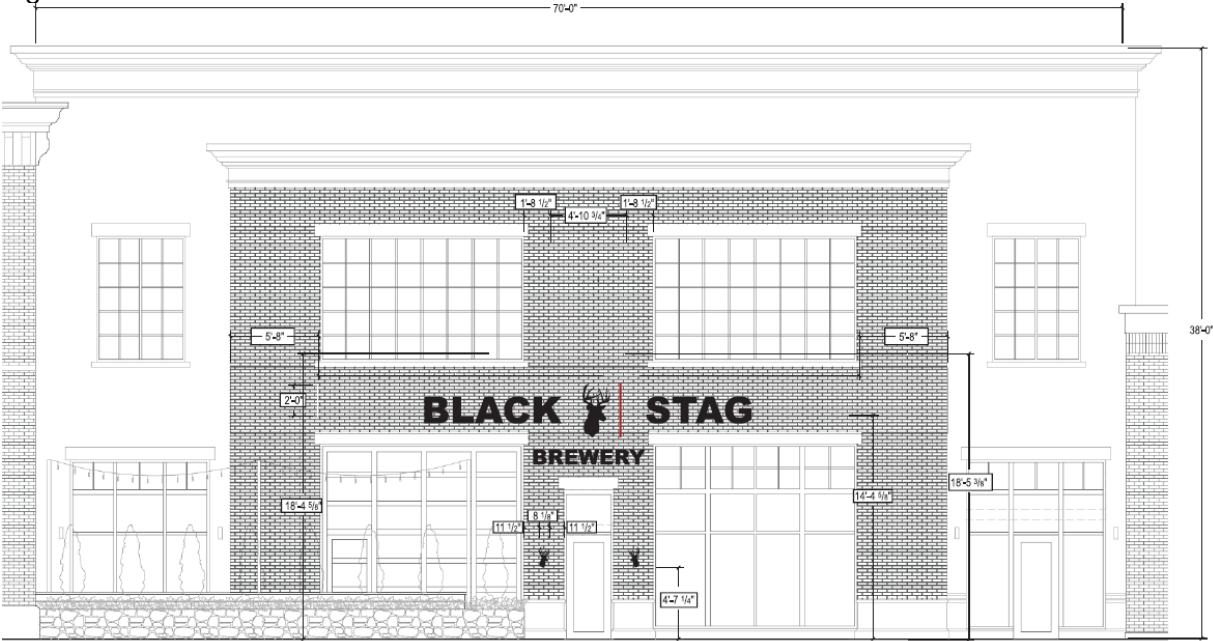
**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00281 623 Massachusetts Street; Sign Permit; Downtown Design Guidelines Review and Certificate of Appropriateness

B. PROJECT DESCRIPTION

Sign Permit



A Elevation

scale: 3/16" = 1'-0"

C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00285 1126 Ohio Street; I/I Permit; State Law Review

B. PROJECT DESCRIPTION

Inflow/Infiltration Abatement Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00289 717 Ohio Street; Mechanical Permit; State Law Review

B. PROJECT DESCRIPTION

Mechanical Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00305 704 Massachusetts Street; Sign Permit; State Law Review, Downtown Design Guidelines Review and Certificate of Appropriateness

B. PROJECT DESCRIPTION

Sign Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00307 1745 W. 24th Street; Commercial Remodel; Certificate of Appropriateness

B. PROJECT DESCRIPTION

Commercial Remodel Permit

C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00311 716 Massachusetts Street; I/I Permit; State Law Review

B. PROJECT DESCRIPTION

Inflow/Infiltration Abatement Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00320 724 Massachusetts Street; Commercial Remodel; State Law Review, Downtown Design Guidelines Review and Certificate of Appropriateness

B. PROJECT DESCRIPTION

Commercial Remodel Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00322 716 Louisiana Street; Mechanical Permit; State Law Review

B. PROJECT DESCRIPTION

Mechanical Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00323 623 Massachusetts Street; Commercial Remodel; Downtown Design Guidelines Review and Certificate of Appropriateness

B. PROJECT DESCRIPTION

Commercial Remodel Permit

C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00328 900 New Hampshire Street; Sidewalk Dining; Downtown Design Guidelines Review and Certificate of Appropriateness

B. PROJECT DESCRIPTION

Sidewalk Dining – Site Plan

C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00331 925 Vermont Street; Commercial Remodel; State Law Review

B. PROJECT DESCRIPTION

Commercial Remodel Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00332 900 New Hampshire Street; Sign Permit; Downtown Design Guidelines Review and Certificate of Appropriateness

B. PROJECT DESCRIPTION

Sign Permit



C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00334 612 Louisiana Street; I/I Permit; State Law Review

B. PROJECT DESCRIPTION

Inflow/Infiltration Abatement Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00339 1224 Rhode Island Street; Plumbing Permit; State Law Review

B. PROJECT DESCRIPTION

Plumbing Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00346 703 Indiana Street; I/I Permit; State Law Review

B. PROJECT DESCRIPTION

Inflow/Infiltration Abatement Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00347 714 Massachusetts Street; Sign Permit; State Law Review, Downtown Design Guidelines and Certificate of Appropriateness

B. PROJECT DESCRIPTION

Sign Permit

The image displays a sign design for 'CBD+' with a green plus sign. It includes a top-down view with dimensions: a total width of 76.35 in and a letter height of 21 in. A return bar on the right is 5 in high. A side elevation shows the sign mounted on a building facade with a 3 in trim cap, a 27 in total height, and a 21 in letter height. A photograph mockup shows the sign installed above a window with the number 843. The 'SIGNUP' logo and contact information are in the top right. Client and project details are listed on the right side.

Specifications
Style: Front Lit
Raceway Mounted? No
Face Color: White/Green
LED Color: White
Return Color: Black
Trim Cap Color (Front Lit Only): Black
Letter Height: 21
Overall Sign Dimensions:
76.35inW x 21inH

Client:
CBD of Lawrence

Designer:
Mark H

Proof Date:
7/17/2018

Revision #:
02

Product ID:
Channel Letters

Order #:
11321

Colors:
White Lettering,
Green Plus Sign

QTY: 1

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C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00348 714 Massachusetts Street; Sign Permit; State Law Review, Downtown Design Guidelines Review and Certificate of Appropriateness

B. PROJECT DESCRIPTION

Sign Permit



C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

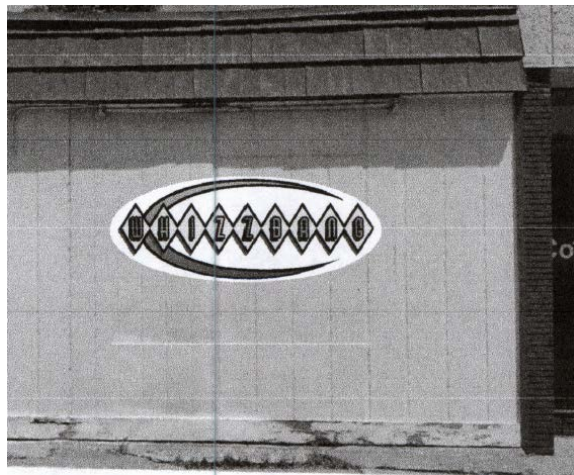
**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00349 1828 Massachusetts Street; Sign Permit; Certificate of Appropriateness

B. PROJECT DESCRIPTION

Sign Permit



C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00360 2341 Massachusetts Street; Electrical Permit; State Law Review

B. PROJECT DESCRIPTION

Electrical Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00367 743 Louisiana Street; I/I Permit; State Law Review

B. PROJECT DESCRIPTION

Inflow/Infiltration Abatement Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00368 129 South Park Street; Residential Remodel; Certificate of Appropriateness and Oread Design Guidelines Review

B. PROJECT DESCRIPTION

Residential Remodel Permit

C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Oread Neighborhood Design Guidelines (Oread Neighborhood Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the *Oread Neighborhood Design Guidelines* and determined that the project, as proposed, meets these development and design standards.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00370 524 Louisiana Street; I/I Permit; State Law Review

B. PROJECT DESCRIPTION

Inflow/Infiltration Abatement Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00372 716 Massachusetts Street; Residential Remodel; State Law Review, Downtown Design Guidelines Review and Certificate of Appropriateness

B. PROJECT DESCRIPTION

Commercial Remodel Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00374 1317 Massachusetts; Residential Remodel; Certificate of Appropriateness and Oread Design Guidelines Review

B. PROJECT DESCRIPTION

Residential Remodel Permit

C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Oread Neighborhood Design Guidelines (Oread Neighborhood Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the *Oread Neighborhood Design Guidelines* and determined that the project, as proposed, meets these development and design standards.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00382 701 Louisiana Street; I/I Permit; State Law Review

B. PROJECT DESCRIPTION

Inflow/Infiltration Abatement Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00384 8 W. 9th Street; ROW (Right-of-way) Permit; State Law Review

B. PROJECT DESCRIPTION

ROW (Right-of-way) Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00388 1338 New Hampshire Street; Electrical Permit; State Law Review

B. PROJECT DESCRIPTION

Electrical Permit

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00389 740 Tennessee Street; Sign Permit; Downtown Design Guidelines Review and Certificate of Appropriateness

B. PROJECT DESCRIPTION

Sign Permit



C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00390 1027 Vermont Street; Sign Permit; Downtown Design Guidelines Review

B. PROJECT DESCRIPTION

Sign Permit



C. STANDARDS FOR REVIEW

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00391 1100 Indiana Street; Sign Permit; Oread Design Guidelines Review

B. PROJECT DESCRIPTION

Sign Permit



C. STANDARDS FOR REVIEW

Oread Neighborhood Design Guidelines (Oread Neighborhood Conservation Overlay District)

D. STAFF DETERMINATION

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the *Oread Neighborhood Design Guidelines* and determined that the project, as proposed, meets these development and design standards.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-18-00392 723 New York Street; Residential Remodel; Certificate of Appropriateness

B. PROJECT DESCRIPTION

Residential Remodel Permit

C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Lawrence Historic Resources Commission	Item No. 4
804 Pennsylvania Street	DR-18-00297
New Addition	9/20/2018

<p>Applicant Paul Werner Architects for Ohio Mortgage Investors, the property owners of record.</p> <p>Standards for Review Secretary of the Interior Standards</p> <ul style="list-style-type: none"> • Standard 9 • Standard 10 <p>Design Guidelines 8th and Penn Neighborhood Redevelopment Zone</p> <p>Associated Cases DR-16-00444 Project will require a Site Plan Building Permit at time of construction</p>	<p>Request The proposed project will enclose an open shed dining area and add additional structure to create a 1,144 square foot dining and kitchen addition for the existing restaurant use.</p> <p>Reason for Request The structure is a contributing structure to the East Lawrence Industrial Historic District, National Register of Historic Places, and is located in the 8th & Pennsylvania Urban Conservation Overlay District.</p> <p>Staff Recommendation Staff recommends the Commission refer the project to the Architectural Review Committee to refine the design to meet the applicable standards and guidelines while achieving the applicants' overall project goals.</p>
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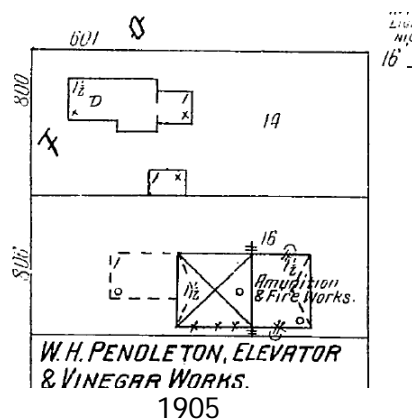


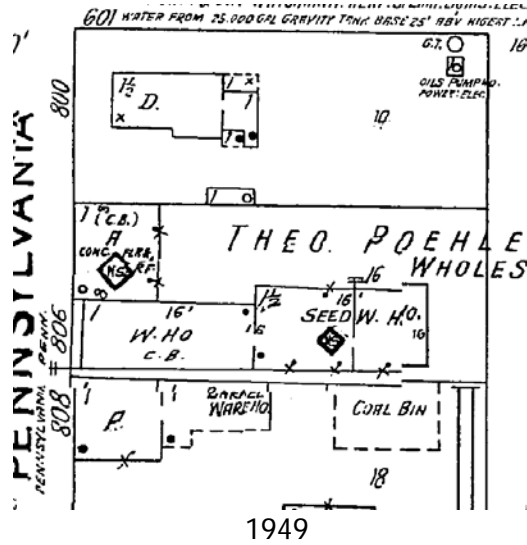
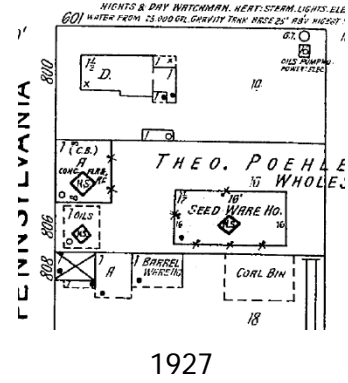
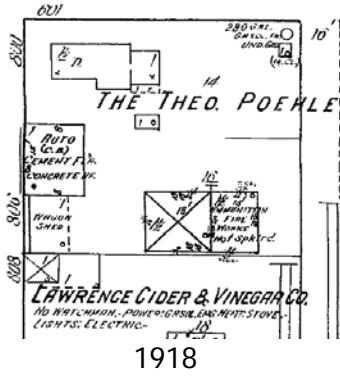
Project Description

The proposed project will add 1,144 square feet of enclosed space to the west of the existing stone structure located at 804 Pennsylvania Street. The new addition is divided into three sections. The first section, adjacent to the historic stone structure, is a 3 foot hyphen, approximately 8 ½ feet tall, with a glazed storefront system. The second section of the addition, 695 square feet, will enclose the existing shed structure that currently covers an outdoor dining area. The existing steel structure will be used for a portion of the construction. The primary/north elevation will have a storefront glazing system that includes two overhead doors and one pedestrian entrance. The south elevation of this section will utilize the existing CMU block wall and will have windows above the wall. This section of the addition will have a glass roof. The third section of the addition is 449 square feet and will have a similar storefront glazing system on the upper portion of the north elevation, but the lower area will be Japanese Burnt Wood Siding. The west and south elevations have the same siding and no fenestration. The roof will be standing seam metal. In total, the new addition will house a dining room and kitchen for the existing *Quality Restaurant* use.

Project Review

As originally platted, the property identified for this project as 804 Pennsylvania Street was two platted lots with separate addresses. 800 Pennsylvania Street was the northern lot (Lot 14) and the lot to the south (Lot 16) was 806 Pennsylvania Street. At least until 1949, 800 Pennsylvania was developed with a 1 ½/ 2 story residential structure. This residential structure may have dated prior to 1883 as a dwelling structure with a similar form is on the Sanborn maps from 1883 to 1949. The existing two-story, historic stone building was first shown on the Sanborn maps in 1905. The National Register nomination and survey form for the structure date the structure between 1897 and 1905 based on the Sanborn maps. The existing stone structure has two sections divided by an internal firewall extending through the roof. The primary façade faces north toward E. 8th Street, with the primary entrance for the structure off center to the west and a secondary access on the northwest corner. The only fenestration on the west side is a ground level door with associated brick arch and an upper level window. The Sanborn maps show several detached structures on the lot from 1912 to 1927 and in 1949, there appears to be a warehouse structure adjacent to the existing historic stone structure that extends almost to the western property line.





In 2016, a new accessory structure was proposed to be adjacent to the existing historic structure on the same lot. The HRC determined that the new structure was designed to visually read as a stand-alone shed. It was determined that the structure would give reference to historic accessory sheds that were typical in the district, and that as a free standing open shed structure, it was subservient to the historic structure.



2016 Proposal



Existing

The proposed project will enclose the open shed that was approved in 2016, and add additional space for a kitchen addition. The total size of the combined enclosed area is 1,144 square feet. Staff has reviewed this project as one addition attached to the historic structure with a small glass hyphen. The open shed was not enclosed space and did not function as an addition but as an open patio area. The proposed project will change the look and function of this open detached space to appear and be used as one enclosed building.



2018 Proposal

New additions to historic structures should be carefully considered and only undertaken once all interior alternatives for the needed space have been considered. If a new addition is required to continue a compatible use for the historic structure, the new addition should be placed to the rear of the structure or on the least conspicuous side of the historic building. New additions should remove as little historic fabric as possible, be compatible with the historic structure, be subservient to the historic structure, and have appropriate setbacks from the historic structure. A new addition should be differentiated from the historic structure, but it should have some of the same architectural vocabulary as the historic structure. The design of new additions should not be so different that they become the primary focus of the property.

The expansion of the existing use of a restaurant for the historic structure located at 804 Pennsylvania Street cannot be accomplished within the confines of the historic structure. The Land Development Code allows the use, but the determination for use of a historic property in a rehabilitation project is also guided by the Secretary of the Interior's Standard 1. If the restaurant is a compatible use for the structure and if the use is to expand, an addition is needed to provide

the additional space for dining and kitchen areas. The existing historic structure is located on the southeast corner of the property. It is approximately 4 feet from the rear/south property line. From the existing addition on the east elevation of the structure to the east property line is approximately 10 feet. The north elevation is the primary façade. If a new addition is to be added to this historic structure, it will by practicality be on the west elevation of the structure. While this is a conspicuous side of the structure, the constraints of the site do not allow multiple compatible options for a proposed addition of this size. The Sanborn maps show that a previous structure was located in this area.

The proposed new addition will be attached by a small glass hyphen. The recessed, transparent connector will be used to expose original materials and features distinguishing the historic building from the new addition. This is the recommended method of attachment for new additions to historic buildings. The hyphen is proposed to be only approximately 3 feet wide with the height of the hyphen only approximately 8 ½ feet, but it will be recessed to the south from the proposed addition north wall plane approximately 11 ½ feet. This should create a shadow space with glazing that articulates a separation between the building and the addition. The attachment of the addition in this manner would allow the historic form of the historic structure to remain and be visually distinguishable.

Best practices note that new additions should have appropriate setbacks from the historic structure to help maintain the prominence of the historic structure. Appropriate setbacks reduce the visual impact of additions. Additions should always be setback from the parallel wall plane of the historic structure. This creates a hierarchy of historic structure placed proud of an addition. The portion of the proposed addition that is adjacent to the historic structure will have a very minimal, approximately 2 feet, setback from the north wall plane. The kitchen portion of the addition would stand proud of the north wall plane of the historic structure. However, all of these dimensions are less than 5 feet and will have minimal impact on the overall perception of the north elevation wall plane. While a minimum undulation may be noticeable, the addition will not be significantly recessed from the primary wall plane of the historic structure. The applicant proposes this location because they would like to use the existing structure for the addition, and because the room needed for the kitchen addition necessitates moving the addition to the north because of the property line to the south.

Subservience and compatibility of additions are interrelated and pose significant challenges for this project. The proposed new addition will be large in comparison with the historic stone structure and the size, scale, massing, and materials are challenges for both compatibility and subservience.

Compatibility for new additions should be addressed by surveying the character defining elements of the historic structure and identifying the similar characteristics of the new addition to assess how they relate. New additions should be visually smaller than the historic structure. The proposed addition will be only slightly smaller in square feet (original structure is 1,302 square feet and new addition is 1,144 square feet) and primary façade width (approximately 1 foot shorter in length on the north elevation). This minimal difference creates an addition that will visually double the size of the original structure. This proposed addition would not be compatible since it would encroach upon the historic property. In size, the proposed addition would not be subservient to the historic structure. The proposed hyphen connection helps alleviate some of the impact of an addition of this size and scale by creating a visual perception that the addition is a separate building placed in close proximity to the historic structure.

The massing of the addition is related to the size of the addition and is not compatible with the historic structure because the addition is almost identical in size to the historic structure. The mass of an addition should be smaller than the historic structure. Because a large portion of the proposed structure will be glazed, the overall mass of the structure will be visually reduced due to transparency. This reduction in mass could be increased with a different design of the storefront glazing pattern. A pattern or storefront system to include more glazing and minimize the mullions, in either amount and/or width, would provide a stronger sense of a void; thereby, reducing the addition's mass. The reduction of the addition's mass would be a significant means for the project to comply with the standards.

Like the size and mass of the addition, the scale of the new addition is not compatible with the scale of the historic structure because of the addition's overall size. The height and façade storefront glazing pattern accentuate the difference in scale for the two structures. The applicant's design relates the top height of the garage doors, and the pedestrian door on the storefront system relates to the height of the doors on the historic structure. This helps create some compatible scale to the historic structure for this portion of the addition. However, the western most portion of the addition is out of scale with both the historic structure and the center of the new addition due to the location of the glazing pattern location and size. Like the opportunity to make the mass more appropriate, design alterations to the storefront glazing system could have a significant benefit on the addition's ability to achieve a compatible scale with the historic structure. The western portion of the addition would need to have design alteration to achieve compatible scale.

Some of the materials are also an obstacle for the proposed addition. The proposed aluminum storefront glazing system is an appropriate material to use to connect the additions to the historic structure. However, the system that is proposed for this project creates a façade that has an incompatible amount of divisions, some with thick divisions. A design or product alteration, such as a folding glass wall system at the ground level, to this proposal could make a significant adjustment in the overall character of the addition and compatibility with the listed property. Staff has concerns about how the proposed aluminum storefront system will be used and the material to be used on the portion of the addition to the west. Japanese Burnt Wood Siding is not present within the historic district. A compatible material should be identified for this area of the addition.

While a secondary elevation for the proposed addition, the west façade of the addition will face a local street. The lack of fenestration on the west end of the structure will create a blank wall to one of the district's primary streets. The proposed addition, because of the zero lot line setback on the west, will appear and function as a corner building. Due to this site's current layout, the structure should be designed to have two primary façades. The west elevation of the addition should have some type of fenestration or architectural detailing to distinguish it as a primary façade.

The height of the addition is not compatible with the guidelines in the context of the historic structure's design. The applicant proposes to use the existing structure of the outdoor dining area to dictate the height of the middle section of the addition. The height of the hyphen will create a clear separation between the two buildings. The height of the middle section of the addition will be approximately in-line with the bottom of the roofline of the historic structure. The roofline of the third section of the addition will step down from the center section roofline approximately 1 foot on the primary façade. Changing the height of the addition would significantly improve compatibility with the historic structure. Design methods should be investigated to determine if

there is an opportunity to leave the existing structure and have a new structure with a lower roof constructed under the existing structure and then to continue a lower roof line to the third part of the addition. If this is not possible, design alternatives to lower the proposed roofline for the third part of the addition should be studied to determine if this roofline can be reduced.

As proposed, the addition would not subordinate to the historic structure. The placement, size, scale, massing, materials, setbacks, and height combine for a structure that would become a new focal point for the property.

Modern construction styles and techniques are not discouraged in this district, but structures should be designed to respect and complement the area's historic patterns. By taking cues from the historic patterns and materials, modern construction can be designed to be compatible with the historic structure. The proposed new addition has some references to the historic structure, but does not utilize the existing architectural styles, site layout patterns, and materials of the area.

This site has several constraints and challenges to allow accommodation of a new addition of this size. There is no opportunity to place the addition on the rear of the structure or on a non-conspicuous side. This request is based in part on using an existing structural frame for the 2016 addition. The use of the existing frame is driving the height and size of the proposed addition.

The project proposes a hyphen to connect the new addition to the historic structure. This is significant because it will save historic material and clearly delineate the historic building form from the new addition. The project also proposes to use a visually light addition close to the historic structure. This helps reduce the overall mass of the structure. The proposed structure will be clearly distinguishable from the historic stone structure and cause minimal loss of historic materials.

The lack of compatibility due to the size, scale, massing, and materials of the proposed structure will create the appearance of a new structure competing with the historic structure, but if the compatibility issues are addressed, the new structure may become more visually compatible.

Review under K.S.A. 75-2724 (State Preservation Law Review)

For State Preservation Law Review of projects involving listed properties, the Historic Resources Commission uses the Secretary of the Interior's Standards to evaluate the proposed project.

The standards that apply to this project are Standards 9 and 10.

Standard 9 focuses on the construction of the new addition. The proposed project does not destroy historic material that characterize the historic stone structure and the proposed new addition is differentiated from the historic stone structure. The addition, as proposed however, is not compatible with the listed property in massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Standard 10 focuses on the ability of new additions and adjacent or related new construction to be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. Because the proposed structure is attached to the historic property by a small hyphen, the removal of the structure in the future will allow the original form and integrity of the property and its environment to be unaffected.

Design refinements could achieve a project that is more compatible with the historic property. While there may be certain design constraints that cannot be altered, like placement for this project, other elements can be attuned to mitigate the overall impact of the addition on the listed property.

Staff is of the opinion that the overall concept of the proposed project is acceptable for the historic properties. However, design refinement would allow for the structure to become more compatible with the listed property and the district, and subsequently more subservient to the adjacent historic stone structure. Staff recommends the Commission refer this project to the Architectural Review Committee for design refinements to address these compatibility issues. Staff would propose that the following items be investigated, reviewed, and determined by the ARC working with the applicant:

1. Discuss specific materials to be used for the addition. The final appearance and compatibility of the addition can depend on the building materials.
2. Evaluate options that may reduce the overall height of the addition, particularly the third portion on the west end of the addition.
3. Discuss the use of a different overhead door and/or storefront type system to minimize mullions and maximize glazing.
4. Discuss the design of the north elevation of the third portion of the addition and fenestration for the west elevation of the addition.

Upon the review and recommendation of the ARC, the project will return to the full commission for review and action.

Design Guidelines 8th and Penn Neighborhood Redevelopment Zone

The proposed project is located in Zone 1 of the 8th and Penn Urban Conservation Overlay District. The Design Guidelines 8th and Penn Neighborhood Redevelopment Zone for Zone 1 are based on the Secretary of the Interior's Standards for Rehabilitation. As a result, the design guidelines review for this project is very similar to the above analysis for the State Law review.

The new addition will preserve the historic character of the stone structure by visibly retaining the significant form of the stone structure. The use of a hyphen will expose original materials and features and will distinguish the historic building from the new addition. This will allow for the least possible loss of historic material so that character-defining features are not obscured, damaged, or destroyed.

The proposed use for this project does not allow for the new use to meet the project requirements by altering non-character-defining interior spaces rather than constructing a new addition. The site constraints do not allow for an addition to be placed to the rear of the structure or on an inconspicuous side of the building. The project, as proposed, will not meet these guidelines.

Like the Secretary of the Interior Standards, the guidelines recommend a new addition that is clearly subservient to the historic building and limited in size and scale to the historic building. As proposed, the project does not comply with these guidelines.

Design refinement can be a mutually beneficial process for both the applicant and the community as the final product meets the community expectations reflected in the design guidelines, and can help create a project that is more in character with the surrounding area.

Staff is of the opinion that the overall concept of the proposed project is acceptable for the historic properties and the conservation overlay district. However, design refinement will allow for the structure to become more compatible with the listed property and the area, and subsequently more subservient to the adjacent historic stone structure. Staff recommends the Commission refer this project to the Architectural Review Committee for design refinements to address compatibility. Staff would propose that the following items be investigated, reviewed, and determined by the ARC working with the applicant:

1. Discuss specific materials to be used for the addition. The final appearance and compatibility of the addition can depend on the building materials.
2. Evaluate options that may reduce the overall height of the addition, particularly the third portion on the west end of the addition.
3. Discuss the use of a different overhead door and/or storefront type system to minimize mullions and maximize glazing.
4. Discuss the design of the north elevation of the third portion of the addition and fenestration for the west elevation of the addition.

Upon the review and recommendation of the ARC, the project will return to the full commission for review and action.

STANDARDS FOR REVIEW

Secretary of the Interior's Standards for State Law Review (K.S.A. 75-2724)

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

2. The historic character of a property shall be retained and preserved. The removal of historic material or alteration of features and spaces that characterize a property shall be avoided.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historical property and its environment would be unimpaired.

8th and Pennsylvania Urban Conservation Overlay District Guidelines

The City Commission and the Historic Resources Commission have adopted a set of *Design Guidelines 8th and Penn Neighborhood Redevelopment Zone* to review projects within the 8th and Pennsylvania Urban Conservation Overlay District. These guidelines can be found here <https://assets.lawrenceks.org/assets/pds/planning/documents/8th&Penn.pdf>. Some of the guidelines that directly relate to this project are:

New Additions

1. Designing and constructing new additions that preserve the historic character of the building by visibly retaining significant historic materials and features.
2. Determining if the building can meet new use requirements by altering non-character-defining interior spaces rather than by constructing a new addition to the building.
3. Utilizing a design that is visually distinguishable from the historic building, but that is clearly subservient to the historic building.
4. Locating an attached exterior addition at the rear or on an inconspicuous side of a historic building. Limiting the size and scale of an addition in relationship to the historic building.
5. Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.
6. Utilizing elevator or stair towers that have a high degree of transparency and that expose the building's original materials and features.
7. Using small, recessed, transparent connector "hyphens" that expose original materials and features and distinguish the historic building from the new addition.
8. Restore existing openings that have previously been filled in or blocked. Placing new additions such as balconies, greenhouses, and other special use additions on secondary elevations, and limiting their size and scale in relationship to the historic building.
9. Designing an additional penthouse story, rooftop garden, or greenhouse, when required, that is clearly subservient to the historic building, set back at least one full bay from the building's tall wall planes, and is as inconspicuous as possible when viewed from the street from within a several-block radius.



Pre-Application Meeting Required Planner _____ Date _____ Date Received _____
--

6 East 6th St.
P.O. Box 708
Lawrence, KS 66044

www.lawrenceks.org/pds

Phone 785-832-3150
Tdd 785-832-3205
Fax 785-832-3160

DESIGN REVIEW APPLICATION

PROPERTY INFORMATION

Address of Property 804 Pennsylvania Street
 Legal Description (*may be attached*) Lot 1, 8th and Pennsylvania Neighborhood Redevelopment Addition No.3, City of Lawrence, Douglas Co. KS.

OWNER INFORMATION

Name(s) Ohio Mortgage Investors
 Contact Tony Krsnich
 Address 900 Delaware
 City Lawrence State KS ZIP 66044
 Phone (____) _____ Fax (____) _____
 E-mail _____ Cell Phone (____) _____

APPLICANT/AGENT INFORMATION

Contact Ronald Hutchens
 Company Paul Werner Architects
 Address 123 W. 8th Street
 City Lawrence State KS ZIP 66044
 Phone (785) 832 0804 Fax (____) _____
 E-mail ronh@paulwernerarchitects.com Cell Phone (____) _____

Existing Zoning CS-UC	Existing Land Use Restaurant/Patio Dining	Proposed Land Use Restaurant/Patio Dining	# of Buildings 1
Total site area 11,718 SF	Existing Building Footprint 1,302 sf	Proposed Building Footprint 2,446 SF	Open Space Area 9,272 SF
Existing Pavement Coverage 8,440 SF	Proposed Pavement Coverage 7,296 SF		
Are you also submitting any of the following applications?			
• Building Permit X	• Site Plan X	• Special Use Permit	• Zoning Change
• Variance	• State or Federal Tax Credit Application	Other (specify)	

Property 804 Pennsylvania Street
Address: _____

Detailed Description of Proposed Project:
(Attach additional sheets if necessary)

Expansion of existing restaurant, Bon Bon. The restaurant currently uses a food truck as its kitchen, which is parked on site.

The owners would like replace the food truck with a kitchen structure, and enclose the covered patio between the dining area and the proposed kitchen.

Reason for Request:
(Attach additional sheets if necessary)

If the restaurant is to have continued success the existing food truck needs to be replaced with a permanent, more functional kitchen. Enclosing the covered portion of the patio dining will allow Bon Bon to increase their year round dining.

Architect/Engineer/Contractor Information: Please provide name and phone number of any persons associated with the project.

Contact Ronald Hutchens
Company Paul Werner Architects
Address 123 W. 8th Street
City Lawrence State KS ZIP 66044
Phone (785) 832 0804 Fax (____) _____
E-mail ronh@paulwernerarchitects.com Cell (____) _____

REQUIRED ATTACHMENTS:

- Photographs of existing structure and site
- Scaled or dimensioned site plan with a graphic/bar scale
- Scaled elevation drawings with a graphic/bar scale
- Scaled or dimensioned floor plans with a graphic/bar scale
- Materials list
- Digital copy of application materials

ADDITIONAL INFORMATION MAY BE REQUIRED BASED ON THE SCOPE OF THE PROJECT

SIGNATURE

I/We, the undersigned am/are the **(owner(s)), (duly authorized agent), (Circle One)** of the aforementioned property. By execution of my/our signature, I/we do hereby officially apply for design review approval as indicated above.

Signature(s):  Date 8.8.2018

_____ Date _____

_____ Date _____

Note: If signing by agent submit Owner Authorization Form



**Lawrence Douglas County
Metropolitan Planning Office**
6 East 6th Street, P.O. Box 708, Lawrence, KS 66044
(785) 832-3150 Fax (785) 832-3160
<http://www.lawrenceplanning.org>

OWNER AUTHORIZATION

I, Tony KRSNICH on behalf of **Ohio Mortgage Investors LLC**, hereby referred to as the "Undersigned", being of lawful age, do hereby on this 13 day of JUNE 2018, make the following statements to wit:

1. I the Undersigned, on the date first above written, am the lawful owner in fee simple absolute of the following described real property:

**8TH AND PENNSYLVANIA NEIGHBORHOOD REDEVELOPMENT ADDITION NO 3,
LOT 1 (2012 MINOR SUBDIVISION REPLAT), LAWRENCE, DOUGLAS COUNTY,
KANSAS**

2. I the undersigned, have previously authorized and hereby authorize **Paul Werner Architects** (Herein referred to as "Applicant"), to act on my behalf for the purpose of making application with the Planning Office of Lawrence/Douglas County, Kansas, regarding **605 E 8TH Street, Lawrence, Kansas** (common address), the subject property, or portion thereof. Such authorization includes, but is not limited to, all acts or things whatsoever necessarily required of Applicant in the application process.
3. It is understood that in the event the Undersigned is a corporation or partnership then the individual whose signature appears below for and on behalf of the corporation or partnership has in fact the authority to so bind the corporation or partnership to the terms and statements contained within this instrument.

IN WITNESS THEREOF, I, the Undersigned, have set my hand and seal below.

Tony Krsnich
Owner

Owner

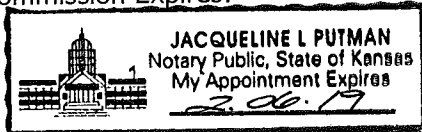
STATE OF Kansas
COUNTY OF Douglas

The foregoing instrument was acknowledged before me on this 13 day of June, 2018,

by Tony Krsnich.

My Commission Expires: 2.06.19

Jacqueline L Putman
Notary Public

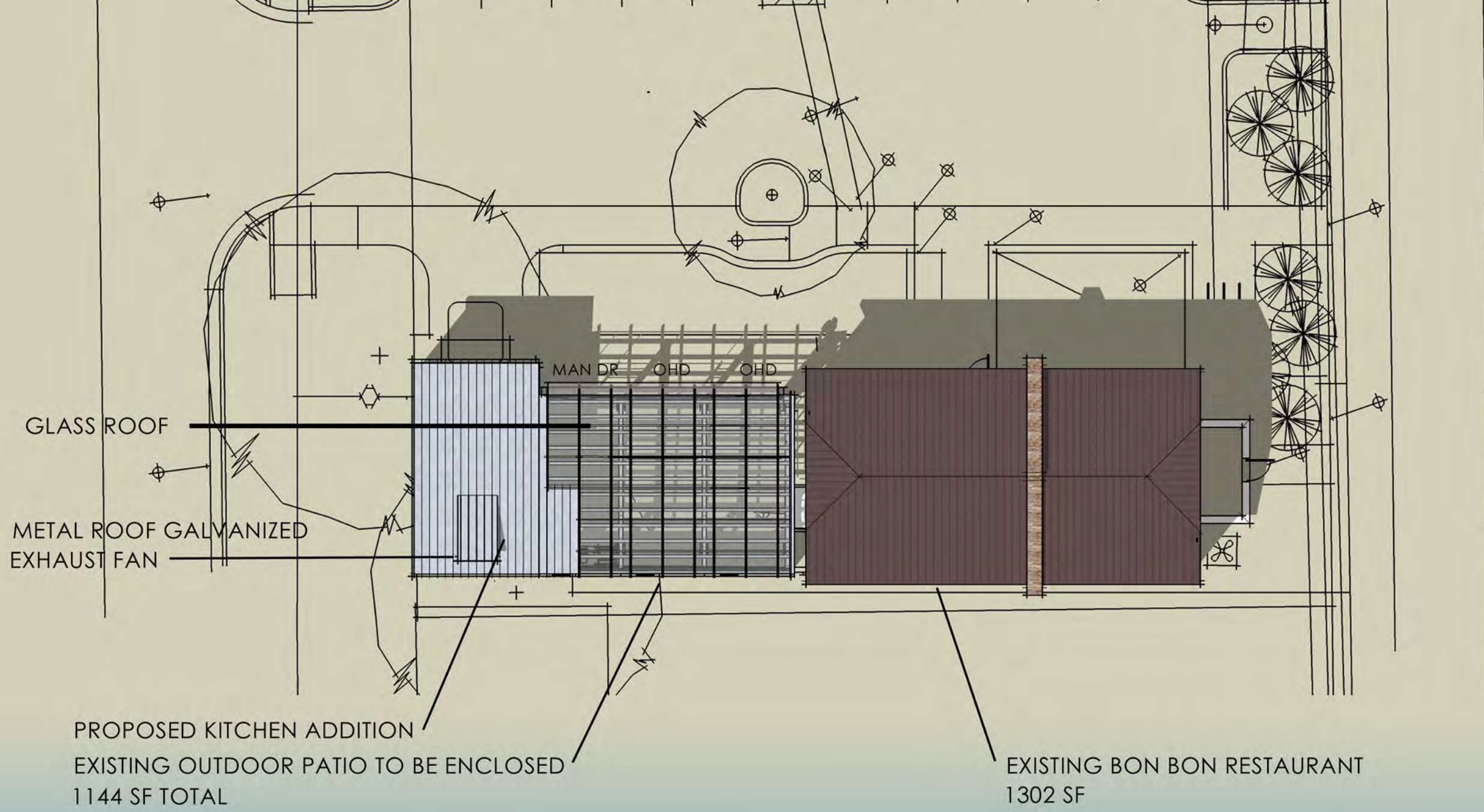




NORTH

BON BON
KITCHEN ADDITION

paulwerner
ARCHITECTS



8TH STREET ELEVATION



JAPANESE
BURNT WOOD
SIDING

PENNSYLVANIA STREET ELEVATION



NORTH



BON BON
KITCHEN ADDITION

paulwerner
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SOUTH VIEW CIDER GALLERY LAWN

BON BON
KITCHEN ADDITION

paulwerner
ARCHITECTS

EXISTING BON BON RESTAURANT

EXISTING OUTDOOR PATIO TO BE ENCLOSED

PROPOSED KITCHEN ADDITION



STANDING SEAM METAL
GLAZANIZED

EXTRUDED ALUMINUM STOREFRONT



8TH STREET ELEVATION

J:\Projec

EXISTING



KITCHEN EXHAUST

GLASS ROOF
EXTRUDED ALUMINUM STOREFRONT

ALUM. STOREFRONT
JAPANESE
BURNT WOOD
SIDING
EXISTING CMU

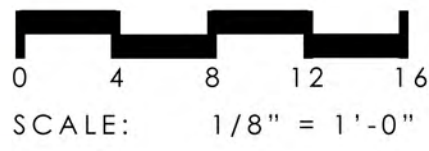


PENNSYLVANIA STREET ELEVATION

SOUTH ELEVATION



NORTH



BON BON
KITCHEN ADDITION

paulwerner
ARCHITECTS



BON BON
EXISTING

paulwerner
ARCHITECTS



EAST END



WEST END



PATIO DINING



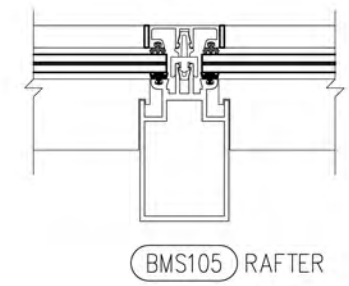
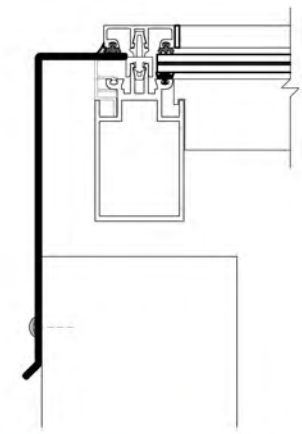
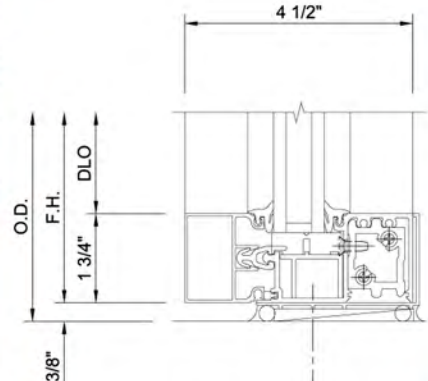
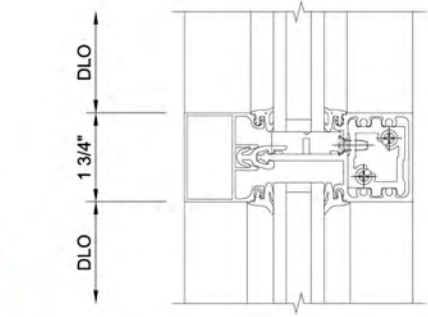
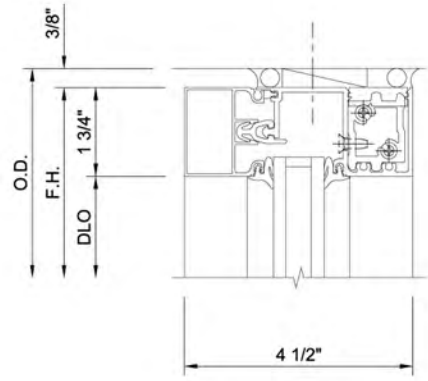
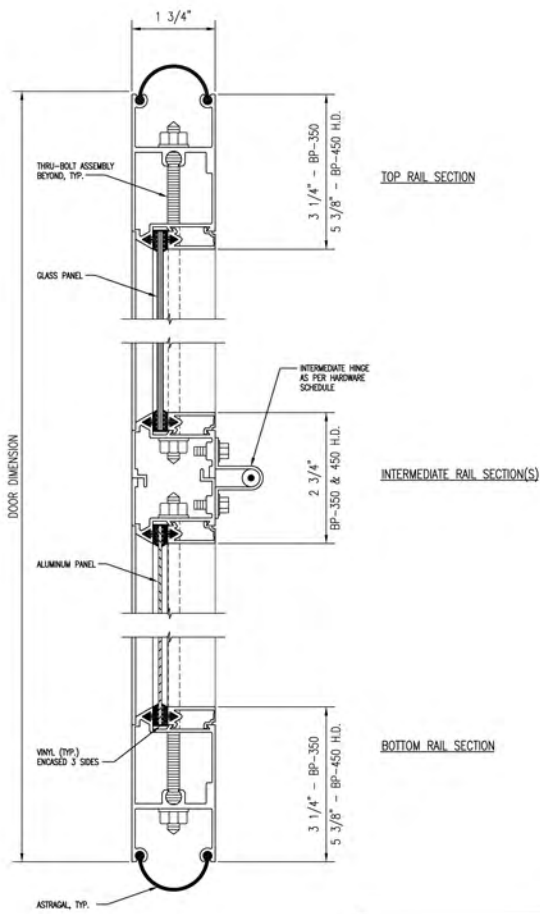
SOUTH SIDE

BON BON
EXISTING

paulwerner
ARCHITECTS

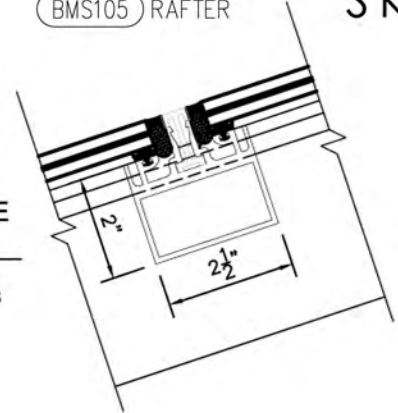


BON BON
ACCESSORY STRUCTURE SHOWN IN 2013 AERIAL PHOTO



BMS105 RAFTER

PURLIN
2-SIDED
SILICONE
GLAZED
OPTION FOR
LOW SLOPES



SKYLIGHT/ GLASS ROOF



STANDING SEAM METAL ROOF
GALVANIZED COLOR



CLEAR ANODIZED
ALUMINUM



CLEAR ANODIZED ALUMINUM
STOREFRONT & ENTRY DOOR



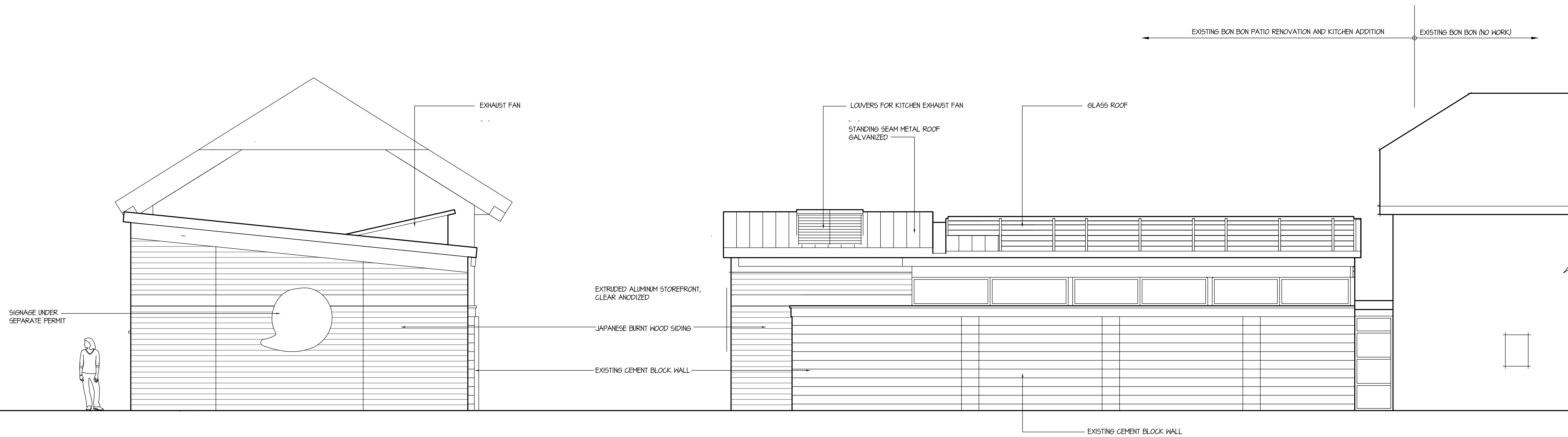
JAPANESE BURNT WOOD
SIDING



GLASS OVERHEAD DOOR
CLEAR ANODIZED ALUM

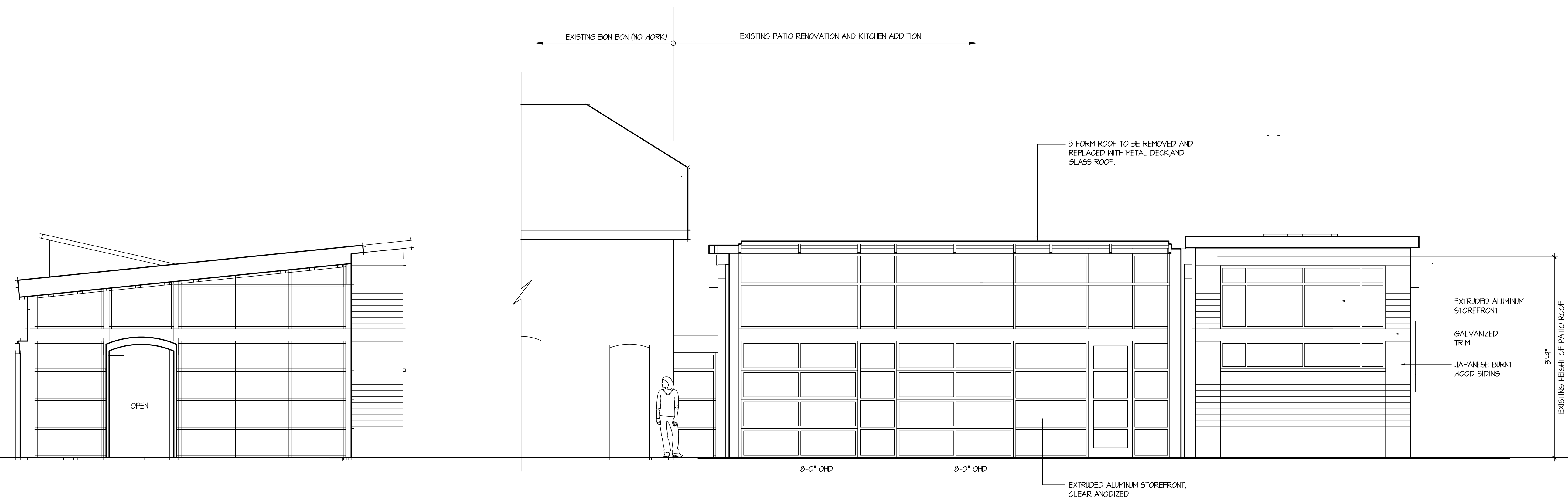
BON BON
MATERIALS

paulwerner
ARCHITECTS



① WEST ELEVATION
SCALE: 1/4" = 1'- 0"

① SOUTH ELEVATION
SCALE: 1/4" = 1'- 0"



① EAST ELEVATION
SCALE: 1/4" = 1'- 0"

① NORTH ELEVATION
SCALE: 1/4" = 1'- 0"

paulwerner
ARCHITECTS

123 W. 8TH STREET
SUITE B2
LAWRENCE, KS 66044

OFFICE: 785.832.0804
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INFO@PAULWERNERARCHITECTS.COM

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BON BON
KITCHEN ADDITION
804 PENNSYLVANIA STREET
LAWRENCE, KANSAS

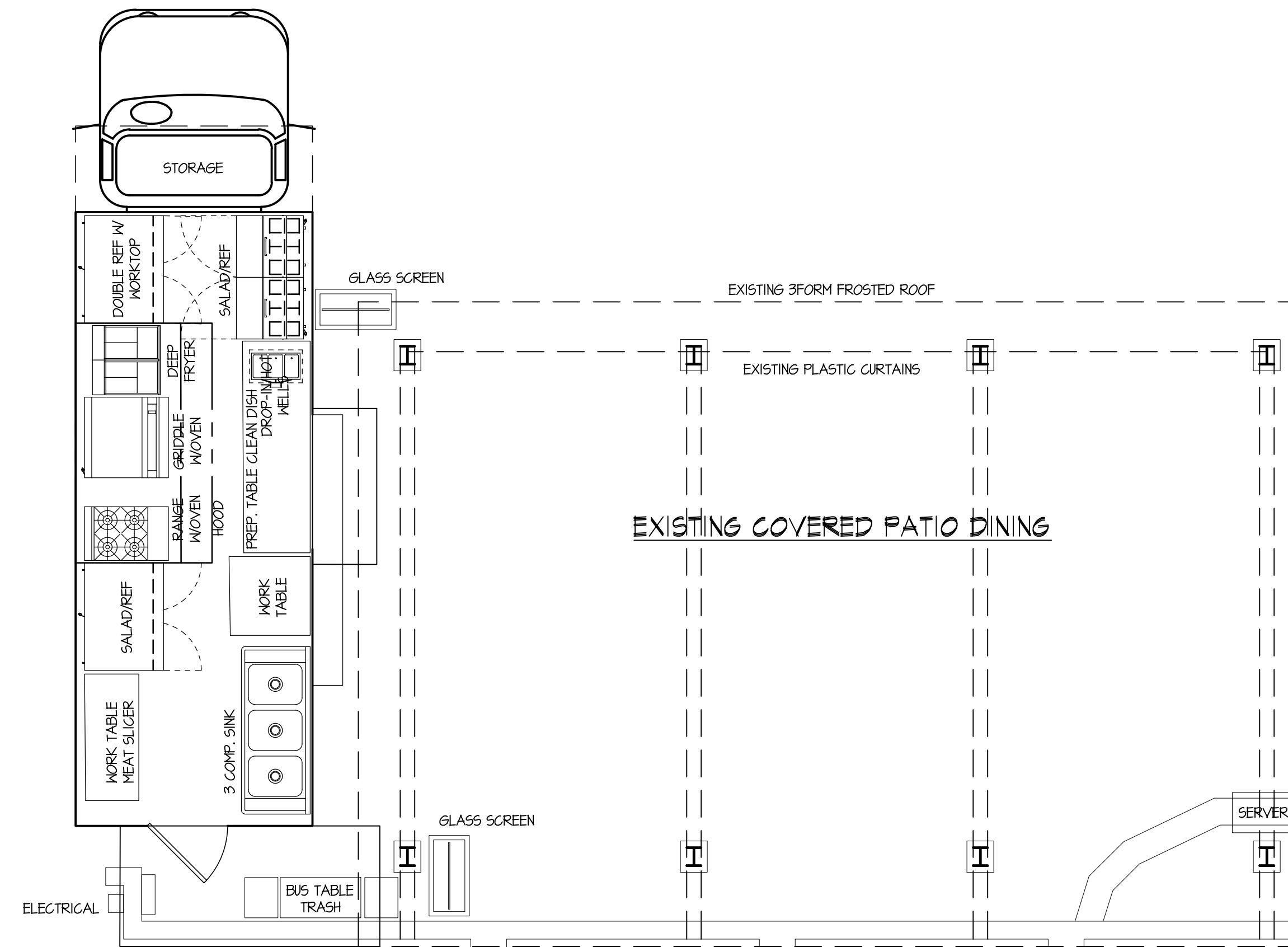
PROJECT # 218-160
MARCH 2018

RELEASE: DATE:
REVIEW 1.30.18

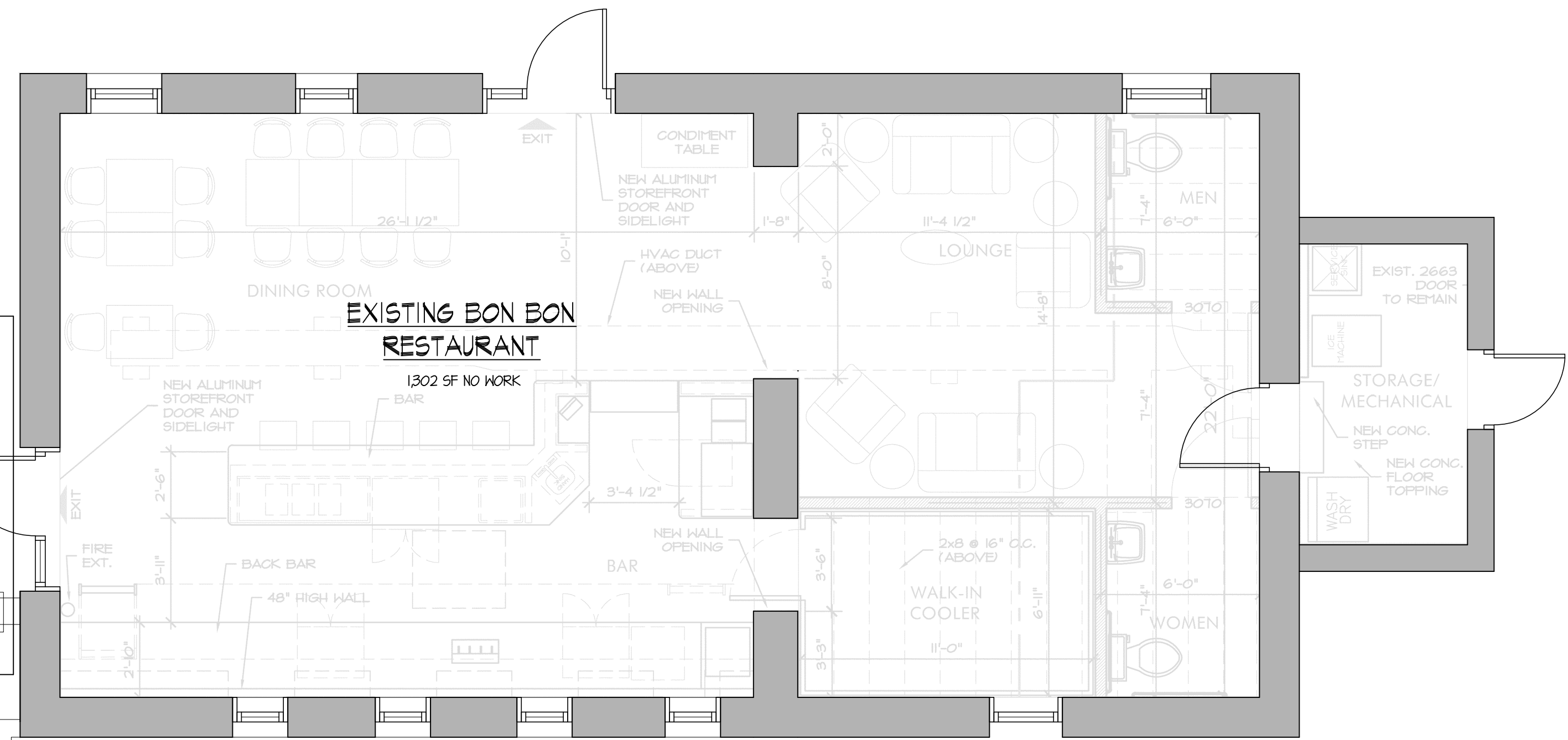
PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

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EXISTING TRUCK LAYOUT



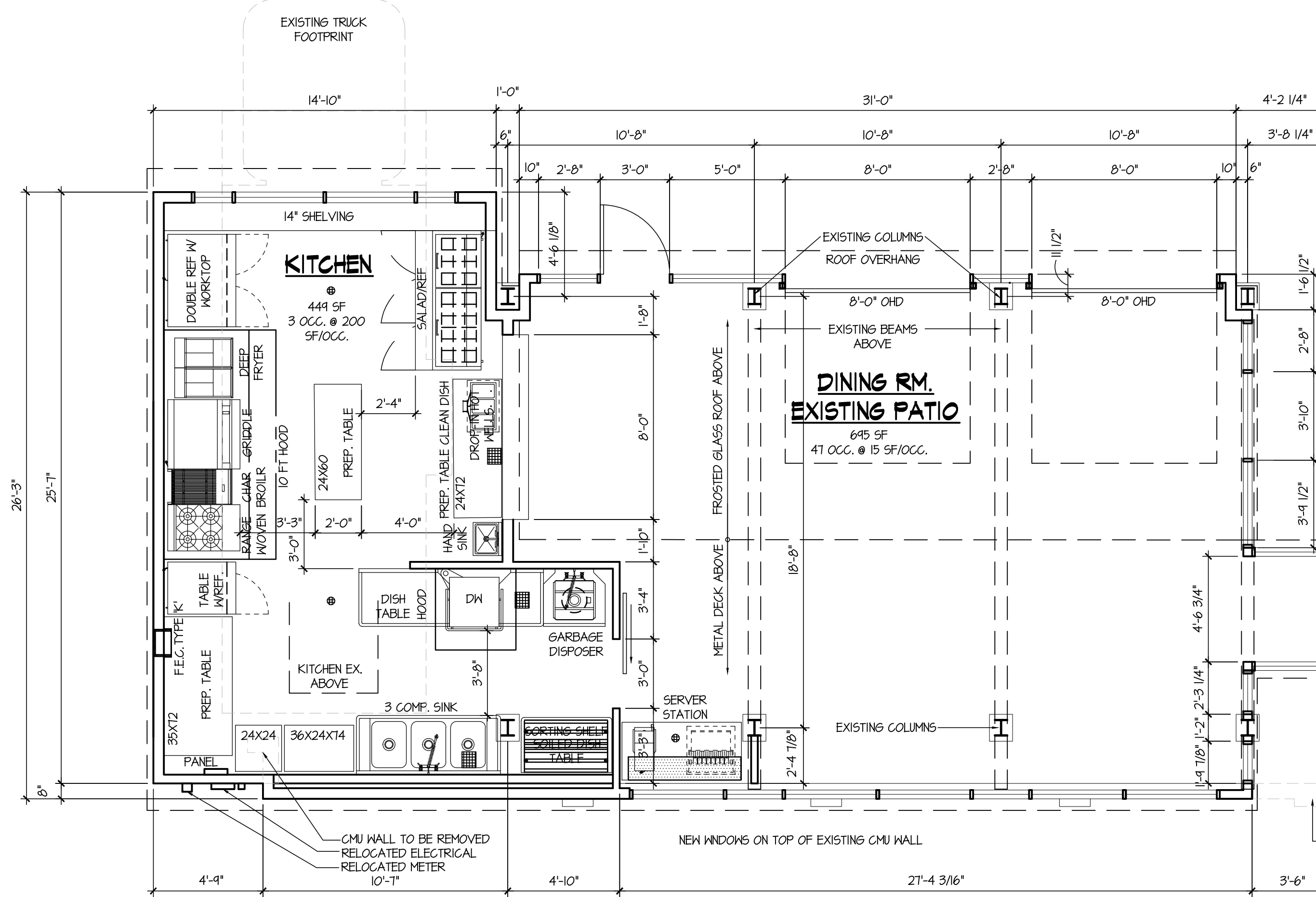
EXISTING COVERED PATIO DINING



EXISTING BON BON RESTAURANT

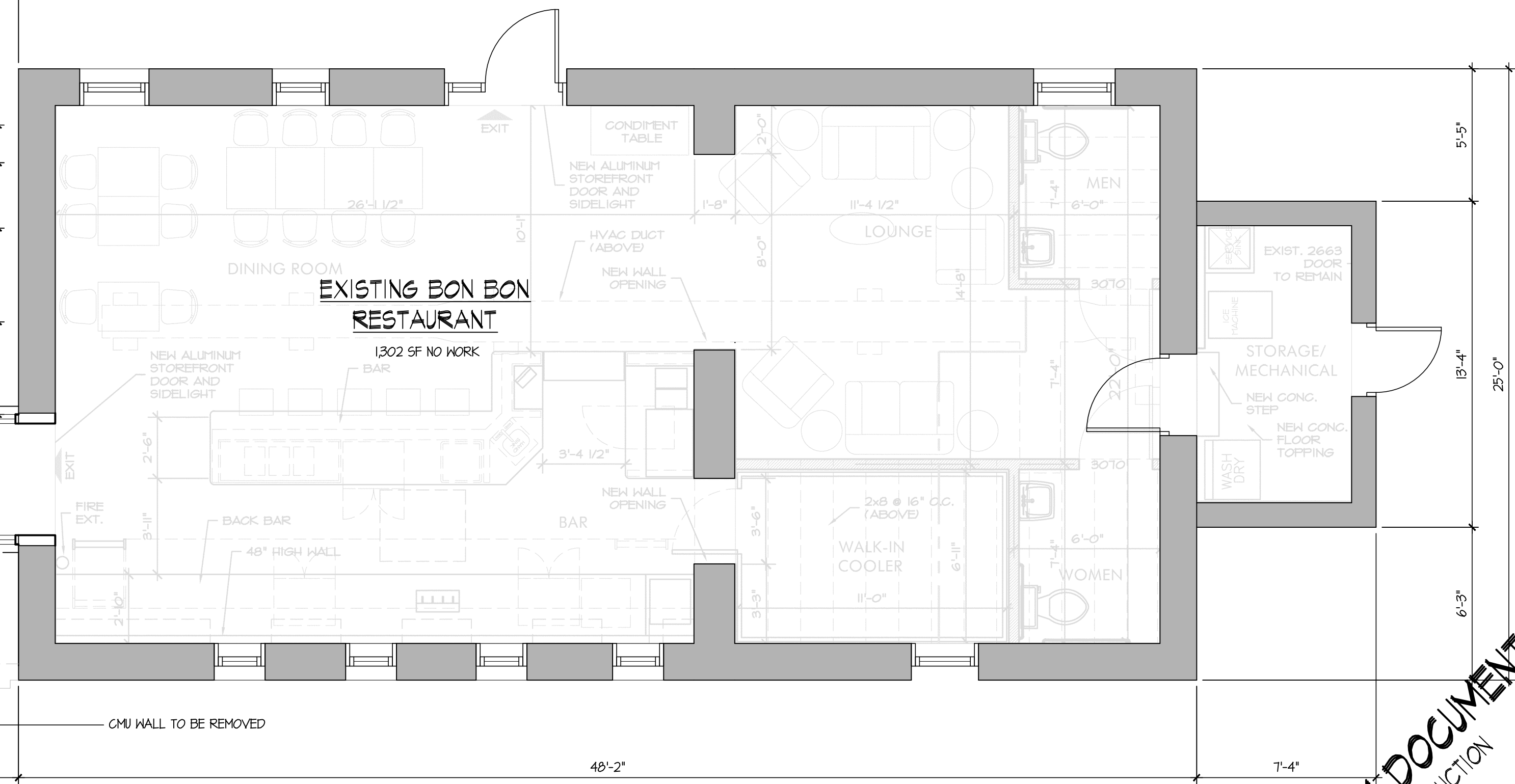
1302 SF NO WORK

1 EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH



DINING RM. EXISTING PATIO

695 SF
41 OCC. @ 15 SF/OCC.



EXISTING BON BON RESTAURANT

1302 SF NO WORK

1 FLOOR PLAN
SCALE: 1/4" = 1'-0"
1156 SF
PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

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123 W. 8TH STREET
SUITE B2
LAWRENCE, KS 66044
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BON BON
KITCHEN ADDITION
804 PENNSYLVANIA STREET
LAWRENCE, KANSAS

PROJECT # 218-160
MARCH 2018

RELEASE: DATE:
REVIEW 1.26.18

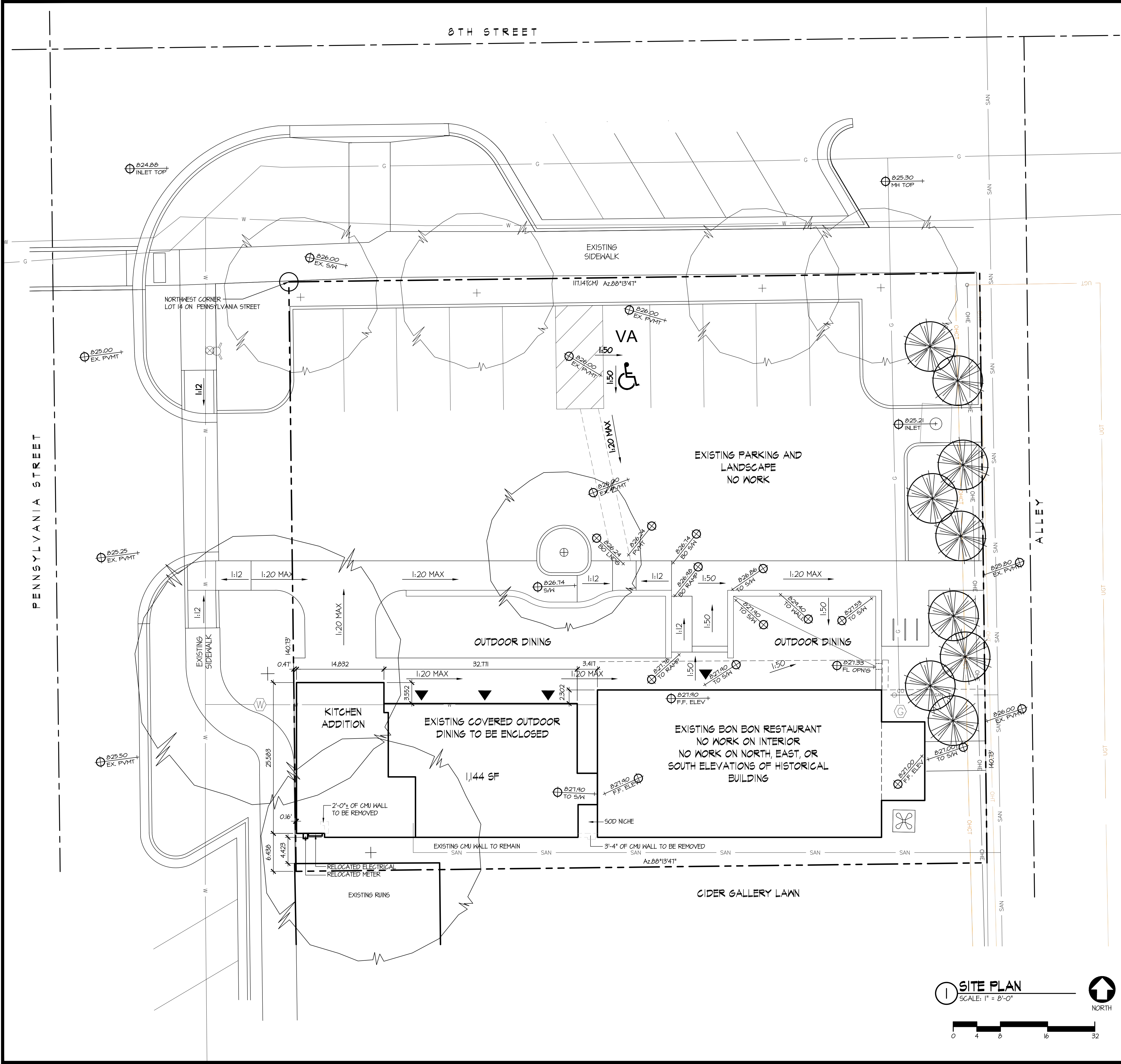
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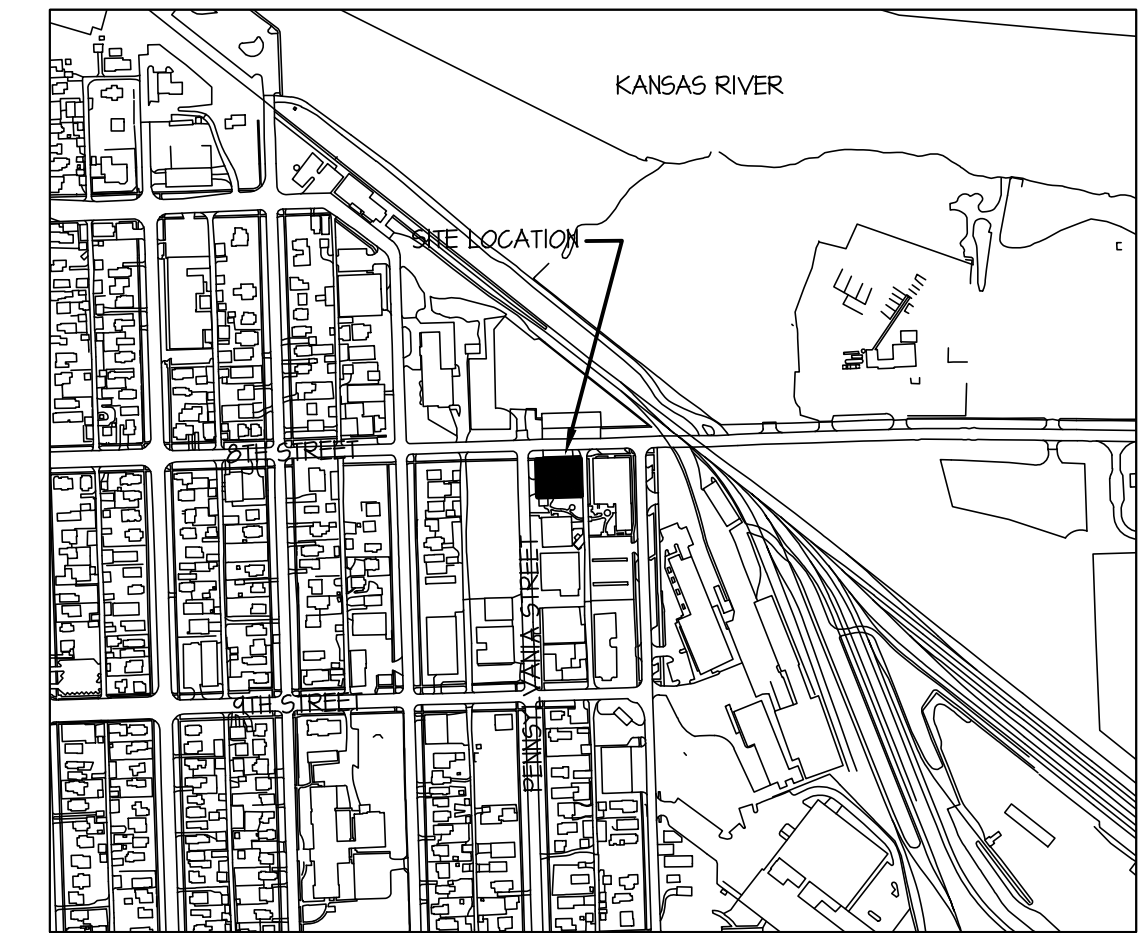
8TH STREET

PENNSYLVANIA STREET

ALLEY



LOCATION MAP:



LEGAL DESCRIPTION:

LOT 1, 8TH AND PENNSYLVANIA NEIGHBORHOOD REDEVELOPMENT ADDITION NO.3, CITY OF LAWRENCE, DOUGLAS COUNTY, KANSAS

PROJECT SUMMARY:

- 1.1 CURRENT ZONING: CS-UC ORDINANCE NO. 8054
- 1.2 PREVIOUS USE: RESTAURANT AND OUTDOOR DINING SERVED BY A FOOD TRUCK
- 1.3 PROPOSED USE: RESTAURANT AND OUTDOOR DINING WITH AN ATTACHED KITCHEN

GENERAL NOTES:

- 2.1 ALL LIGHTS WILL BE LESS THAN 150 WATT
- 2.2 PLAN FOR CITY APPROVAL ONLY! CONSTRUCTION DOCUMENTS TO BE FURNISHED AT THE REQUEST OF OWNER.
- 2.3 ALL TRAFFIC CONTROL SIGNS PLACED ON PRIVATE PROPERTY OPEN TO THE GENERAL PUBLIC SHALL COMPLY WITH THE "MANUAL ON UNIFORMS TRAFFIC CONTROL DEVICES" AND "STANDARD HIGHWAY SIGNS," PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION, WITH RESPECT TO SIZE, SHAPE, COLOR, RETROFLECTIVITY, AND POSITION.

IMPERVIOUS SURFACE SUMMARY:

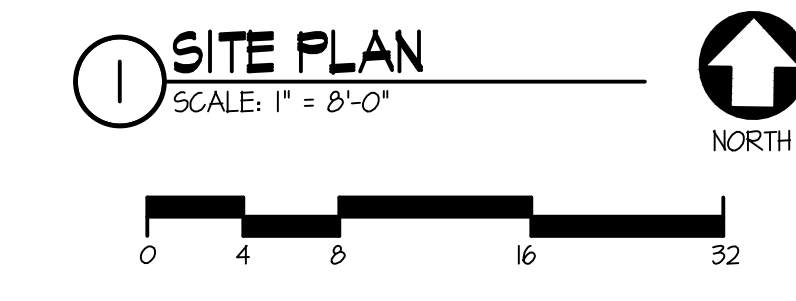
EXISTING CONDITIONS:		PROPOSED CONDITIONS:	
SO. FT.	%	SO. FT.	%
LAND AREA:	11,710	LAND AREA:	11,710
BUILDING FOOTPRINT:	1,302	BUILDING FOOTPRINT:	2,446
PAVEMENT AREAS:	8,440	PAVEMENT AREAS:	7,246
TOTAL IMPERVIOUS:	9,742	TOTAL IMPERVIOUS:	9,742
TOTAL PERVIOUS:	1,967	TOTAL PERVIOUS:	1,967

PARKING INFORMATION:

- 4.1 PARKING REQUIRED: 1 PER 250 SF BUILDING AREA FOR FOOD RELATED USES.
- 4.1 BUILDING FLOOR AREA: 2175/250 = 4 SPACES
OUTSIDE DINING AREA: 852/250 = 4 SPACES
TOTAL REQUIRED: 13 SPACES INCLUDING 1 VAN ACCESSIBLE SPACE
TOTAL PROVIDED: 10 SPACES ON SITE INCLUDING 1 VAN ACCESSIBLE EXISTING
+3 SPACES ON ADJACENT STREET EXISTING
- BICYCLE PARKING: 6 SPACES PROVIDED EXISTING
- 3.3 PAVEMENT: ALL PARKING AREAS AND DRIVE AREAS ARE EXISTING

LANDSCAPE:

ALL LANDSCAPE IS EXISTING



paulwerner ARCHITECTS

123 W. 8TH STREET SUITE B2 LAWRENCE, KS 66044 OFFICE: 785.832.0804 FAX: 785.832.0890 INFO@PAULWERNERARCHITECTS.COM

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BON BON KITCHEN ADDITION 804 PENNSYLVANIA STREET LAWRENCE, KANSAS

PROJECT # 210-160 MARCH 2018

RELEASE: PRELIM. DATE: 7.27.18

PRELIMINARY DOCUMENTS

Approved and Released
 City No. _____
 Approval Date: _____
 Release Date: _____
 Planner: _____
 of _____ Sheets
 of Lawrence _____
 Douglas County _____
 Planning & Development Services

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NORTH

BON BON

KITCHEN ADDITION

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SOUTH VIEW CIDER GALLERY LAWN

BON BON
KITCHEN ADDITION

paulwerner
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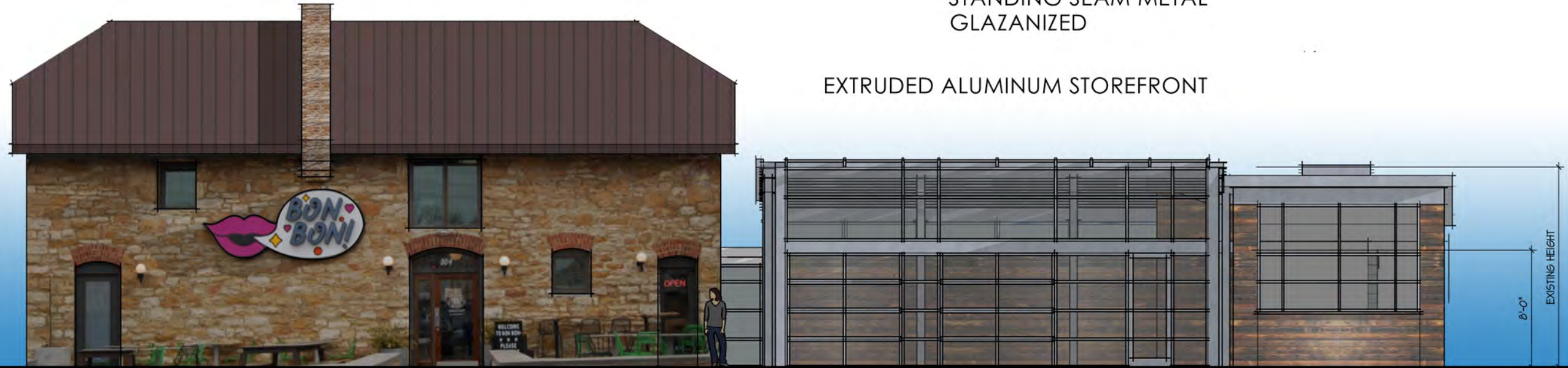
EXISTING BON BON RESTAURANT

EXISTING OUTDOOR PATIO TO BE ENCLOSED

PROPOSED KITCHEN ADDITION

STANDING SEAM METAL
GLAZANIZED

EXTRUDED ALUMINUM STOREFRONT



8TH STREET ELEVATION

EXISTING HEIGHT
8'-0"

J:\Projec

EXISTING

KITCHEN EXHAUST

GLASS ROOF
EXTRUDED ALUMINUM STOREFRONT

ALUM. STOREFRONT
 JAPANESE BURNT
 WOOD SIDING
 OR HRA SUGGESTION
 EXISTING CMU



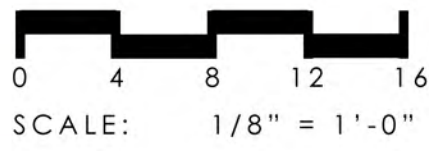
PENNSYLVANIA STREET ELEVATION



SOUTH ELEVATION

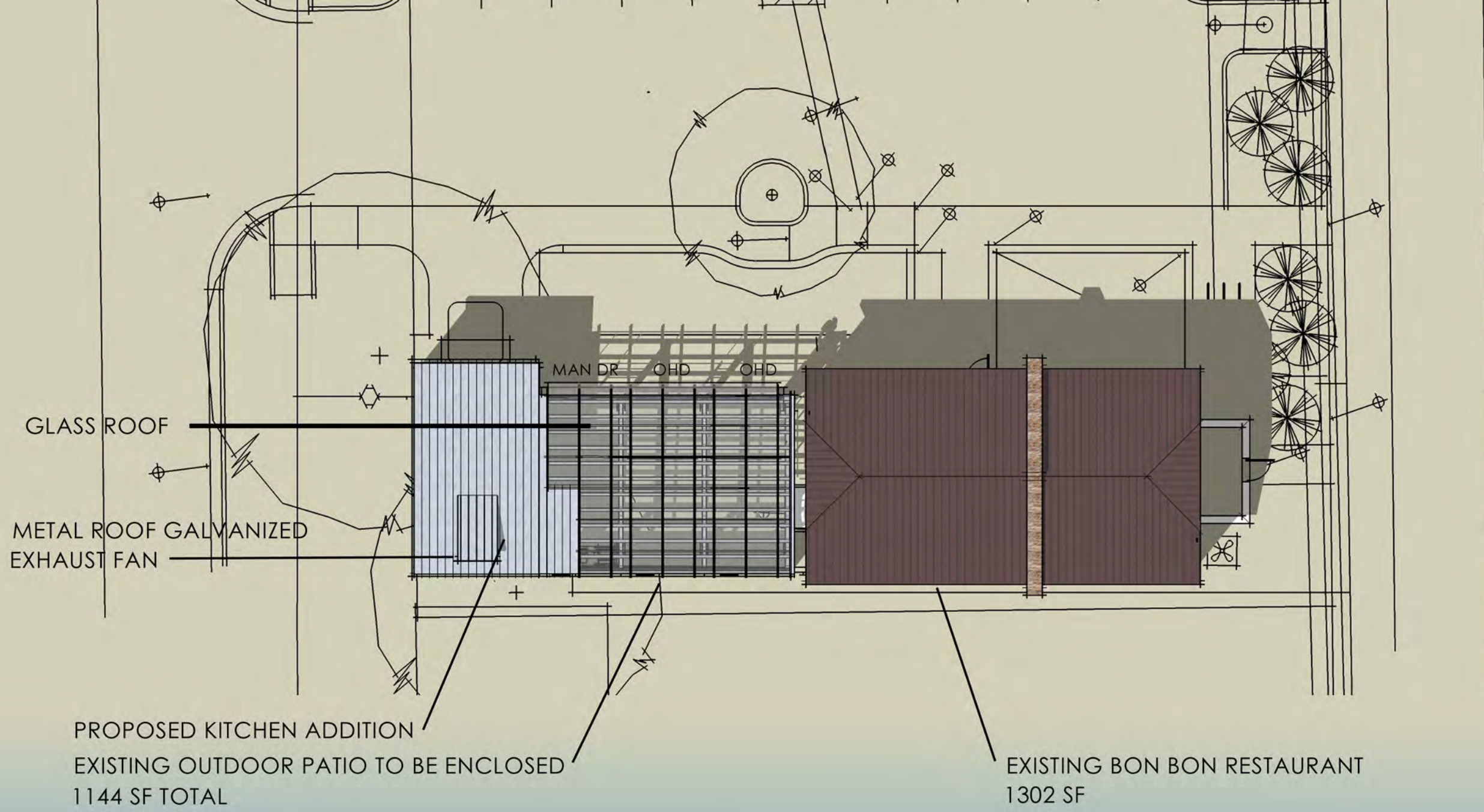


NORTH



BON BON
 KITCHEN ADDITION

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 ARCHITECTS



8TH STREET ELEVATION



PENNSYLVANIA STREET ELEVATION



NORTH



BON BON
KITCHEN ADDITION

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ARCHITECTS



BON BON
EXISTING

paulwerner
ARCHITECTS



BON BON
EXISTING KITCHEN

paulwerner
ARCHITECTS



EAST END



WEST END



PATIO DINING



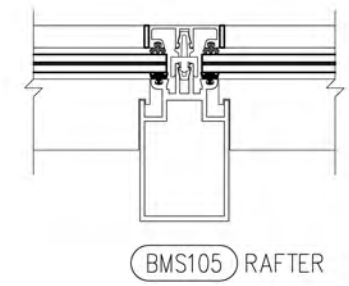
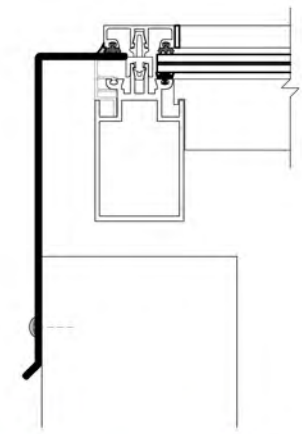
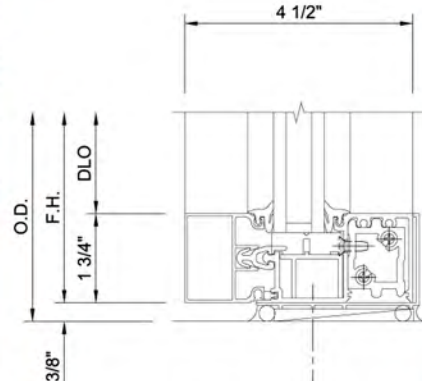
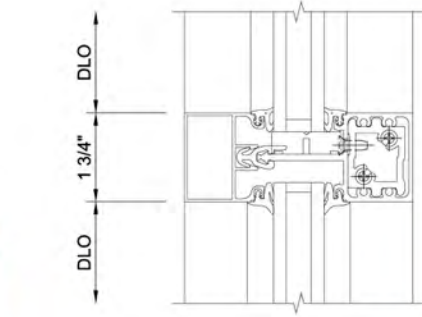
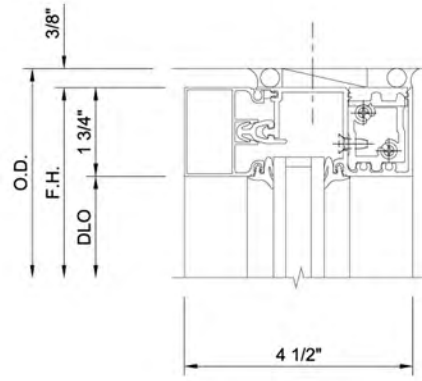
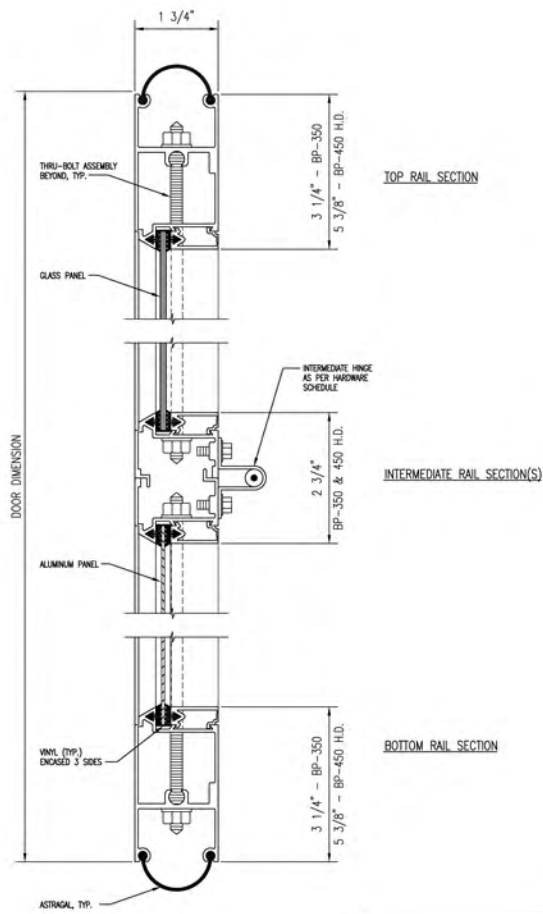
SOUTH SIDE

BON BON
EXISTING

paulwerner
ARCHITECTS

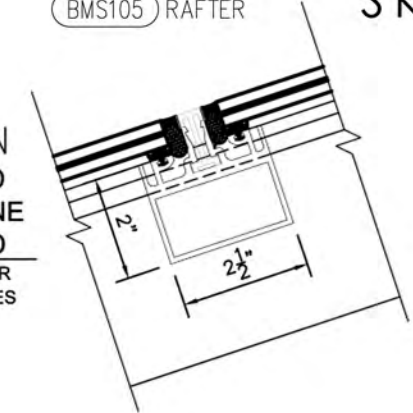


BON BON
ACCESSORY STRUCTURE SHOWN IN 2013 AERIAL PHOTO



BMS105 RAFTER

PURLIN
2-SIDED
SILICONE
GLAZED
OPTION FOR
LOW SLOPES



SKYLIGHT/ GLASS ROOF



STANDING SEAM METAL ROOF
GALVANIZED COLOR



CLEAR ANODIZED
ALUMINUM



CLEAR ANODIZED ALUMINUM
STOREFRONT & ENTRY DOOR



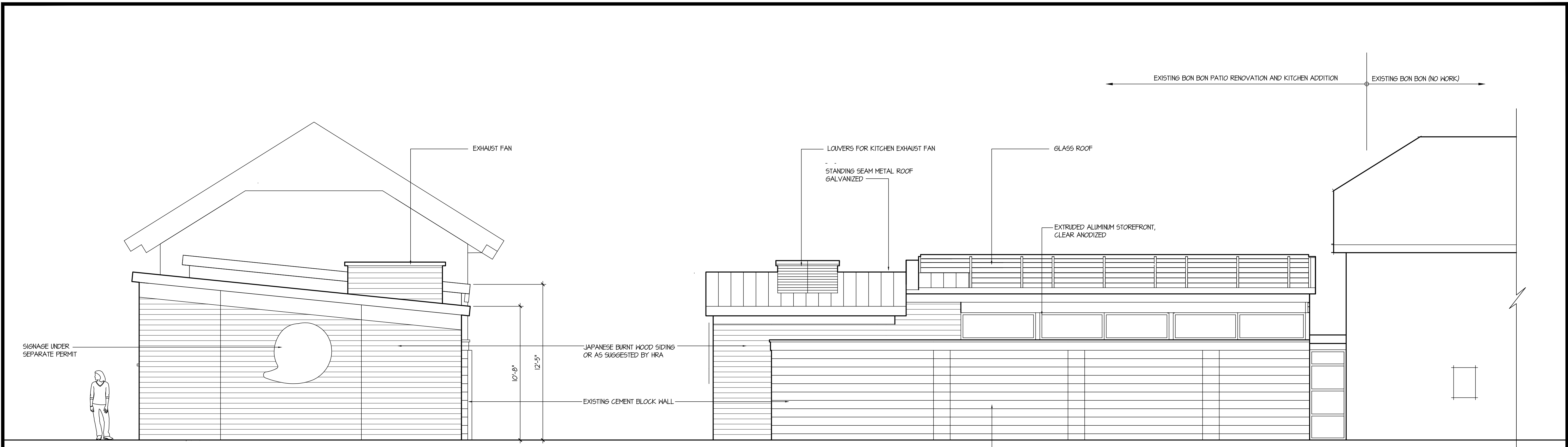
JAPANESE BURNT WOOD
SIDING



GLASS OVERHEAD DOOR
CLEAR ANODIZED ALUM

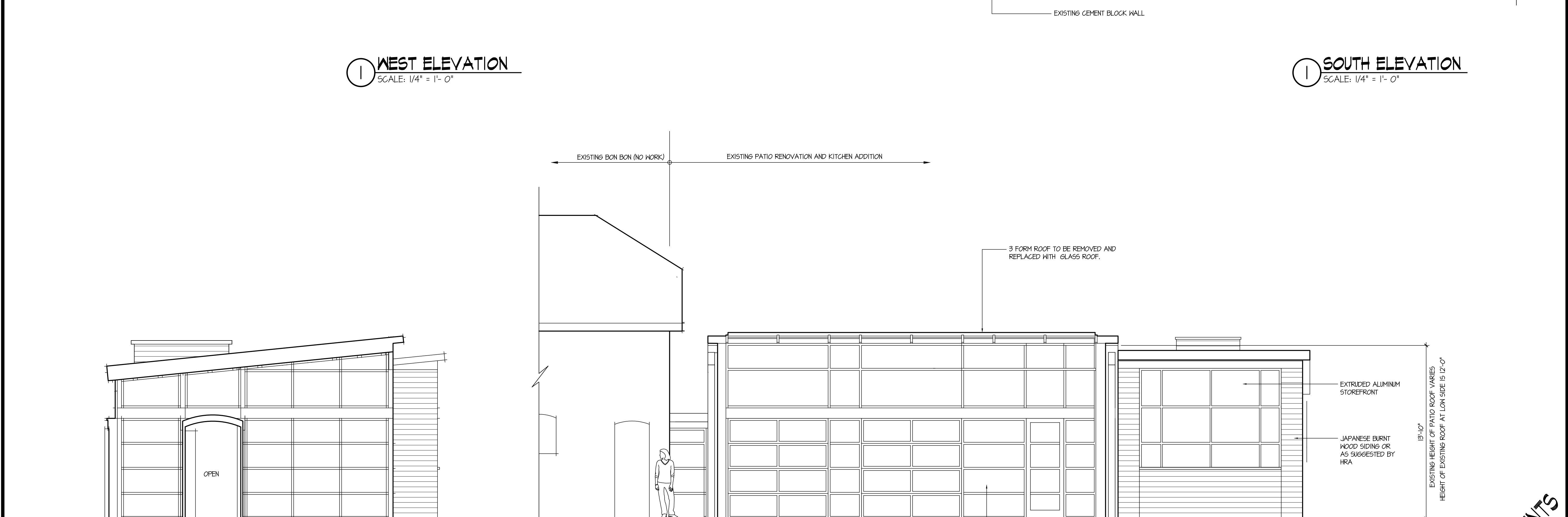
BON BON
MATERIALS

paulwerner
ARCHITECTS



1 WEST ELEVATION
SCALE: 1/4" = 1'- 0"

1 SOUTH ELEVATION
SCALE: 1/4" = 1'- 0"



1 EAST ELEVATION
SCALE: 1/4" = 1'- 0"

1 NORTH ELEVATION
SCALE: 1/4" = 1'- 0"

paulwerner
ARCHITECTS

123 W. 8TH STREET
SUITE B2
LAWRENCE, KS 66044
OFFICE: 785.832.0804
FAX: 785.832.0890
INFO@PAULWERNERARCHITECTS.COM

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WERNER ARCHITECTS, L.L.C.

**BON BON
KITCHEN ADDITION**
804 PENNSYLVANIA STREET
LAWRENCE, KANSAS

PROJECT # 218-160
MARCH 2018

RELEASE: DATE:
REVIEW 1.30.18
HRC REV. 8.29.18

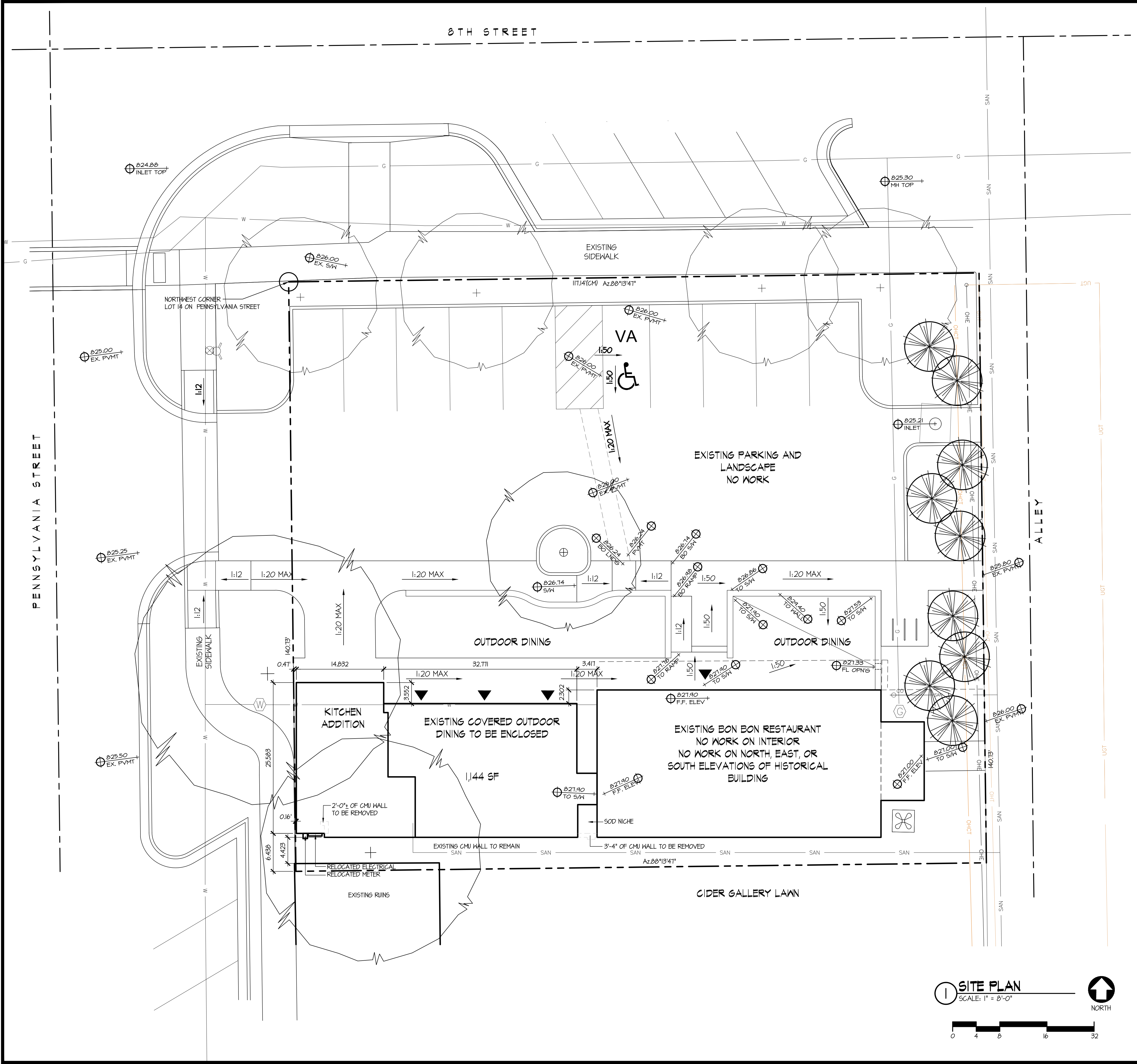
PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

J:\Project\218-000\218-160\CAD & CAD PDF's\Architectural\XREF\exterior_elevations-sk03.dwg, 8/29/2018 9:07:31 AM, DWG To PDF.pc3

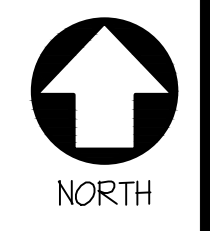
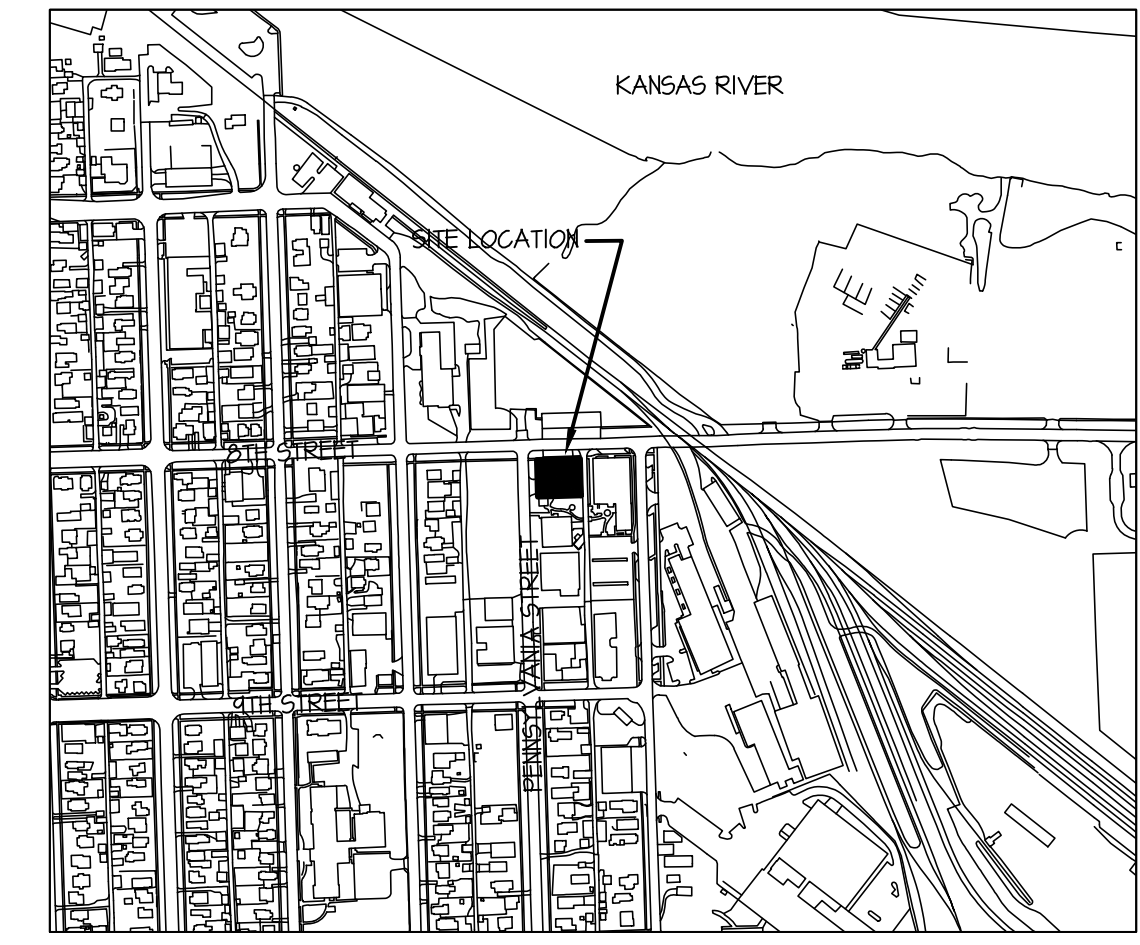
8TH STREET

PENNSYLVANIA STREET

ALLEY



LOCATION MAP:



LEGAL DESCRIPTION:

LOT 1, 8TH AND PENNSYLVANIA NEIGHBORHOOD REDEVELOPMENT ADDITION NO.3, CITY OF LAWRENCE, DOUGLAS COUNTY, KANSAS

PROJECT SUMMARY:

- 1.1 CURRENT ZONING: CS-UC ORDINANCE NO. 8054
- 1.2 PREVIOUS USE: RESTAURANT AND OUTDOOR DINING SERVED BY A FOOD TRUCK
- 1.3 PROPOSED USE: RESTAURANT AND OUTDOOR DINING WITH A ATTACHED KITCHEN

GENERAL NOTES:

- 2.1 ALL LIGHTS WILL BE LESS THAN 150 WATT
- 2.2 PLAN FOR CITY APPROVAL ONLY! CONSTRUCTION DOCUMENTS TO BE FURNISHED AT THE REQUEST OF OWNER.
- 2.3 ALL TRAFFIC CONTROL SIGNS PLACED ON PRIVATE PROPERTY OPEN TO THE GENERAL PUBLIC SHALL COMPLY WITH THE "MANUAL ON UNIFORMS TRAFFIC CONTROL DEVICES" AND "STANDARD HIGHWAY SIGNS," PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION, WITH RESPECT TO SIZE, SHAPE, COLOR, RETROREFLECTIVITY, AND POSITION.

IMPERVIOUS SURFACE SUMMARY:

PROJECT SITE: 804 PENNSYLVANIA			
EXISTING CONDITIONS:		PROPOSED CONDITIONS:	
LAND AREA:	SQ. FT.	LAND AREA:	SQ. FT.
BUILDING FOOTPRINT:	1,302	BUILDING FOOTPRINT:	2,446
PAVEMENT AREAS:	8,440	PAVEMENT AREAS:	7,246
TOTAL IMPERVIOUS:	9,742	TOTAL IMPERVIOUS:	9,742
TOTAL PERVIOUS:	1,961	TOTAL PERVIOUS:	1,961

PARKING INFORMATION:

- 4.1 PARKING REQUIRED: 1 PER 250 SF BUILDING AREA FOR FOOD RELATED USES.
- 4.1 BUILDING FLOOR AREA: 2175/250 = 8 SPACES
OUTSIDE DINING AREA: 852/250 = 4 SPACES
TOTAL REQUIRED: 13 SPACES INCLUDING 1 VAN ACCESSIBLE SPACE
TOTAL PROVIDED: 10 SPACES ON SITE INCLUDING 1 VAN ACCESSIBLE EXISTING
+3 SPACES ON ADJACENT STREET EXISTING
- BICYCLE PARKING: 6 SPACES PROVIDED EXISTING
- 3.3 PAVEMENT: ALL PARKING AREAS AND DRIVE AREAS ARE EXISTING

LANDSCAPE:

ALL LANDSCAPE IS EXISTING

1 SITE PLAN
SCALE: 1" = 8'-0"



paulwerner ARCHITECTS

123 W. 8TH STREET SUITE B2 LAWRENCE, KS 66044
OFFICE: 785.832.0804 FAX: 785.832.0890 INFO@PAULWERNERARCHITECTS.COM

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BON BON KITCHEN ADDITION
804 PENNSYLVANIA STREET
LAWRENCE, KANSAS

PROJECT # 218-160
MARCH 2018

RELEASE: DATE:
PRELIM. 7.27.18
HRC REV. 8.29.18

PRELIMINARY DOCUMENTS

Approved and Released	_____
City No.	_____
Approval Date:	_____
Release Date:	_____
Planner:	_____
_____ of Lawrence	_____ Sheets
Douglas County	Asst./Director:

Lawrence Historic Resources Commission	Item No. 8
945 Kentucky Street	DR-18-00396
Rehabilitation and Addition	September 20, 2018

<p>Applicant Dale Nimz on behalf of Michael Heitmann, property owner of record.</p> <p>Standards for Review Secretary of the Interior</p> <ul style="list-style-type: none"> • Standard 3 • Standard 6 • Standard 9 • Standard 10 <p>Chapter 22</p> <ul style="list-style-type: none"> • Standard 9 <p>Oread Design Guidelines Review</p> <p>Environs of: 933 Tennessee Street Oread Neighborhood Historic District</p> <p>Associated Cases Building Permit at time of construction</p>	<p>Request The applicant is proposing to construct a one story, 310 square foot, rear addition to allow for the living room/bedroom expansion of the existing one-bedroom apartment. There will also be a replacement porch on the front of the structure.</p> <p>Reason for Request The property, the Asaph King Allen House, is listed as a contributing structure in the Oread Historic District, National Register of Historic Places and is located in the Oread Neighborhood Conservation Overlay District. The property is also in the environs of the Oread Neighborhood Historic District and the Charles and Adeline Duncan House (933 Tennessee), Lawrence Register of Historic Places.</p> <p>Staff Recommendation</p> <p><u>State Law Review</u> Staff recommends a shingle roof for the shed portion of the project. If the applicant accepts this amended project, staff recommends that in accordance with the <i>Secretary of the Interior's Standards</i>, the standards of evaluation, the Commission approve the proposed project and find that the proposed project, as amended, does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).</p> <p>If the applicant does not accept the amended project, staff recommends the Commission refer the project to the Architectural Review Committee to evaluate and determine a roofing material for the historic shed addition that will meet the standards.</p> <p><u>Certificate of Appropriateness</u> In accordance with <i>Chapter 22 of the Code of the City of Lawrence</i>, the standards of evaluation, staff recommends the Commission find that the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issue the Certificate of Appropriateness for the proposed project.</p> <p><u>Oread Neighborhood Design Guidelines Review</u> Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Oread Neighborhood Design Guidelines and determined that the project, as proposed, meets these development and design standards.</p>
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Project Description

The applicant proposes to do a complete rehabilitation of the structure, replace the existing portico with a full-width front porch and construct a new one-story rear addition allowing for an expanding living room/bedroom in the existing one-bedroom apartment.

Rehabilitation work will include: re-pointing the existing stone foundation; redesigning the existing bathroom and kitchen; installing a new plumbing system; installing a new wiring system; installing a new HVAC system; re-roofing with new composition shingles and adding new guttering; repairing existing wood window frames with like material; repairing and reconstructing existing 6/6 double-hung windows; replacing and rebuilding window sashes; repairing existing ornamental gable vent window; and constructing exterior wooden storm windows.

The new addition will be located on the rear (west elevation) of the structure and will be 18 feet 8 inches from east to west and 16 feet 8 inches north to south. The addition will be recessed 7 feet from each plane of the existing structure. The wood frame structure will be clad with wood lap siding and will have an asphalt roof. Fenestration on the north and south elevations includes one wood window and two windows on the west. Decorative details for the addition include simple window surrounds and a band trim below the fascia.

The small addition will have a small entry porch to access the existing one-bedroom apartment and will match the proposed replacement front porch at the north side of the structure. The

porches are both proposed to be painted wood columns and rails with a standing seam metal roof.

Project Review

The identification of key features, including architectural elements and setting, are the beginning bases for project review of historic structures whether they are listed individually, as part of a district, or in the case of a Certificate of Appropriateness, located in the environs of a listed property or district. Careful consideration of the context and the reasons for the significance of the property should be included in the overall determination of character-defining elements. Character-defining elements include the overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment. Once the character-defining features have been identified, the project can be reviewed using the guidelines to determine if the proposed project meets the guidelines and if the project will damage or destroy the listed property.

The installation of the new services will not significantly alter the historic interior plan or character-defining spaces. The main alteration will be the enlargement of the existing ½ bathroom on the first floor and the re-design of the kitchen to include new cabinets. The interior was partitioned from the brick block and remodeled c. 1960 for a separate efficiency apartment. This is not a primary space and no significant interior architectural integrity will be lost. The main interior change in the proposed rehabilitation is limited to these two spaces.

The existing entrance portico will be replaced with a full-width, wood-frame front porch. The applicant has provided Sanborn map information and architectural evidence that there was a full-width front porch from sometime before 1912. A “ghost” outline of the original porch remains and provided evidence of the dimensions of the original porch and hipped roof. The existing portico has deteriorated and will be replaced with a new front porch that references the historic form. The proposed front porch will also conform to the Oread Neighborhood Design Guidelines that a typical porch in the neighborhood is one-story and usually applied across the front façade with a hipped roof. The materials of the proposed front porch consist of painted wood railings and wood columns. The applicant is proposing standing seam metal for the roofing material which is appropriate for front porches. The standing seam roof selection will conform to the Oread Neighborhood Design Guidelines and be no more than 1.5 inches high and not more than 18 inch wide pans.

The new addition is approximately 16 feet X 18 feet and will be wood-frame construction. The exterior materials are proposed to be smooth face lapped siding with a 4 ½ inch reveal, with painted wood trim and finish board. The foundation will be faced with a thin limestone veneer. Roofing will be matching asphalt shingles and standing seam metal roof on the low-pitch shed portion of the addition. The placement of the new addition is to allow for the new spaces to accommodate the new uses while minimizing the size of the addition and the interior alterations needed. The location of the structure on the site is at the rear of the structure and is recessed in from the exterior planes of the existing house. There are two windows proposed on the rear (west) elevation of the new addition. The south elevation will have a small entry porch, entry door for the apartment, and a window. The porch will have a low-pitch shed roof, clad with the metal roofing material that matches what is proposed on the new front porch replacement.

The proposed rear addition is a modest addition to add additional living area to the existing one-bedroom apartment space in the historic structure. The addition is compatible in size, scale, massing, and materials. The overall placement at the rear of the structure is appropriate. The interior alterations do not significantly alter historic primary spaces.

The only concern for staff is the proposed new metal roof for the existing shed addition. This roof is currently sheathed with asphalt shingles. The applicant has not supplied documentation that this roof was previously metal. Staff has not documented the construction date of this addition. It appears that when the property was listed as a contributing structure to the Oread Historic District, this roof was asphalt shingle. Unless documentation is discovered to indicate that this roof was metal, the roof should be replaced in-kind to prevent a false sense of history and to replace a deteriorated feature in-kind using the Secretary of the Interior's Standards. Staff is of the opinion the new roof for the shed addition should be a shingle roof.

State Law Review

The City of Lawrence has an agreement with the State Historic Preservation Officer to conduct reviews required under K.S.A. 75-2724 using the Secretary of the Interior's Standards. The Historic Resources Commission is charged with determining whether or not projects will "damage or destroy" historic resources. Interior alterations are also included in this review.

Standards 3, 6, 9 and 10 apply to this project.

The proposed project is located at the rear of the structure and is compatible in size, scale, massing, architectural detailing, and materials. The setbacks from the property lines are appropriate. Minimal alterations to the interior of the structure are included in this project. The project maintains a significant amount of historic fabric and does not destroy any materials that characterize the property. The new addition is differentiated from the historic structure.

The proposed metal roof for the existing shed addition does not meet Standard 3, 6 or 9. The addition of a new metal material for this portion of the roof without documentation can create a false sense of development for the structure (Standard 3). It can create the misconception that this historic portion of the structure always had a metal roof. Standard 6 states that a feature should be repaired rather than replaced. If the feature cannot be repaired, it should be replaced in-kind. The new metal roofing for this existing shed portion of the structure will match the new addition. This will not differentiate the new addition from the historic form.

Staff is of the opinion that the project, with the exception of the metal roof for the existing shed addition, meets the intent of the Secretary of the Interior's Standards.

The applicant has indicated that they will apply for the State Historic Rehabilitation Tax Credit. This State Law review by the Historic Resources Commission does not guarantee approval for the Rehabilitation Tax Credit program. Detailed documentation should be submitted to the State Historic Preservation Office for review for that program. The review by City of Lawrence staff does not constitute review by State Historic Preservation Office staff.

Certificate of Appropriateness

Environs review for a Certificate of Appropriateness begins with a presumption that a Certificate of Appropriateness will be approved unless the proposed construction or demolition would significantly encroach on, damage, or destroy the landmark or historic district. Interior alterations are not included in this review. The review focuses on the environment of the listed property and how the project interacts with the environment of the listed property, not how the project affects the subject property.

In addition to review by 22-505, the proposed alterations and new construction should be reviewed using the design criteria in 22-506. These design criteria help to promote the standards set forth in 22-505. Specifically, 22-506(c)(2) provides review criteria for additions to existing buildings. Identified criteria for new additions includes but is not limited to building scale, height, orientation, site coverage, spatial separation from other buildings, façade patterns, window patterns, entrance and porch size and general design, materials, textures, color, architectural details, roof forms, emphasis on horizontal or vertical elements, walls, fences, landscaping, and other features deemed appropriate by the Commission.

The proposed project is located in the environs of the Oread Neighborhood Historic District. The property is also located in the environs of the Charles and Adeline Duncan House, 933 Tennessee. There is no direct line of sight to the Duncan House. The proposed project is appropriate in size, scale, massing, material, and location for additions in the environs of the listed properties.

Staff is of the opinion that the project, as recommended with the amendment, meets the intent of Chapter 22.

STANDARDS FOR REVIEW

Review under K.S.A. 75-2724 (State Preservation Law Review)

For State Preservation Law Review of projects involving listed properties, the Historic Resources Commission uses the Secretary of the Interior's Standards to evaluate the proposed project. Therefore, the following standards apply to the proposed project:

- 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*
- 2. The historic character of a property shall be retained and preserved. The removal of historic material or alteration of features and spaces that characterize a property shall be avoided.*
- 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

8. *Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historical property and its environment would be unimpaired.*

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

(A) An application for a certificate of appropriateness shall be evaluated on a sliding scale, depending upon the designation of the building, structure, site or object in question. The certificate shall be evaluated on the following criteria:

1. *Most careful scrutiny and consideration shall be given to applications for designated landmarks;*

2. *Slightly less scrutiny shall be applied to properties designated as key contributory within an historic district;*

3. *Properties designated contributory or non-contributory within an historic district shall receive a decreasing scale of evaluation upon application;*

4. *The least stringent evaluation is applied to noncontributory properties and the environs area of a landmark or historic district. There shall be a presumption that a certificate of appropriateness shall be approved in this category unless the proposed construction or demolition would significantly encroach on, damage, or destroy the landmark or historic district. If the Commission denies a certificate of appropriateness in this category, and the owner(s) appeals to the City Commission, the burden to affirm the denial shall be upon the commission, the City or other interested persons.*

(B) In considering an application for a certificate of appropriateness, the Commission shall be guided by the following general standards in addition to any design criteria in this Chapter and in the ordinance designating the landmark or historic district:

1. *Every reasonable effort shall be made to provide a compatible use for a property that requires minimal alteration of the building, structure, site or object and its environment, or to use a property for its originally intended purpose;*

2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural feature should be avoided when possible;

3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance shall be discouraged;

4. Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected;

5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure or site shall be treated with sensitivity;

6. Deteriorated architectural features shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new materials should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplication of features, substantiated by historic, physical, or pictorial evidence, rather than on conceptual designs or the availability of different architectural elements from other buildings or structures;

7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building material shall not be undertaken;

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, and project;

9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alteration and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environs.

Environs for Charles and Adeline Duncan House

There is no environs definition for the Charles and Adeline Duncan House, 933 Tennessee Street.

Environs for Oread Neighborhood Historic District

There is no environs definition for the Oread Neighborhood Historic District, west side of the 1000 block of Tennessee Street, and the east side of the 1000 block of Ohio Street.



Pre-Application Meeting Required Planner _____ Date _____ Date Received _____
--

6 East 6th St.
P.O. Box 708
Lawrence, KS 66044

www.lawrenceks.org/pds

Phone 785-832-3150
Tdd 785-832-3205
Fax 785-832-3160

DESIGN REVIEW APPLICATION

PROPERTY INFORMATION

Address of Property 945 Kentucky Street, Lawrence, KS 66044
 Legal Description (*may be attached*) Kentucky Street Lot 91

OWNER INFORMATION

Name(s) Michael Heitmann
 Contact _____
 Address 3715 Shawnee Mission Parkway
 City Fairway State KS ZIP 66205-2713
 Phone (____) _____ Fax (____) _____
 E-mail mike@mikeheitmann.com Cell Phone (913) 787-3470

APPLICANT/AGENT INFORMATION

Contact Dale Nimz
 Company _____
 Address P. O. Box 1046
 City Lawrence State KS ZIP 66044
 Phone (785) 863-2078 Fax (____) _____
 E-mail dale.nimz@gmail.com Cell Phone (785) 979-8398

Existing Zoning	Existing Land Use	Proposed Land Use	# of Buildings
Total site area	Existing Building Footprint	Proposed Building Footprint	Open Space Area
Existing Pavement Coverage	Proposed Pavement Coverage		
Are you also submitting any of the following applications?			
• Building Permit	• Site Plan	• Special Use Permit	• Zoning Change
• Variance	• State or Federal Tax Credit Application	Other (specify)	

Property

Address: [945 Kentucky Street, Lawrence, KS](#)

**Detailed Description of Proposed Project:
(Attach additional sheets if necessary)**

[See attached pages.](#)

**Reason for Request:
(Attach additional sheets if necessary)**

The proposed project is a certified historic rehabilitation of a residence designated as a contributing property in the National Register Oread Historic District. The owner is seeking design review and approval of a Certificate of Appropriateness for the proposed rehabilitation project.

Architect/Engineer/Contractor Information: Please provide name and phone number of any persons associated with the project.

Contact Andrew Thomas

Company Architect One

Address 906 S. Kansas Avenue-Suite 200

City Topeka State KS ZIP 66612

Phone (785) 271-7010 Fax (____) _____

E-mail adt@ao.design Cell (____) _____

REQUIRED ATTACHMENTS:

- Photographs of existing structure and site
- Scaled or dimensioned site plan with a graphic/bar scale
- Scaled elevation drawings with a graphic/bar scale
- Scaled or dimensioned floor plans with a graphic/bar scale
- Materials list
- Digital copy of application materials

ADDITIONAL INFORMATION MAY BE REQUIRED BASED ON THE SCOPE OF THE PROJECT

SIGNATURE

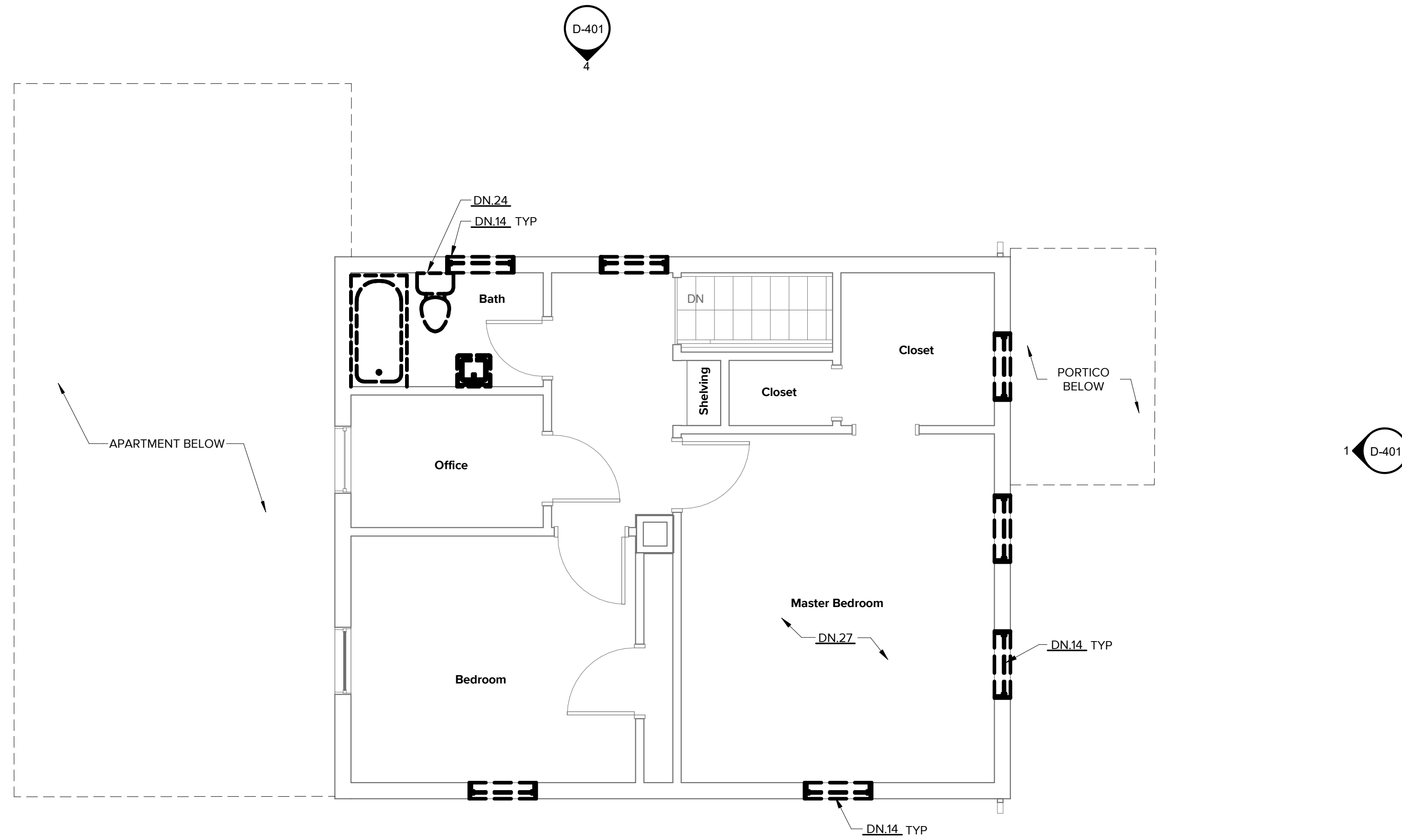
I/We, the undersigned am/are the **(owner(s)), (duly authorized agent), (Circle One)** of the aforementioned property. By execution of my/our signature, I/we do hereby officially apply for design review approval as indicated above.

Signature(s): _____ Date _____

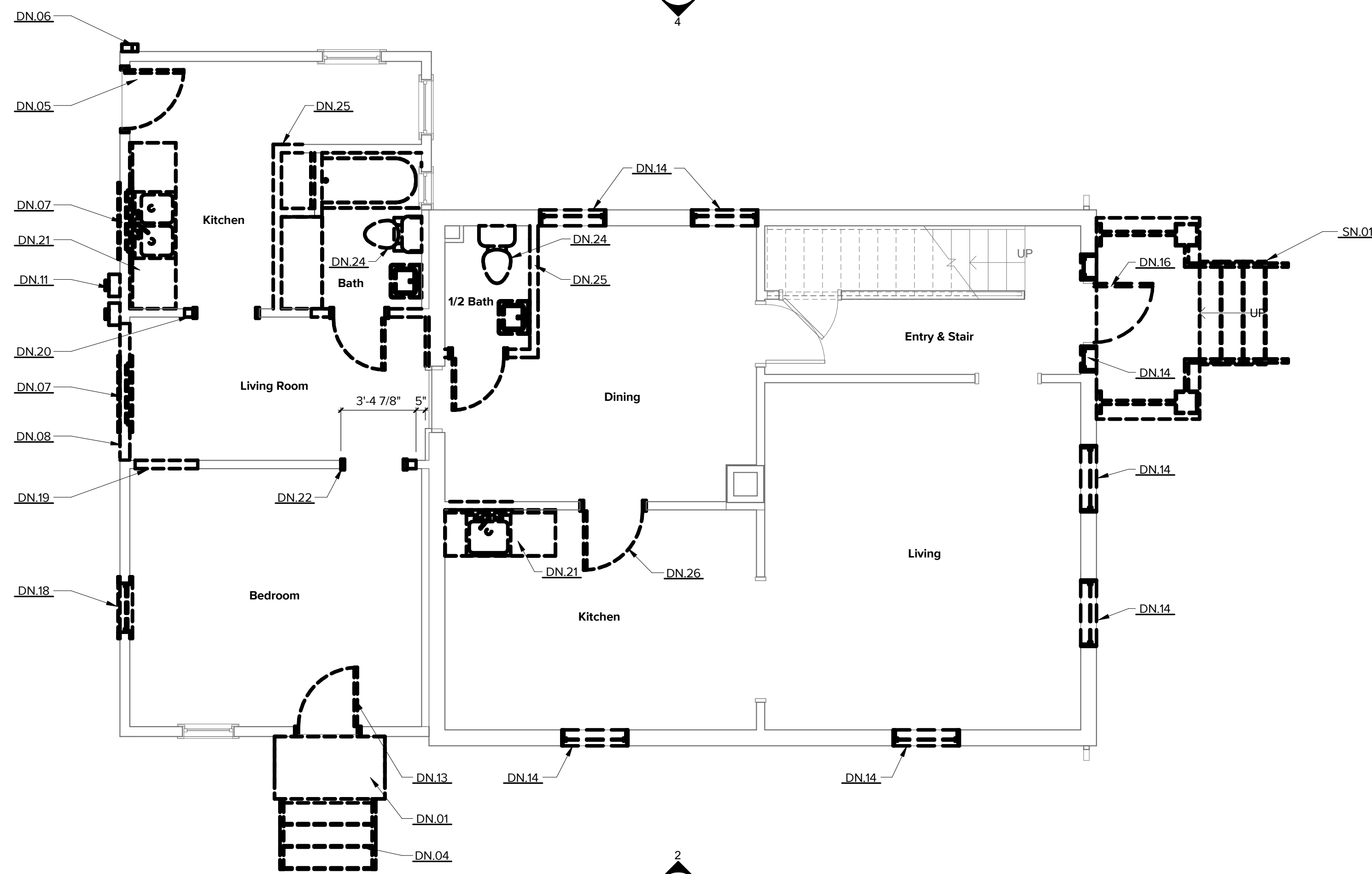
_____ Date _____

_____ Date _____

Note: If signing by agent submit Owner Authorization Form



2 Second Floor - Demolition
SCALE: 1/4" = 1'-0"



1 First Floor - Demolition
SCALE: 1/4" = 1'-0"

Demolition Keynotes

DN.01	REMOVE EXISTING SHED ROOF SHEATHING, ASPHALT SHINGLES, FASCIA AND TRIM BOARDS. REPAIR OR REPLACE EXISTING JOISTS AS NEEDED. PREPARE FRAMING TO RECEIVE NEW ROOF CRICKET FOR ADDITION
DN.04	REMOVE EXISTING CONCRETE STOOP, STAIRS, AND METAL PIPE HANDRAILS
DN.05	REMOVE EXISTING DOOR AND FRAME AND PREPARE AREA FOR NEW DOOR
DN.06	REMOVE EXISTING GUTTER AND DOWNSPOUT. REF EXTERIOR ELEVATIONS FOR NEW GUTTER AND DOWNSPOUT LOCATIONS
DN.07	REMOVE EXISTING WINDOWS AND PREPARE AREA FOR WALL INFILL AND NEW ADDITION
DN.08	REMOVE PORTION OF EXTERIOR WALL FOR ACCESS TO NEW ADDITION. REF NEW FLOOR PLANS
DN.11	REMOVE AND RELOCATE EXISTING ELECTRICAL METERS, INTERIOR BREAKER BOX AND OVERHEAD SERVICE LINES TO NORTH SIDE OF THE EXISTING APARTMENT. COORDINATE WITH ALL UTILITY PROVIDERS
DN.13	REMOVE EXISTING ENTRY DOOR AND PREPARE AREA FOR NEW SIDING AND WINDOW INFILL
DN.14	REMOVE EXISTING WINDOWS/SIDELIGHT/TRANSOM AND COORDINATE TRANSFER TO GLAZIER FOR IN-SHOP RESTORATION AND REINSTALLATION (TYPICAL NOTE FOR ALL WINDOWS ON MAIN RESIDENCE). REPAIR WOOD SILLS AND HEADERS AS REQUIRED AND MAKE READY FOR NEW PAINT
DN.16	REMOVE AND SALVAGE AT OWNER'S DIRECTIONS EXISTING FRONT DOOR. PREPARE AREA AND COORDINATE WITH REINSALLATION OF SIDELIGHTS AND TRANSOM NEW INSULATED ENTRY DOOR
DN.18	REMOVE EXISTING WINDOW AND PREPARE ARE FOR NEW WINDOW (REDUCTION IN HEIGHT)
DN.19	REMOVE PORTION OF EXISTING WALL FOR NEW DOOR
DN.20	REMOVE CASD OPENING AND PORTION OF WALL TO CREATE A NEW FINISHED OPENING
DN.21	REMOVE ALL EXISTING CASEWORK, COUNTERTOP, AND PLUMBING FIXTURES IN PREPERATION OF NEW KITCHEN LAYOUT
DN.22	REMOVE PORTION OF EXISTING WALL AND CASD OPENING FOR NEW BIFOLD DOORS
DN.24	REMOVE ALL BATHROOM PLUMBING FIXTURES AND PREPARE ARE FOR NEW LAYOUT, FINISHES, AND FIXITRES
DN.25	REMOVE WALL, REF NEW FLOOR PLAN
DN.26	REMOVE EXISTING DOOR AND FRAME AND PREPARE AREA FOR NEW WALL INFILL
DN.27	REMOVE CARPET AND PAD THROUGHOUT ALL SPACES ON UPPER FLOOR

- General Demolition Notes**
- THE CONTRACTOR IS ADVISED THAT THE BUILDING OWNER WILL CONTINUE TO CONDUCT BUSINESS WITHIN THE AREA OF DEMOLITION AND CONSTRUCTION THROUGHOUT THE COURSE OF THE WORK. HE IS TO ENDEAVOR TO MINIMIZE LOUD OR DISRUPTIVE PERIODS OF THE WORK AND TO EXECUTE ALL CONCRETE SLAB REMOVAL OR OTHERWISE LOUD AND DISRUPTIVE WORK TO OFF HOURS OR OTHER TIMES AS APPROVED BY THE OWNER. ADVISE THE OWNER A MINIMUM OF 24 HOURS PRIOR TO ANY DISRUPTION IN UTILITIES.
 - REMOVE ALL WALLS, CEILING, DOORS, FRAMES, ETC. INDICATED AND SALVAGE MATERIALS FOR REUSE TO THE EXTENT PRACTICAL.
 - REMOVE ALL EXISTING CARPET, VINYL, AND BASE IN ROOMS INDICATED TO BE DEMOLISHED AND ON PLANS AND SCHEDULES. REMOVE OLD ADHESIVE - OR PROVIDE NEW FLOOR STONE - TO PROVIDE SMOOTH, CLEAN SURFACE SUITABLE FOR INSTALLATION OF NEW FLOOR FINISHES. DO NOT REMOVE OR DISTURB EXIST ASBESTOS TILE
 - REMOVE AND SALVAGE ALL DOORS AND FRAMES - STORE ON SITE WHERE APPROVED BY OWNER.
 - SALVAGE ALL LIGHTS AND MECHANICAL DIFFUSERS FOR POSSIBLE REUSE - REFERENCE MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
 - REMOVE AND CAP ALL WATER, WASTE, GAS, ELECTRICAL CONDUIT, AND ANY OTHER LINES NO LONGER TO BE USED TO 1" BELOW TOP OF CONCRETE SLAB. TERMINATE ANY ROOF PENETRATION LINES 6" BELOW ROOF DECK - DO NOT REMOVE ANY EXISTING, OR CREATE ANY NEW ROOF PENETRATIONS AS PART OF THE DEMOLITION WORK.
 - STRIP ANY VINYL WALL FABRIC NOT COMPLETELY COVERING AN EXISTING WALL FACE TO REMAIN TO THE NEXT 90 DEGREE WALL CORNER.
 - PROVIDE 6 MIL. PLASTIC ON 2X4 16" O.C. DUST PARTITION TO UNDERSIDE OF ROOF STRUCTURE OR CEILING TO REMAIN AS APPROPRIATE TO PROTECT AND ISOLATE ALL ADJACENT AREAS FROM DUST AND DEMOLITION DEBRIS. RELOCATE OR PROVIDE ADDITIONAL DUST PARTITIONS AS REQUIRED TO ACCOMMODATE ALL PHASES OF THE DEMOLITION WORK. PROVIDE PLASTIC COVERS OVER ALL RETURN AIR DUCTS WITHIN AREA OF DEMOLITION AND REPLACE FURNACE FILTERS AS NEEDED DURING THE COURSE OF DEMOLITION.
 - AT THE END OF WORK EACH DAY, DEMOLITION CONTRACTOR IS TO CLEAN UP ALL DEBRIS, MATERIALS, OR OTHER DISTURBED CONDITIONS IN THE COMMON OR PUBLIC USE AREAS WHICH ARE A RESULT OF THE DEMOLITION WORK. LOCATION OF ON SITE DUMPSTER, AND REMOVAL OF ALL DEMOLITION MATERIAL TO BE AT TIMES AND THROUGH MEANS AS APPROVED BY OWNER.
 - DEMOLITION CONTRACTOR IS REQUIRED TO VISIT THE LOCATION OF THE WORK AND BECOME FAMILIAR WITH THE PARAMETERS, CONDITIONS, AND CONSTRAINTS UNDER WHICH THE WORK IS TO BE EXECUTED SUCH THAT THERE ARE NO QUESTIONS IN THEIR MIND REGARDING THE SCOPE OF THE WORK REQUIRED TO COMPLETE ALL WORK INDICATED ON THE PLANS OR REQUIRED TO COMPLETELY REMOVE ALL MATERIAL REQUIRED TO FACILITATE THE NEW WORK AS PER THE PLANS.



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PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

AK Allen House Restoration
Lawrence, KS
945 Kentucky Street

PROJECT NUMBER:	18-053
PROJECT ARCHITECT:	MTW
PROJECT MANAGER:	ADT
DRAWN BY:	Author
CHECKED BY:	Checker
ISSUE DATE:	08/13/18
ISSUE RECORD:	Design Review

SHEET TITLE
Demolition Floor Plan

945 Kentucky
SHEET NUMBER
D-101

Demolition Keynotes

DN.01	REMOVE EXISTING SHED ROOF SHEATHING, ASPHALT SHINGLES, FASCIA AND TRIM BOARDS. REPAIR OR REPLACE EXISTING JOISTS AS NEEDED. PREPARE FRAMING TO RECEIVE NEW ROOF CRICKET FOR ADDITION
DN.02	REMOVE EXISTING WOOD LAP SIDING AND PREPARE FOR NEW SIDING AND CONSTRUCTION
DN.03	REMOVE EXISTING WOOD FRAMED ENTRY CANOPY
DN.04	REMOVE EXISTING CONCRETE STOOP, STAIRS, AND METAL PIPE HANDRAILS
DN.05	REMOVE EXISTING DOOR AND FRAME AND PREPARE AREA FOR NEW DOOR
DN.06	REMOVE EXISTING GUTTER AND DOWNSPOUT. REF EXTERIOR ELEVATIONS FOR NEW GUTTER AND DOWNSPOUT LOCATIONS
DN.07	REMOVE EXISTING WINDOWS AND PREPARE AREA FOR WALL INFILL AND NEW ADDITION
DN.08	REMOVE PORTION OF EXTERIOR WALL FOR ACCESS TO NEW ADDITION, REF NEW FLOOR PLANS

Demolition Keynotes

DN.09	REMOVE AND SALVAGE AT OWNER'S DIRECTIONS EXISTING SATELLITE CABLE DISH
DN.10	REMOVE EXISTING WOOD DECK, GUARDRAIL, AND STAIR
DN.11	REMOVE AND RELOCATE EXISTING ELECTRICAL METERS, INTERIOR BREAKER BOX AND OVERHEAD SERVICE LINES TO NORTH SIDE OF THE EXISTING APARTMENT. COORDINATE WITH ALL UTILITY PROVIDERS
DN.12	REMOVE AND RELOCATE EXISTING DATA BOXES TO NORTH SIDE OF THE EXISTING APARTMENT. COORDINATE WITH ALL UTILITY PROVIDERS
DN.13	REMOVE EXISTING ENTRY DOOR AND PREPARE AREA FOR NEW SIDING AND WINDOW INFILL
DN.14	REMOVE EXISTING WINDOWS/SIDELIGHT/TRANSOM AND COORDINATE TRANSFER TO GLAZIER FOR IN-SHOP RESTORATION AND REINSTALLATION (TYPICAL NOTE FOR ALL WINDOWS ON MAIN RESIDENCE). REPAIR WOOD SILLS AND HEADERS AS REQUIRED AND MAKE READY FOR NEW PAINT

Demolition Keynotes

DN.15	REMOVE EXISTING PORTICO (ROOF, STRUCTURE, PILASTERS, GUARDRAILS, CONCRETE STOOP AND STEPS, ETC) IN ENTIRETY. EXISTING ENTRY POINT TO REMAIN. PREPARE AREA FOR COVERED FRONT PORCH
DN.16	REMOVE AND SALVAGE AT OWNER'S DIRECTIONS EXISTING FRONT DOOR. PREPARE AREA AND COORDINATE WITH REINSTALLATION OF SIDELIGHTS AND TRANSOM NEW INSULATED ENTRY DOOR
DN.17	REMOVE AND SALVAGE GABLE DETAIL FOR IN-SHOP RESTORATION AND REINSTALLATION
DN.23	REMOVE ALL EXISTING SHINGLE ROOF LAYERS. ADD BLOWN/BATT INSULATION PER CODE IN ATTIC. REPLACE ROOF SHEATHING AS REQUIRED, INSTALL NEW UNDERLAYMENT/CE&WATER SHIELD, AND RESHINGLE. PREPARE AREAS FOR NEW ROOF VENTS



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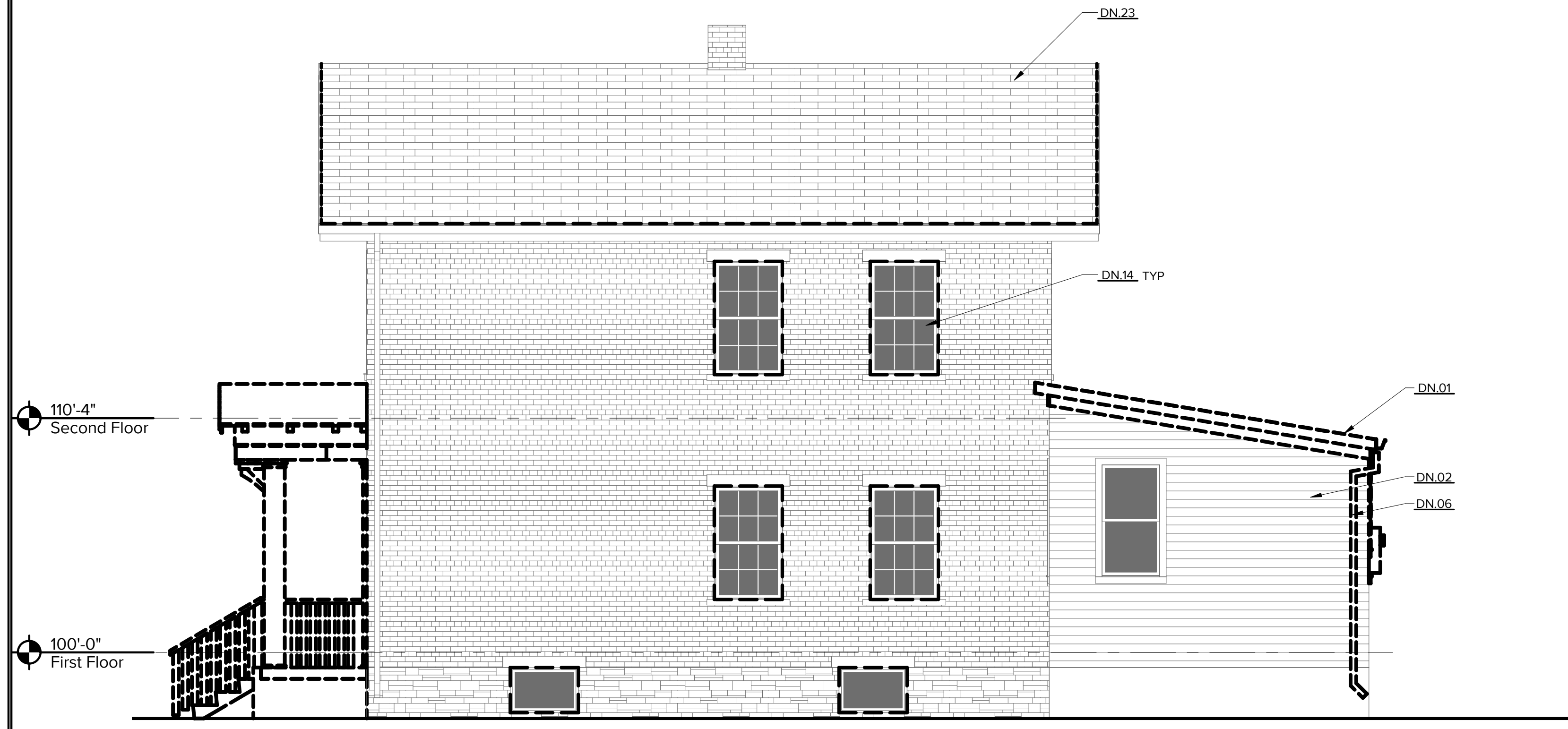
PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

AK Allen House Restoration
Lawrence, KS
945 Kentucky Street

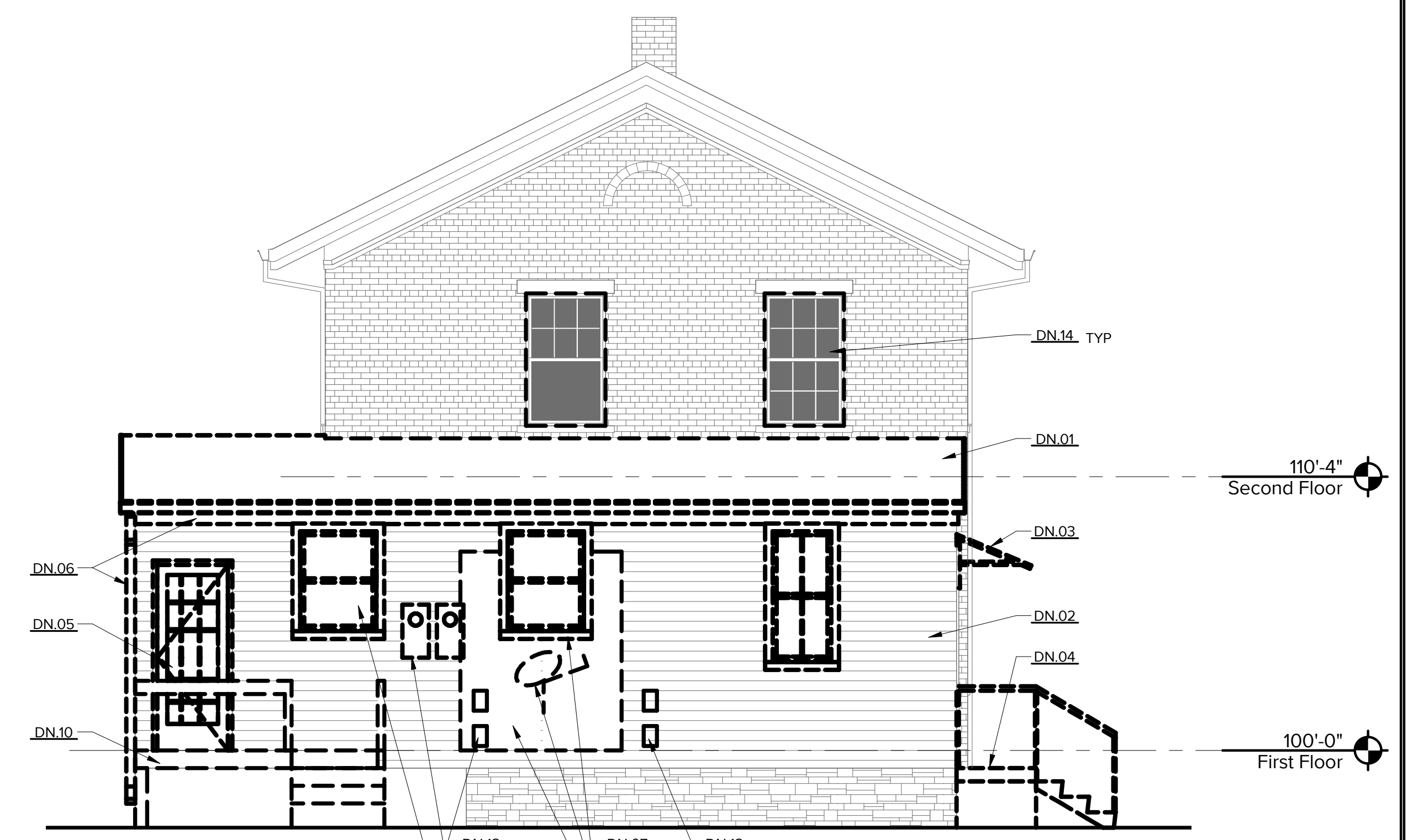
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SHEET TITLE
Demolition Exterior Elevations

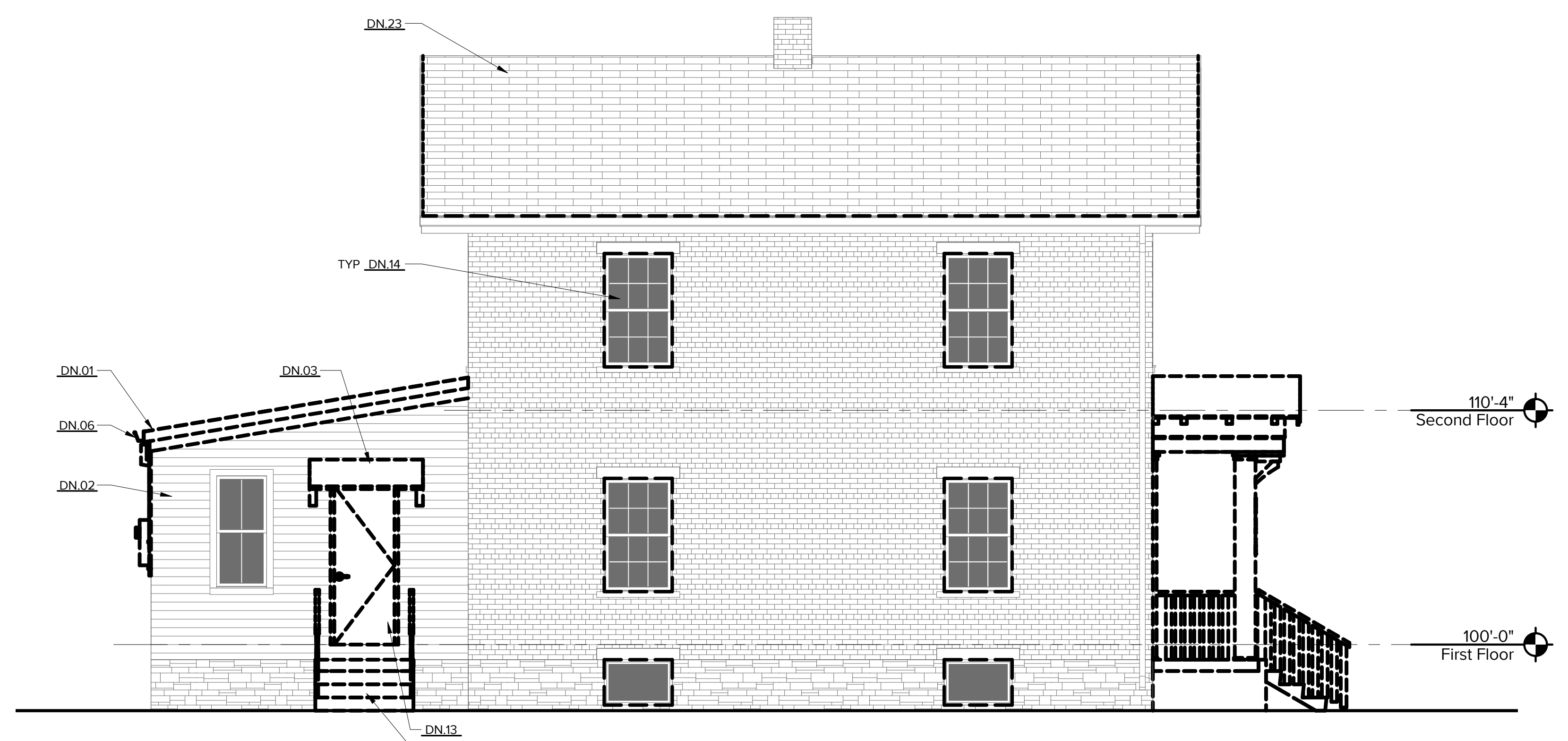
945 Kentucky
SHEET NUMBER
D-401



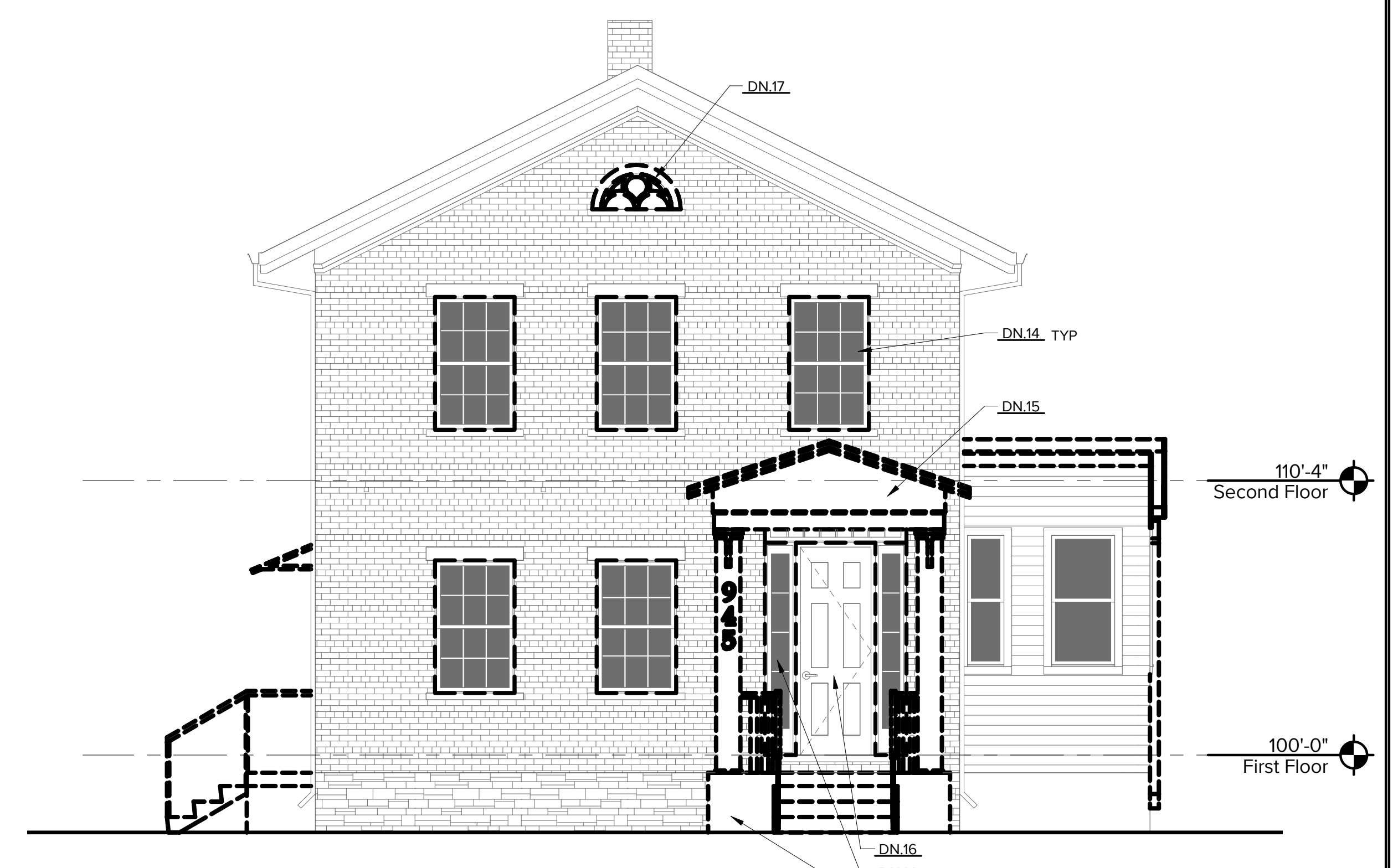
4 Demolition Elevation - North
SCALE: 1/4" = 1'-0"



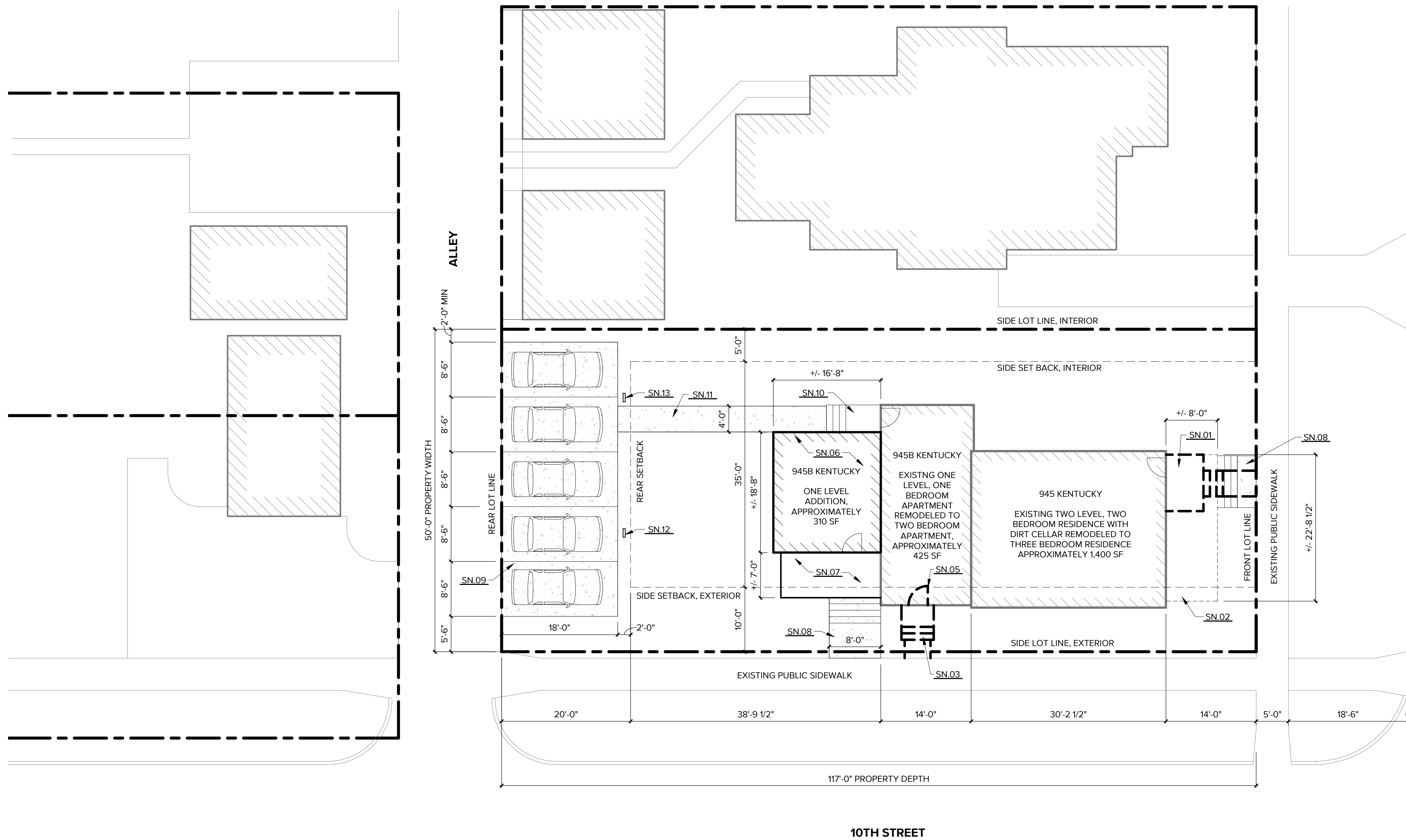
3 Demolition Elevation - West
SCALE: 1/4" = 1'-0"



2 Demolition Elevation - South
SCALE: 1/4" = 1'-0"



1 Demolition Elevation - East
SCALE: 1/4" = 1'-0"



1 Architectural Site Plan
SCALE: 1" = 10'-0"

Site Plan Keynotes

SN.01	EXISTING COVERED FRONT PORTICO AND CONCRETE STOOP TO BE DEMOLISHED. EXISTING ENTRY POINT TO REMAIN
SN.02	NEW COVERED FRONT PORCH REBUILT TO APPARENT SIZE OF PREVIOUS PORCH PER HISTORICAL DOCUMENTS.
SN.03	EXISTING CONCRETE STOOP, STAIRS, SIDEWALK AND WOOD FRAMED SHED ROOF AWNING TO BE DEMOLISHED.
SN.05	EXISTING FRONT DOOR TO BE DEMOLISHED. INFILL WITH NEW WINDOW SIMILAR IN STYLE TO ADJACENT WINDOW
SN.06	NEW BEDROOM AND LIVING ROOM ADDITION TO SERVE 945B KENTUCKY
SN.07	NEW SHED ROOF STYLE COVERED FRONT PORCH
SN.08	NEW CONCRETE STAIRS AND WALK TO PUBLIC SIDEWALK
SN.09	UPDATED/EXPANDED PARKING FIELD WITH NEW PERMEABLE PARKING SURFACE AND PAINTED OR ALTERNATE SURFACE STALL DEMARCATION
SN.10	EXISTING REAR DECK AND STAIRS TO BE REMOVED TO ACCOMMODATE NEW ADDITION. NEW WOOD STOOP AND STAIRS TO PROVIDE ACCESS TO EXISTING REAR DOOR
SN.11	NEW PERMEABLE WALK SURFACE TO ALLEY PARKING FIELD
SN.12	PRIVATE PARKING SIGNAGE FOR 945 KENTUCKY
SN.13	PRIVATE PARKING SIGNAGE FOR 945B KENTUCKY

General Site Notes

- FIELD VERIFY UTILITY LOCATIONS BEFORE COMMENCEMENT OF WORK DESCRIBED HEREIN.
- UPON FINISH GRADING, REMOVE EXCESS TOPSOIL AND EXCAVATED SUBGRADE MATERIAL FROM SITE
- FINISH GRADE WITH 6" MINIMUM OF SUITABLE, CLEAN TOPSOIL. SEED ALL AREAS DISTURBED BY PROJECT WITH 10 LBS OF K-31 FESCUE PER 1000 SF - INSTRUCT OWNER TO WATER LIGHTLY FOR 15 MINUTES DAILY FOR 5 CONSECUTIVE DAYS.
- CROSS SLOPE OF ALL WALKS TO BE 1:50 MAX. GRADE AT PARKING TO BE 1:20 MAX.
- PROVIDE TROWELED JOINTS AT ALL CONC WALKS 5'-0" MAX UNLESS NOTED OR DIMENSIONED OTHERWISE
- SHOULD A GEOLOGIST DETERMINE THAT ADDITIONAL MATERIAL MUST BE REMOVED AND NEW MATERIAL IN EXCESS OF THAT SPECIFIED BE BROUGHT IN, PROVIDE A UNIT COST FIGURE PER CUBIC YARD OF MATERIAL REMOVED AND BROUGHT IN.
- ALL APPROACHES, WALKS, DRIVES AND OTHER PAVED SURFACES INSTALLED IN PUBLIC RIGHT-OF-WAYS TO BE IN COMPLIANCE WITH THE STANDARDS OF CITY OF LAWRENCE.
- NO GEOTECHNICAL REPORT HAS BEEN PROVIDED TO THE ARCHITECT. CONTACT THE ARCHITECT IF CONDITIONS APPEAR TO BE OTHER THAN INDICATED.
- PLAN AND SITE DIMENSIONS APPROXIMATED FROM DOUGLAS COUNTY GIS MAPPING. OWNER AND GC TO VERIFY ALL SITE DIMENSIONS PRIOR TO CONSTRUCTION.



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PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

AK Allen House Restoration

Lawrence, KS

945 Kentucky Street

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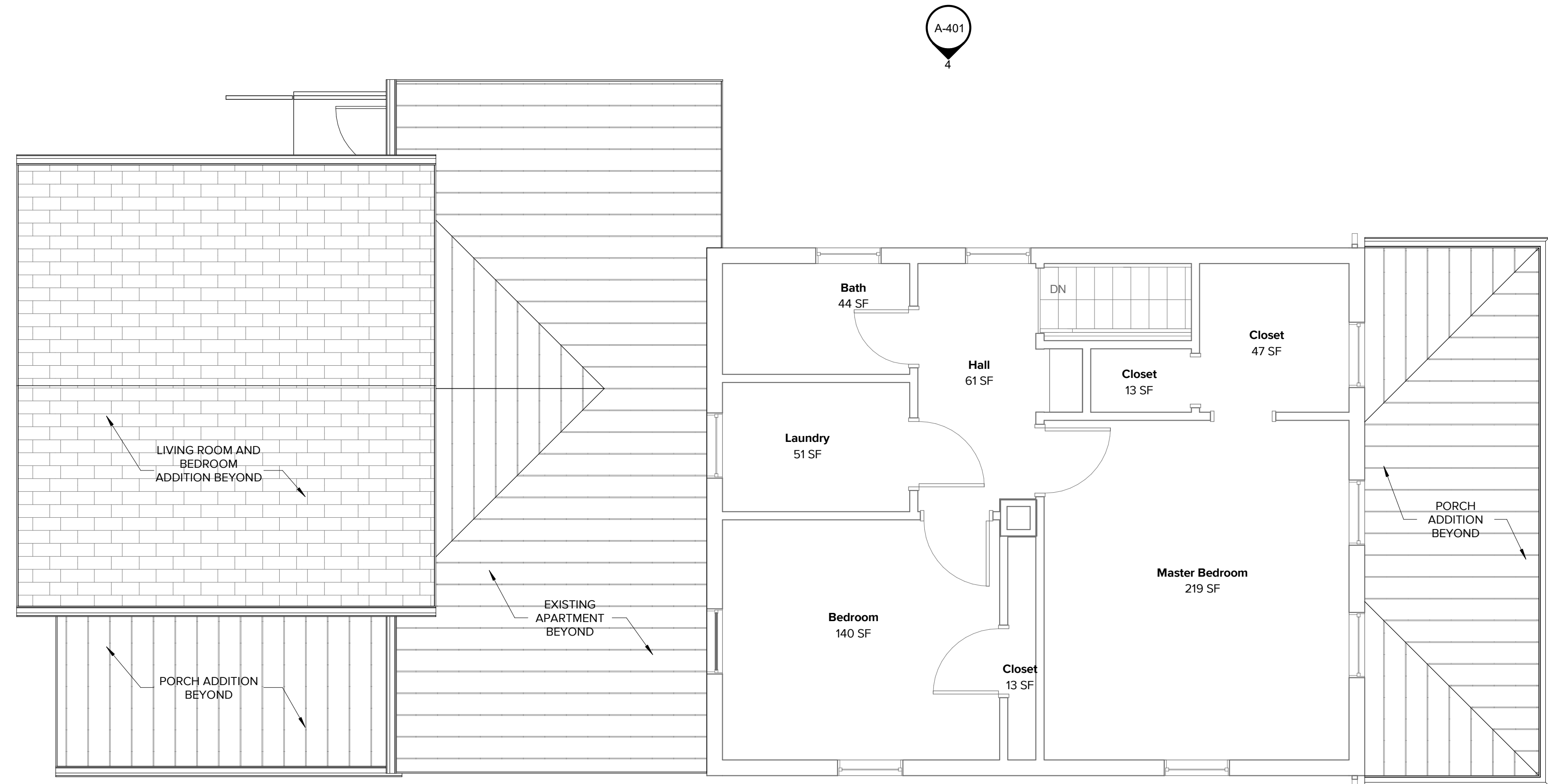
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SHEET TITLE
Architectural Site Plan

945 Kentucky
SHEET NUMBER

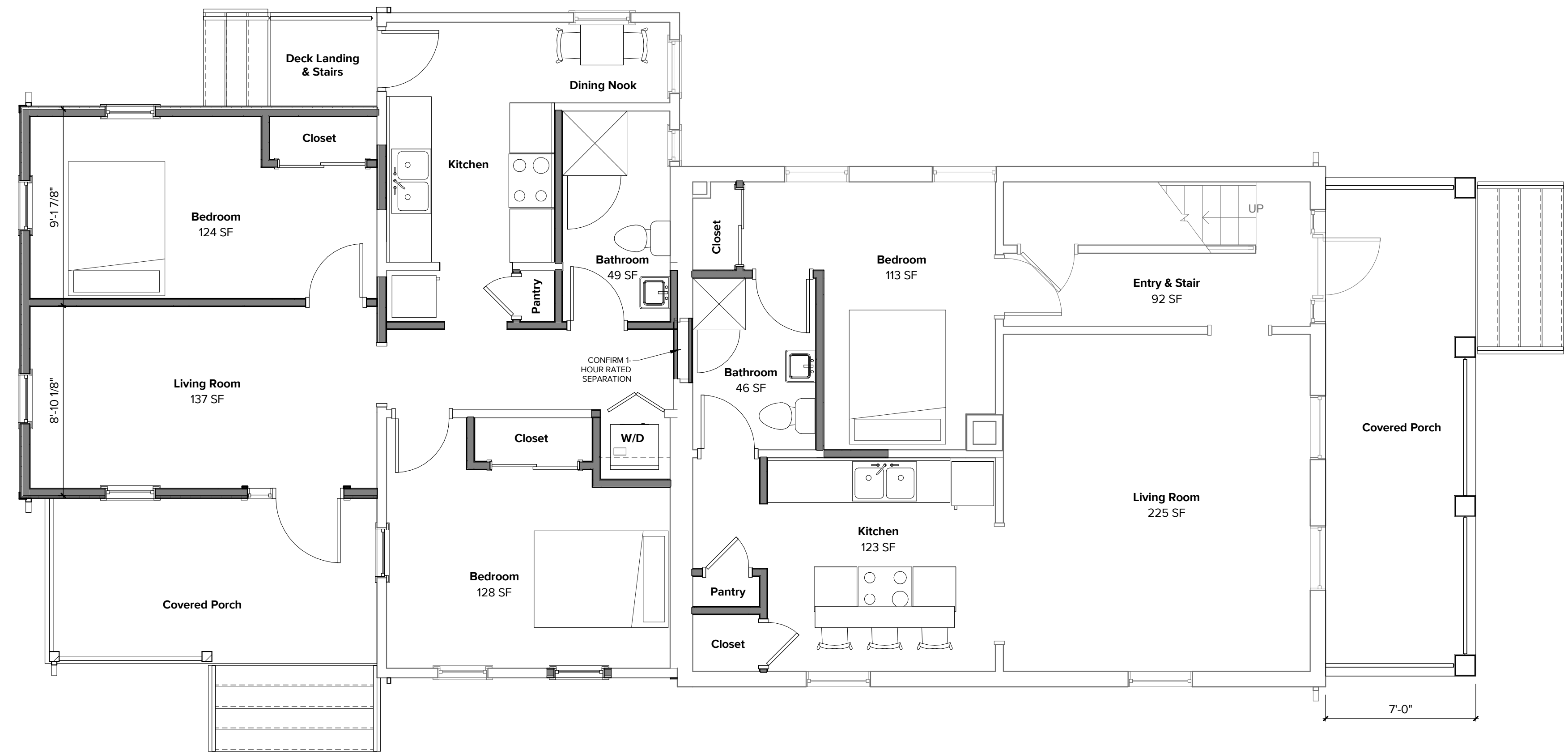
A-001

A-401 3



2 Second Floor - New
SCALE: 1/4" = 1'-0"

A-401 3



1 First Floor Plan - New
SCALE: 1/4" = 1'-0"

General Floor Plan Notes

1. ALL DIMENSIONS ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
2. NEW INTERIOR WALL TO BE 1/2" TYPE 'X' GYP. BD. ON 2x4 STUDS 16" O.C.
3. FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK OR ORDERING DIMENSIONALLY SENSITIVE MATERIALS.
4. WHERE DIMENSIONS ARE NOT EXPLICITLY CALLED OUT CONTACT THE ARCHITECT FOR CLARIFICATION.
5. ALL MATERIALS, FIXTURES, FINISHES, AND COLORS TO BE SELECTED BY OWNER AND ARCHITECT. WHERE COLOR FINISHES OR TEXTURES ARE NOT EXPLICITLY CLARIFIED, ARCHITECT AND OWNER MAY SELECT FROM CONTRACTOR SUPPLIED SAMPLES OF SPECIFIED PRODUCT.
6. ALL CONTRACTORS ARE REQUIRED TO VISIT THE LOCATION OF THE WORK AND BECOME FULLY ACQUAINTED WITH THE SCOPE, REQUIREMENTS, PARAMETERS, AND CONDITIONS OF THE WORK AND UNDER WHICH IT MUST BE EXECUTED SUCH THAT THERE ARE NO QUESTIONS IN THEIR MIND AS TO THE FULL EXTENT OF THEIR RESPONSIBILITIES.
7. ALL INTERIOR DOORS TO BE LOCATED 4 1/2" FROM ADJACENT WALL FRAMING UNLESS NOTED OTHERWISE.
8. MAINTAIN 18" MIN CLEAR DIMENSION FROM DOOR FRAME NEAREST HARDWARE TO ADJACENT WALL ON HINGE SIDE OF DOOR.
9. MAINTAIN 12" MIN CLEAR DIMENSION FROM DOOR FRAME NEAREST HARDWARE TO ADJACENT WALL WHERE DOOR HAS BOTH A LATCH & CLOSER.



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PROGRESS DOCUMENTS
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AK Allen House Restoration

Lawrence, KS

945 Kentucky Street

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SHEET TITLE
Floor Plan

945 Kentucky
SHEET NUMBER

A-101

Exterior Materials Keynotes

ARS-01	ARCHITECTURAL ROOF SHINGLE MANUFACTURER: GAF OR APPROVED EQUAL MODEL: TIMBERLINE OR APPROVED EQUAL COLOR/FINISH: CHARCOAL GREY BY ARCHITECT
BR-01	RESTORED BRICK FAÇADE, TYP. TEST BRICK IN INCONSPICUOUS LOCATION FOR REMOVAL OF PAINT
COL-01	TREATED WOOD COLUMN WITH PAINTED WOOD TRIM, REF DETAILS COLOR/FINISH: WHITE/TBD
ED-01	RAISED PANEL INSULATED WOOD OR FIBERGLASS ENTRY DOOR, SMOOTH FINISH WITH SINGLE SIDELITE COLOR: TBD FINISH: SEMI-GLOSS

Exterior Materials Keynotes

ED-02	FULL LITE INSULATED WOOD OR FIBERGLASS PATIO SWING DOOR COLOR: TBD
ED-03	FULL LITE EXTERIOR STORM DOOR COLOR: TBD
EL-01	SHIELDED WALL MOUNT LED FIXTURE MANUFACTURER: TBD MODEL: TBD
EP-01	REPAINTED EXISTING EXTERIOR WOOD SURFACE - WINDOW SILLS AND LINTELS, TRIM BOARDS AND FASCIAS, CORNICES, ETC. COLOR: WHITE/TBD FINISH: SEMI-GLOSS

Exterior Materials Keynotes

GR-01	SITE CONSTRUCTED PAINTED WOOD HANDRAIL/GUARDRAIL, REF DETAILS COLOR/FINISH: WHITE/TBD FINISH: SEMI-GLOSS
GU-01	PREFINISHED METAL GUTTER AND DOWNSPOUT COLOR: WHITE
LS-01	SMOOTH FACE LAPPED SIDING W/ 4-1/2" REVEAL (NO WOOD GRAIN TEXTURE). PRIME ALL SIDES OF BOARD BEFORE INSTALLATION, REF: MANUFACTURER DETAILS MANUFACTURER: LOUISIANA PACIFIC, LP SMART SIDE COLOR: TBD FINISH: SEMI-GLOSS

Exterior Materials Keynotes

MP-01	STANDING SEAM ROOF PANEL, 12" WIDE PAN MANUFACTURER: BERRIDGE OR APPROVED EQUAL COLOR/FINISH: CHARCOAL GREY
RV-01	PREFINISHED ROOF VENT
STN-01	THIN LIMESTONE STONE VENEER
STR-01	WOOD STAIR AND STRINGER
TB-01	PAINTED WOOD TRIM OR FINISH BOARD, TYPICAL, REF DETAILS COLOR: WHITE/TBD FINISH: SEMI-GLOSS
WW-01	PREMANUFACTURED WOOD OR METAL CLAD WOOD WINDOW UNIT WITH MUNTINS. MUNTINS TO BE PRONOUNCED ON BOTH INTERIOR AND EXTERIOR FACES OF GLAZING.

General Exterior Elevation Notes

- REF DEMOLITION ELEVATIONS FOR ADDITIONAL RESTORATIVE WORK.

Exterior Elevation Keynotes

EN.05	SECOND ALTERNATE UTILITY RELOCATION
EN.04	FIRST ALTERNATE UTILITY RELOCATION
EN.03	PRIMARY UTILITY RELOCATION



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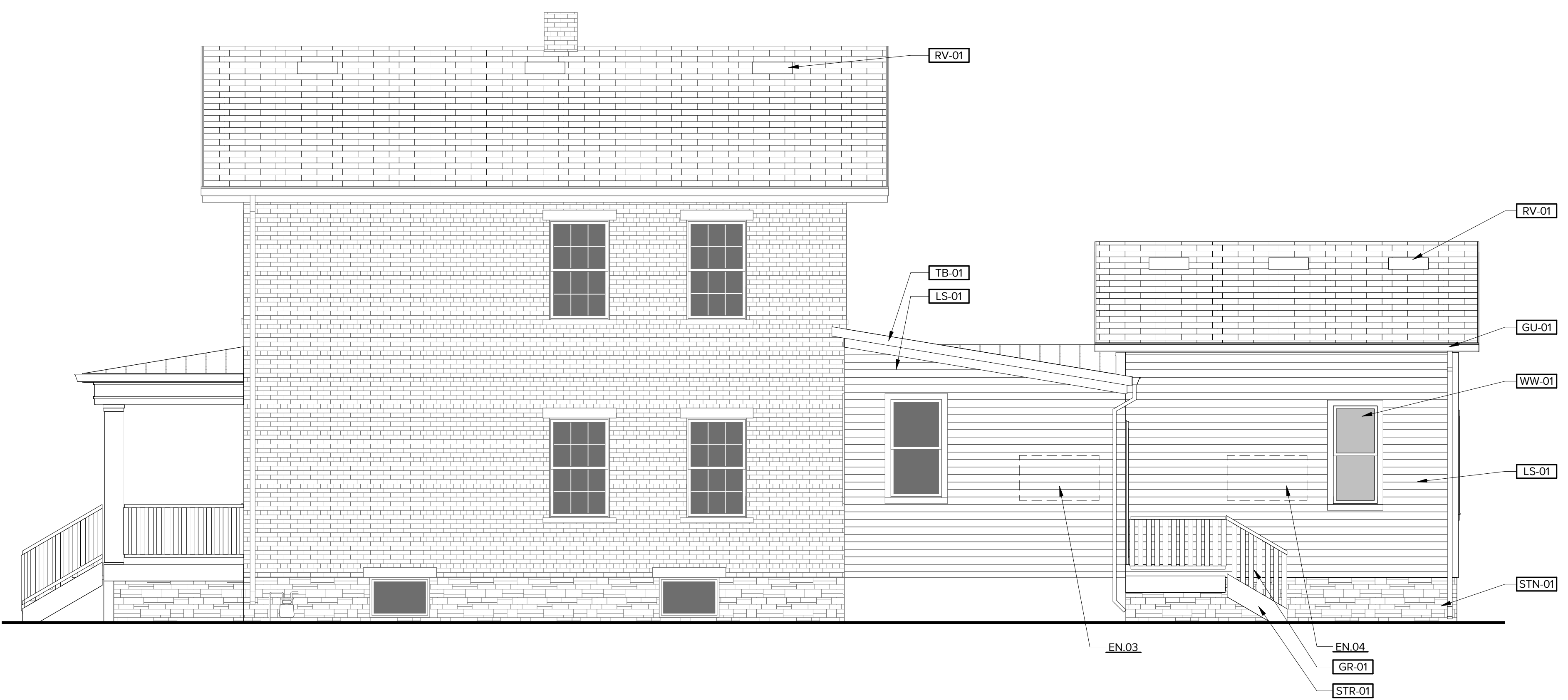
PROGRESS DOCUMENTS
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Lawrence, KS
945 Kentucky Street

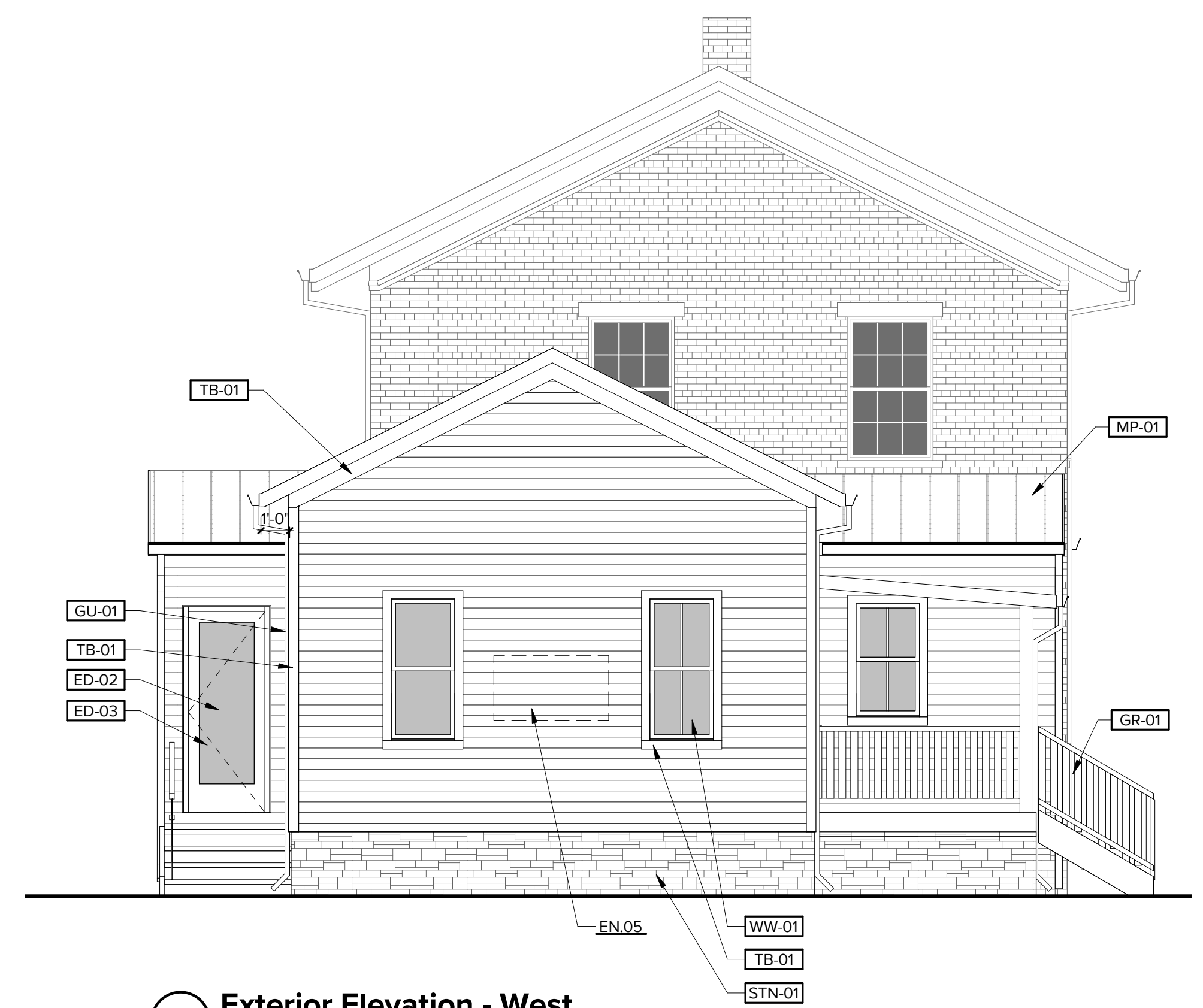
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SHEET TITLE
Exterior Elevations

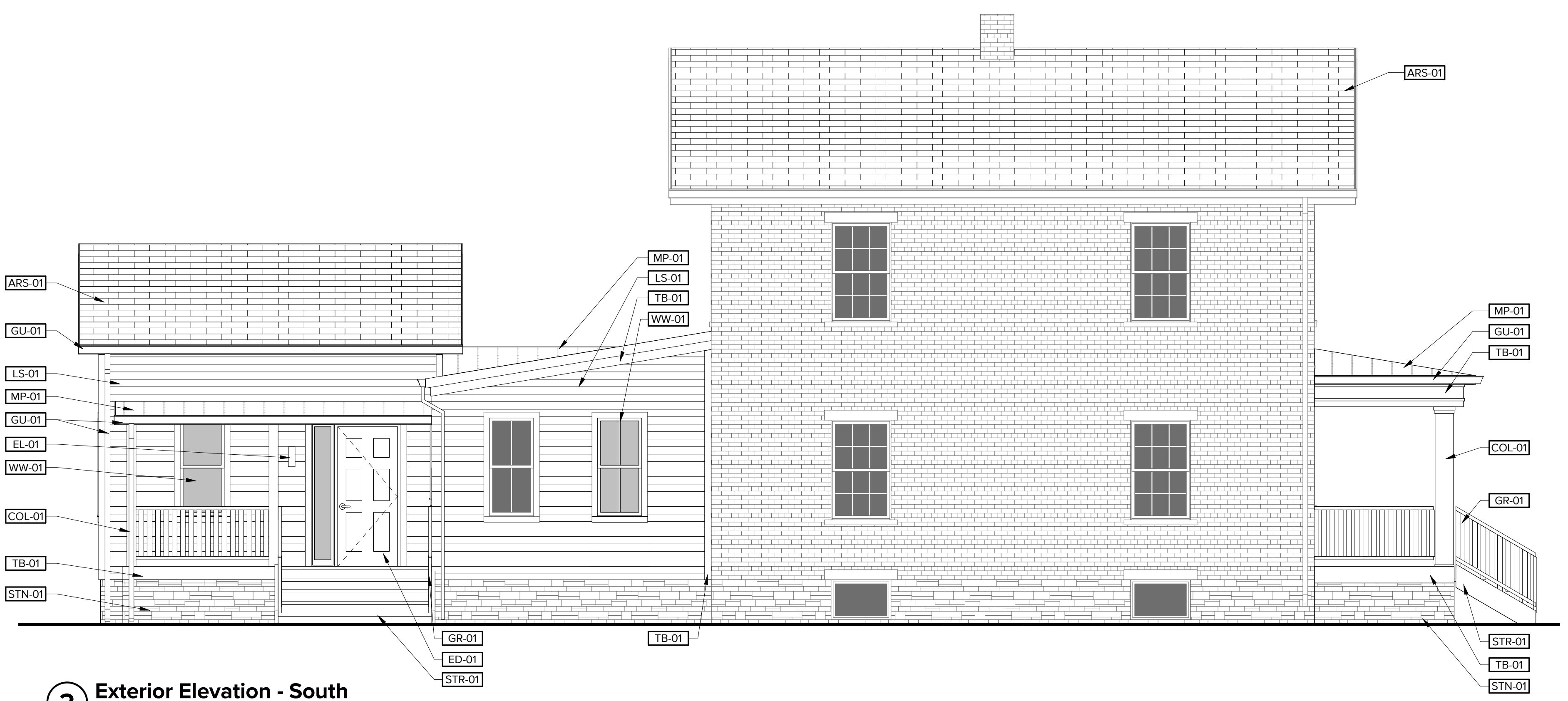
945 Kentucky
SHEET NUMBER
A-401



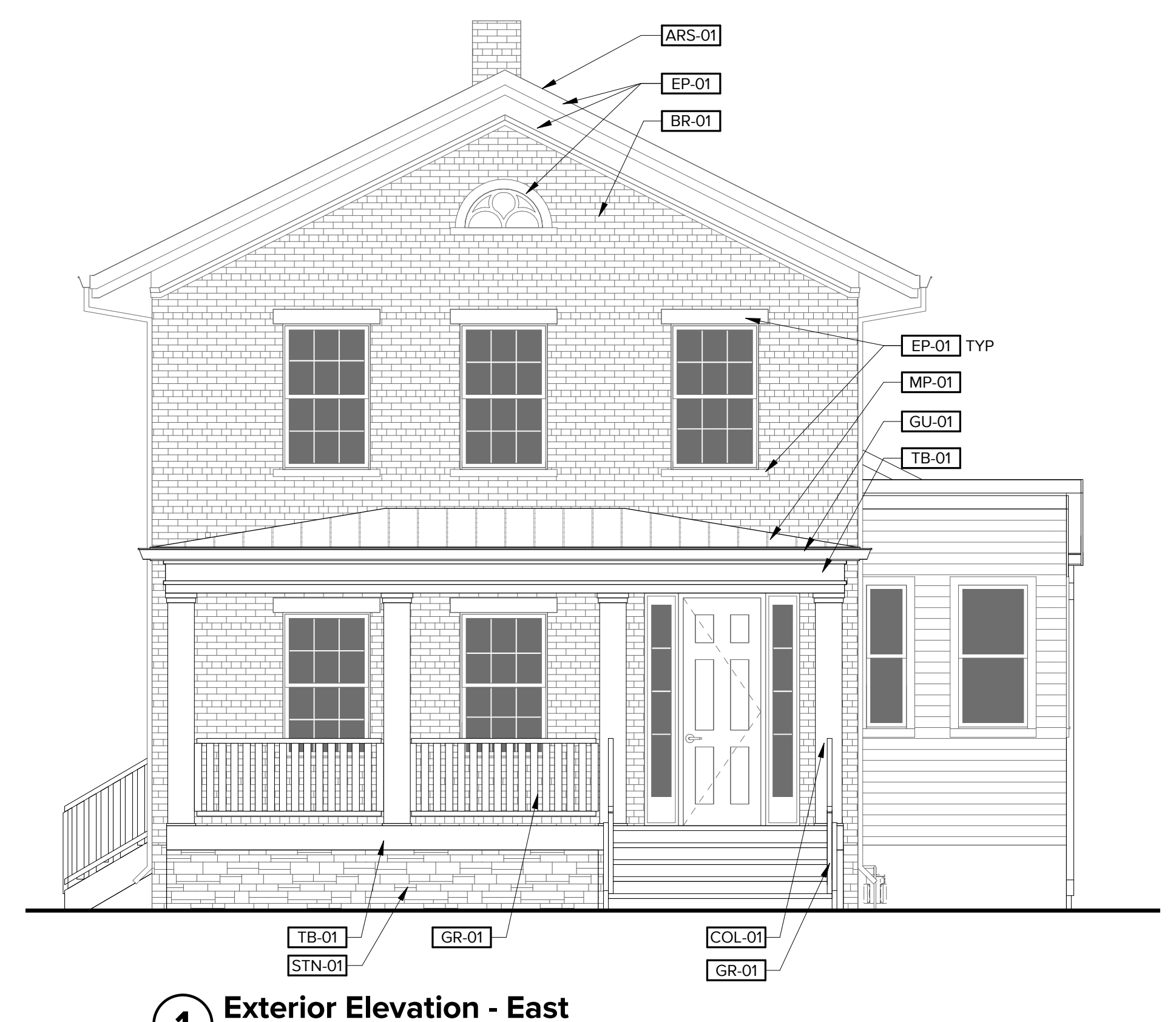
4 Exterior Elevation - North
SCALE: 1/4" = 1'-0"



3 Exterior Elevation - West
SCALE: 1/4" = 1'-0"



2 Exterior Elevation - South
SCALE: 1/4" = 1'-0"



1 Exterior Elevation - East
SCALE: 1/4" = 1'-0"

945 Kentucky Street, A. K. Allen House

Description of Proposed Project

The proposed project is a certified rehabilitation of the Asaph King Allen House, a contributing property in the National Register Oread Historic District. The main two-story brick block was constructed in 1862 with a one-story wood-frame addition to the southwest constructed before 1887. The historic rear addition was enlarged to the northwest before 1927. The existing front entrance portico was constructed before 1949. It replaced a full-width front porch that was recorded in the 1912 and 1927 Sanborn maps. A "ghost" outline of the full-width front porch remains visible in the front façade.

Exterior Work Items—Main Block

Re-roof with new composition shingles and install new guttering.

Re-point voids and eroded joints with approved mortar mix. Mortar composition, color, joint tooling to be determined by evaluation of test panel.

Repair existing wooden window frames as feasible with like material and approved wood epoxy product. Caulk around existing window frames.

Repair, reconstruct, and re-finish existing 6/6 double-hung windows as feasible. Build 1-2 replacement sash as required. Replacement sash will replicate existing historic 6/6 pattern. Repair existing ornamental gable vent window E. Construct and install exterior wooden storm windows.

Remove existing deteriorated front wood-frame portico; replace with full-length front porch in appropriate design.

Interior Work Items—Main Block

Services: removal of existing and installation of new services will not significantly alter the historic interior plan and character-defining spaces. The main alteration will be to enlarge the existing ½ bathroom on the first floor and to re-design the existing kitchen and install new kitchen cabinets.

Remove existing and install new plumbing system.

Remove existing and install new wiring system.

Remove and install new HVAC system.

Exterior Work Items—Rear Addition

The exterior siding and windows in the rear wood-frame addition are in poor condition. In the rehabilitation project, a living room-bedroom addition will be constructed to enlarge the existing one-bedroom apartment. New addition is approximately 16 X 18 feet. (See site plan, elevation drawings, and floor plan for more detailed information.

Construct new entrance porch to serve the rear apartment.

Re-point existing stone foundation (SW) with approved mortar mix.

Interior Work Items—Rear Addition

Generally, the interior of the addition has relatively low architectural integrity since it was partitioned from the brick block and remodeled (c. 1960?) for a separate efficiency apartment. The main interior change in the rehabilitation will be to re-design the existing bathroom and the existing kitchen.

Remove existing and install new plumbing system.

Remove existing and install new wiring system.

Remove and install new HVAC system.

Dale Nimz
P. O. Box 1046
Lawrence, KS 66044
August 23, 2018

Lynne Zollner
Planning & Development Services-City of Lawrence
6 East 6th Street—P.O. Box 708
Lawrence, KS 66044

RE: 945 Kentucky (Residential Rehabilitation Project); Design Review #: DR-18-00396

Dear Ms. Zollner:

Thank you for returning comments on the above referenced historic rehabilitation project. As requested, the additional information follows.

1) As mentioned in the first paragraph of the project description, the existing entrance portico replaced a full-width wood-frame front porch that was recorded in the 1912 and 1927 Sanborn maps. A “ghost” outline of that porch remains and provides evidence of the dimensions and hipped roof. We have not found any historic photographs of that porch. The existing portico is deteriorated and—as pointed out—the large square posts appear out of scale. Posts on the replacement porch will be more appropriate. The replacement also will conform to the Oread Neighborhood Design Guideline (p. 41) that a typical porch in the neighborhood is one-story and usually applied across the front façade with a hipped roof.

2) Currently, the rear addition has deteriorated composition shingle roofing that appears to be 10-15 years old. It is nearing the end of its useful life and will be replaced in the rehabilitation. There is no apparent evidence of earlier metal roofing. Roofing on the c. 1887 addition probably was replaced when the c. 1927 addition was constructed and replaced again several times since then. There are examples of historic standing seam metal roofs in the Oread and Old West Lawrence neighborhoods. Typically, those were used on bay windows, porches, and additions with low-pitched roofs where sawn wooden shingles would not be durable over time. The low-pitch of the existing shed roof on the two sections of the historic addition creates a similar problem and so metal roofing was chosen as the best investment over the life cycle of this rehabilitation. Selection of the roofing will conform to the specification in Section C4-d, p. 65, Design Guidelines. “Standing seam roofs with a double munch or double lock seam, no more than 1.5 inches high and no more than 18 inch wide pans.

Sincerely,

Dale E. Nimz, Agent
For Michael Heitmann, Property Owner

Lawrence Historic Resources Commission	Item No. 6
1215 Delaware Street	DR-18-00397
Addition, Demolition of Accessory Structure, Construction of Accessory Structure	September 20, 2018

<p>Applicant Christopher Fein, Forward Design/Architecture for Christian and Katherine Beer, property owners of record.</p> <p>Standards for Review Chapter 22</p> <ul style="list-style-type: none"> Standard 9 <p>Environs of 1208 Delaware Street</p> <ul style="list-style-type: none"> Area 1 <p>Associated Cases Building Permit at time of construction</p>	<p>Request The applicant is requesting to construct a one story, approximately 500 sf. addition to the primary structure located at 1215 Delaware Street. The addition will be located on the north elevation of the structure and will extend approximately 25 feet north of the north wall plain. The applicant is also requesting to demolish the existing accessory structure located on the northwest corner of the property and construct a new 28 feet X 24 feet, 672 square foot accessory structure in the same general location.</p> <p>Reason for Request The property is located in the environs of the John and Mina Madson House (1208 Delaware Street), Lawrence Register of Historic Places.</p> <p>Staff Recommendation <u>Certificate of Appropriateness</u> Staff recommends the applicant work with the Architectural Review Committee to explore roof forms that are more compatible with primary structure's primary elevations in the environs of the listed property. Staff also recommends lap siding as the exterior material on the accessory structure.</p>
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Project Description

The applicant proposes to construct a new approximately 500 square foot addition to the existing structure located at 1215 Delaware Street. The proposed new addition will be set back 24.45 feet from the primary wall plane of the structure, extend approximately 25 feet north of the north wall plane, and will be 19 feet wide from east to west. The new addition will also move the west wall approximately 3 feet to the west. The larger section of the addition on the north elevation will be used for a master suite and access stairs to a new basement. The extension of the space created by moving the west wall will create additional space for the total rehabilitation of the interior spaces of the structure. The east face of the existing rear addition on the south elevation will be redesigned to create the appearance that the proposed new addition wraps around the existing structure.

The new addition will be clad with fiber cement board lap siding and the roof will be fluid applied membrane. Awning windows will be aluminum clad wood windows. Sliding doors are proposed for the east and west elevations. No fenestration is proposed for the north elevation. A mixture of sizes of awning type windows are located on the south and west elevations.

The project also includes the demolition of the existing accessory structure and the new construction of a replacement accessory structure. The existing structure is located on the northwest corner of the property and is an approximately 621 square feet, 27 feet X 23 feet, two car garage with a low pitched gabled roof covered with asphalt shingles. It is wood framed with wood siding. The Douglas County Appraiser's Office lists the construction date as 1950.

The new accessory structure will be a pre-fabricated structure placed in a similar location on the northwest corner of the lot. It will be a 28 feet X 24 feet, corrugated metal clad structure with a corrugated metal gabled roof. The structure will be 14 feet in height.

Project Review

The identification of key features, including architectural elements and setting, are the beginning bases for project review of historic structures whether they are listed individually, as part of a district, or located in the environs of a listed property or district. Careful consideration of the context and the reasons for the significance of the property should be included in the overall determination of what constitutes character-defining elements. Character-defining elements include, but are not limited to, the overall shape of the buildings, roof forms, materials, decorative details, size, setbacks, and scale found in the area. Once the character-defining features have been identified, the project can be reviewed using the guidelines to determine if the proposed project meets the guidelines and if the project will damage or destroy the listed property.

The proposed addition is a 500 square foot addition that would add a master suite and a small space to the kitchen and bedroom area of the historic structure. Like the existing structure, the addition will be one story and the addition height will be less than the height of the existing structure. The proposed materials of fiber cement board lap siding and aluminum clad wood windows are compatible with the environs of the listed property.

The proposed placement of the new addition is to the side of the primary structure. This placement will create an "L" shaped addition to the structure. Based on preservation guidelines and practice, staff typically recommends that new additions be placed to the rear of structures. Placing an addition to the rear of a structure allows for the character defining features like rhythm,

spatial relationships, setbacks, and site coverage patterns of the area to be maintained. The applicant considered a rear addition, and determined that the side addition was more appropriate for the use of this property. The proposed side addition would allow for the new spaces to accommodate the new uses minimizing the size of the addition. It will also preserve a large tree in the rear yard allowing for the pattern of rear yard space to be maintained.

Evaluating the patterns of the environs indicates that there are several structures in the environs that have "L" shaped forms. It appears that most of these structures were constructed in this configuration. However, historically it was not uncommon to add additions recessed from the front of the house and to the side of the house creating an "L" shaped form additional space was needed. The proposed "L" shaped addition will be recessed 25 feet from the front wall plane not including the front porch. This distance will minimize the size and mass of the addition. The proposed placement, size, and mass of the addition are compatible for the environs of the listed property.

The applicant proposes to change the appearance of the existing projection on the south elevation by adding modern detailing. The projection appears to be part of the rear addition. The date of the rear addition has not been documented by staff. The style of the existing projection is simple matching the simplicity of the house and the vernacular forms in the environs. While this is a very minor detail, changing the appearance of the projection on the south elevation will give the illusion of the new addition wrapping around the existing structure. This illusion would visually double the size of the addition. This alteration will change the compatibility of the small 500 square foot addition to the north and west in size. By removing the proposed changes to this element, the small addition becomes compatible with the size of the existing structure.



The proposed flat roof form of the addition is a challenge for this project. Typically, roofs on "L" shaped additions would not have a flat roof. Flat roofs on primary elevations are not typical in the environs of this listed property. Flat roofs are typically found on rear additions to structures. There are examples in Lawrence where a small side addition, typically not a long wing addition, have a parapet with a flat roof behind. Flat roofs are also applied on small bay projections. A flat roof on an addition that is on a primary elevation is not compatible with the environs of the listed property. If the "L" shaped addition is considered a way to expand in a form that is consistent with the environs of the listed property, the form of the roof should be consistent with the "L" form. While the scale of the proposed addition would be compatible with the scale of the primary structure and with the scale of the structures in the environs, the flat roof will create a scale that appears inconsistent with the primary structure.

The proposed fenestration for the addition is irregular and atypical for the environs of the listed property. The primary/east elevation will have a sliding glass door. The sliding glass door on the primary elevation is not typical in the environs although sliding glass doors do exist in the environs. Consideration should be given to changing this door to windows to be more compatible with the environs of the listed property. No fenestration is proposed for the north elevation. The west and south elevations will have different configurations with different window types. Staff has no concerns for the use of modern window types on the west elevation. The size and location of the windows on the south elevation of the structure would replace a pair of 1/1 windows. While the new windows will be visible from the public right-of-way, if the historic appearance of the projection is maintained, the replacement windows for the new use would maintain fenestration on this wall plane and would be recessed from the front of the structure.

The applicant also proposes to demolish the existing accessory structure on the property. Demolition of structures, both primary and accessory, is often not beneficial for the environs of a listed property because it could alter the historic character defining elements of the area. The primary focus of review for the demolition of accessory structures has the potential to affect: setbacks, rhythm, spatial relationships, materials, height, massing, scale, and site coverage patterns of the area. For this reason, new compatible construction should be part of any demolition request. The applicant has provided a replacement plan for this proposed demolition.

Unlike many areas of review, demolition of existing accessory structures in the environs of the Madson House can be approved administratively. The review of the request is to maintain character-defining structures that will impact the listed property and to maintain the patterns identified above. The existing accessory structure is not a character-defining structure, but is a character-defining element in the environs. The demolition of the structure, if replaced with a compatible new structure, will not damage the environs of the listed property. A compatible new structure for this property would be a similar structure in size, scale, massing, materials, and setbacks. The overall size and height of the accessory structure should be less than the size and height of the primary structure to clearly identify the accessory structure as subordinate to the primary structure. This would maintain the patterns of the environs of the listed property.

The proposed new structure will be placed in the northwest corner of the property. The proposed size, which would be one of the larger accessory structures in the environs, and the proposed location of the accessory structure would be compatible with the environs of the listed property. The proposed form and roof form of the structure would be compatible with the environs of the listed property. The height of the primary structure will be approximately 17 foot, 9 inches. The new accessory structure would be 14 feet in height. The height will appear tall compared to the

primary structure and to other accessory structures in the environs. It will be, however, consistent with new accessory structure heights in the neighborhood and a height that did historically exist in the overall context area of the listed property. The proposed height of the accessory structure will also dominate the flat roof of the proposed addition.

Staff has concerns about the materials for the proposed accessory structure. There are no structures of this size in the environs of the listed property with metal siding and a metal roof. Historically, structures of this size in Lawrence would have typically been wood siding. Metal siding was primarily used for smaller utilitarian structures like sheds and sometimes as shed extensions on larger wooden structures. Structures of this size in residential areas typically did not have metal roofs in Lawrence. The choice of materials for the proposed structure will accentuate the size, height, scale, and massing of the structure. Lap siding would make the structure more compatible with the environs of the listed property. A corrugated metal sided building is not compatible for the environs of the listed property.

Certificate of Appropriateness

Environs review for a Certificate of Appropriateness begins with a presumption that a Certificate of Appropriateness will be approved unless the proposed construction or demolition would significantly encroach on, damage, or destroy the landmark or historic district. Interior alterations are not included in this review. The review focuses on the environment of the listed property and how the project interacts with the environment of the listed property, not how the project affects the subject property.

In addition to review by Section 22-505, the proposed alterations and new construction should be reviewed using the design criteria in Section 22-506. These design criteria help promote the standards set forth in Section 22-505. Specifically, Section 22-506(c)(2) provides review criteria for additions to existing buildings. Identified criteria for new additions includes, but is not limited to, building scale, height, orientation, site coverage, spatial separation from other buildings, façade, and window patterns, entrance and porch size and general design, materials, textures, color, architectural details, roof forms, emphasis on horizontal or vertical elements, walls, fences, landscaping, and other features deemed appropriate by the Commission.

The proposed project is located in the environs of 1208 Delaware Street, the John and Mina Madson House (c. 1884), specifically in Area 1 of the Environs Definition for the Madson House. In Area 1, maintaining the existing structures and visual appearance of the environs is the primary focus of review. There is a direct line of sight to the Madson House.

Many of the design elements for the proposed addition meet the standards and guidelines for new additions in Chapter 22. The proposed materials are appropriate and the placement of the addition will continue patterns that exist in the environs of the listed property. While the standards do not discourage contemporary design, new additions should be compatible with the environs of the listed property. Compatibility includes using forms that exist in the environs. The use of the flat roof form, other than porches, on the primary portion of a principal structure as proposed with this project, does not exist in the environs of the listed property. Roofs are a key character-defining feature of structures. Consideration should be given to an alternative roof form that exists on primary elevations of primary structures in the environs of this listed property. Modern construction is not discouraged; however, it should respect and complement the historic patterns of the area. By taking cues from the historic patterns, modern construction can be compatible with the environs.

Demolition of the existing accessory structure will not negatively impact the environs of the listed property if a compatible replacement plan is completed. A compatible replacement plan is a plan where the proposed structure meets the criteria for new construction in Chapter 22 is constructed and the patterns of the environs are maintained. Demolition of accessory structures in Area 1 of the environs of the Madson House can be administratively approved if it meets the standards and guidelines in Chapter 22.

The proposed replacement plan would maintain the patterns of the environs of the Madson House in placement, setbacks, lot coverage, and rhythm. The proposed structure will be similar in size to the structure that will be removed. However, the proposed metal material for the structure is not compatible for a structure of this size in the environs of the Madson House. The proposed height of the structure, while tall for accessory structures in the environs, would be accentuated by the metal material. The change in the metal material to a lap siding would make the structure compatible with the listed property's environs.

While the majority of the proposed project for the addition meets the intent of Chapter 22 and the environs definition for the Madson House, staff is of the opinion that the roof form should be more compatible of the historic roof forms located on primary structures on primary elevations found in the environs. Roof forms are one of the Chapter 22 criteria identified to consider for new additions. Typically flat roof forms are not located on side additions to primary structures. Staff recommends the applicant work with the Architectural Review Committee to explore roof forms that would be more compatible with the historic roof forms for side additions to historic structures in the environs of the listed property.

Staff also recommends fiber cement board or wood lap siding for the accessory structure.

STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

(A) An application for a certificate of appropriateness shall be evaluated on a sliding scale, depending upon the designation of the building, structure, site or object in question. The certificate shall be evaluated on the following criteria:

- 1. Most careful scrutiny and consideration shall be given to applications for designated landmarks;*
- 2. Slightly less scrutiny shall be applied to properties designated as key contributory within an historic district;*
- 3. Properties designated contributory or non-contributory within an historic district shall receive a decreasing scale of evaluation upon application;*
- 4. The least stringent evaluation is applied to noncontributory properties and the environs area of a landmark or historic district. There shall be a presumption that a certificate of appropriateness shall be approved in this category unless the proposed construction or demolition would significantly encroach on, damage, or destroy the landmark or historic district. If the Commission denies a certificate of appropriateness in this category, and the owner(s) appeals to the City Commission, the burden to affirm the denial shall be upon the commission, the City or other interested persons.*

(B) In considering an application for a certificate of appropriateness, the Commission shall be guided by the following general standards in addition to any design criteria in this Chapter and in the ordinance designating the landmark or historic district:

- 1. Every reasonable effort shall be made to provide a compatible use for a property that requires minimal alteration of the building, structure, site or object and its environment, or to use a property for its originally intended purpose;*
- 2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural feature should be avoided when possible;*
- 3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance shall be discouraged;*
- 4. Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected;*
- 5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure or site shall be treated with sensitivity;*
- 6. Deteriorated architectural features shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new materials should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplication of features, substantiated by historic, physical, or pictorial evidence, rather than on conceptual designs or the availability of different architectural elements from other buildings or structures;*
- 7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building material shall not be undertaken;*
- 8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, and project;*
- 9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alteration and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environs.*

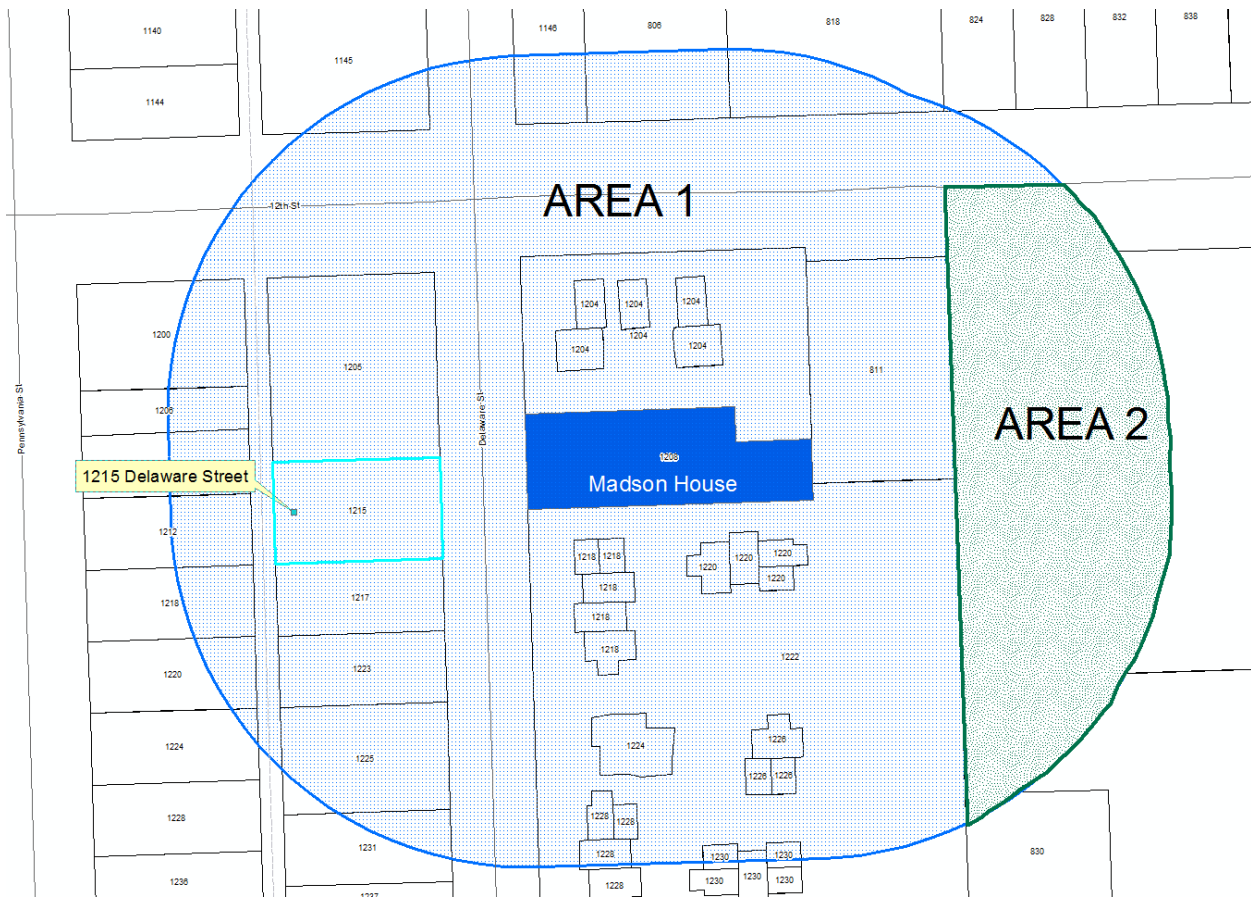
The Environs for the 1208 Delaware Street, the John & Mina Madson House, should be reviewed in the following manner. The Environs should be divided into two areas (see map below) and the following standards applied to each of the areas:

- Area 1: Maintaining the existing structures and visual appearance of the environs is the primary focus of review. Main structure demolitions would be

approved only if documentation was provided that indicated that the structure was unsound and/or a certificate of economic hardship was approved.

Minor projects (minor additions, porch remodeling, window and door changes, demolition of outbuildings, etc.) will be approved administratively by the Historic Resources Administrator. All design elements are important. The proposed alteration or construction should meet the intent of the Secretary of the Interior Standards for Rehabilitation and the Criteria set forth in 22-505.

Major projects (major additions, new infill construction, major alterations, etc.) would be reviewed by the Historic Resources Commission. All design elements are important. The proposed alteration or construction should meet the intent of the Secretary of the Interior Standards for Rehabilitation and the Criteria set forth in 22-505.





Pre-Application Meeting Required
Planner _____
Date _____
Date Received _____

6 East 6th St.
 P.O. Box 708
 Lawrence, KS 66044

www.lawrenceks.org/pds

Phone 785-832-3150
 Tdd 785-832-3205
 Fax 785-832-3160

DESIGN REVIEW APPLICATION

PROPERTY INFORMATION

Address of Property 1215 Delaware Street Lawrence, KS 66044
 Legal Description (may be attached) _____

OWNER INFORMATION

Name(s) Christian Beer
 Contact _____
 Address 1215 Delaware Street
 City Lawrence State KS ZIP 66044
 Phone (____) _____ Fax (____) _____
 E-mail cjc beer @ gmail . com Cell Phone (913) 285-0181

APPLICANT/AGENT INFORMATION

Contact Christopher Fein (Architect)
 Company Forward Design | Architecture
 Address 601 E 63rd Street Suite 235
 City Kansas City State MO ZIP 64110
 Phone (913) 489-9349 Fax (____) _____
 E-mail brad @ design - fwd . com Cell Phone (____) _____

Existing Zoning <u>RS5</u>	Existing Land Use <u>Residential</u>	Proposed Land Use <u>Residential</u>	# of Buildings <u>2</u>
Total site area <u>8,307 sqft</u>	Existing Building Footprint <u>1,039 sqft</u>	Proposed Building Footprint <u>1,567 sqft</u>	Open Space Area <u>6,740 sqft</u>
Existing Pavement Coverage <u>927 sqft</u>	Proposed Pavement Coverage <u>558 sqft</u>		
Are you also submitting any of the following applications?			
<input type="checkbox"/> Building Permit	<input type="checkbox"/> Site Plan	<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Zoning Change
<input type="checkbox"/> Variance	<input type="checkbox"/> State or Federal Tax Credit Application	Other (specify)	

Property**Address:** 1215 Delaware Street**Detailed Description of Proposed Project:
(Attach additional sheets if necessary)**

The proposed addition will add approximately 500 sq ft of additional space onto the rear of the existing home. It will involve an addition onto the existing house and a new detached garage with additional square footage. The existing detached garage will be demolished. The interior will add a master suite, additional recreational space in the garage, a basement under the addition. It will involve completely remodeling and rearranging the interior of the existing house. The rear proposal includes additional pavement for two vehicles. The site plan integrates a covered walkway connecting the addition and the garage. Fencing around the property will create defined exterior spaces within. The addition has been placed towards the rear and primarily behind a fence to maintain the historic street presence. The rear addition of the home aims to be reflective of our own time with features such as a flat roof, sliding doors, and awning windows. It will be painted a dark color in order to announce its contrast between the historic and to help the addition disappear into its surroundings. It will include the same hard lap siding as the main house to harmonize with the existing house and neighborhood. The new detached garage will include a pitched roof and match the house in construction.

**Reason for Request:
(Attach additional sheets if necessary)**

To add additional space to the residence in a way that it coherent with the neighborhood yet designed for todays needs.

Architect/Engineer/Contractor Information: Please provide name and phone number of any persons associated with the project.

Contact _____
Company A-Team Custom Construction
Address 506 E 23rd St, Lawrence, KS 66046
City Lawrence State KS ZIP 66046
Phone (785) 856-3039 Fax (____) _____
E-mail _____ Cell (____) _____

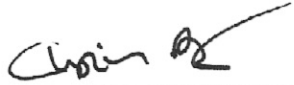
REQUIRED ATTACHMENTS:

- Photographs of existing structure and site
- Scaled or dimensioned site plan with a graphic/bar scale
- Scaled elevation drawings with a graphic/bar scale
- Scaled or dimensioned floor plans with a graphic/bar scale
- Materials list
- Digital copy of application materials

ADDITIONAL INFORMATION MAY BE REQUIRED BASED ON THE SCOPE OF THE PROJECT

SIGNATURE

I/We, the undersigned am/are the **(owner(s)), (duly authorized agent), (Circle One)** of the aforementioned property. By execution of my/our signature, I/we do hereby officially apply for design review approval as indicated above.

Signature(s):  Christian Beer (Owner) Date August 10, 2018

_____ Date _____

_____ Date _____

Note: If signing by agent submit Owner Authorization Form



6 East 6th St.
P.O. Box 708
Lawrence, KS 66044

www.lawrenceks.org/pds

Phone 785-832-3150
Tdd 785-832-3205
Fax 785-832-3160

OWNER AUTHORIZATION

I/WE _____ hereby referred to as the "Undersigned", being of lawful age, do hereby on this _____ day of _____, 20 __, make the following statements to wit:

1. I/We the Undersigned, on the date first above written, am/are the lawful owner(s) in fee simple absolute of the following described real property:

See "Exhibit A, Legal Description" attached hereto and incorporated herein by reference.

2. I/We the undersigned, have previously authorized and hereby authorize _____ (Herein referred to as "Applicant"), to act on my/our behalf for the purpose of making application with the Planning Office of Lawrence/Douglas County, Kansas, regarding _____ (common address), the subject property, or portion thereof. Such authorization includes, but is not limited to, all acts or things whatsoever necessarily required of Applicant in the application process.

3. It is understood that in the event the Undersigned is a corporation or partnership then the individual whose signature appears below for and on behalf of the corporation or partnership has in fact the authority to so bind the corporation or partnership to the terms and statements contained within this instrument.

IN WITNESS THEREOF, I, the Undersigned, have set my hand and seal below.

Owner

Owner

STATE OF KANSAS
COUNTY OF DOUGLAS

The foregoing instrument was acknowledged before me on this _____ day of _____, 20 __,

by _____.

My Commission Expires:

Notary Public

PRE SUBMISSION SET
08/07/2018

BEER RESIDENCE

DRAWING INDEX

- E100: EXISTING GROUND FLOOR PLAN
- E200: EXISTING ELEVATIONS

- A100: PROPOSED SITE PLAN | ROOF PLAN
- A101: PROPOSED BASEMENT PLAN
- A102: PROPOSED GROUND FLOOR PLAN
- A200: PROPOSED ELEVATIONS
- A201: PROPOSED ELEVATIONS
- A202: PROPOSED ELEVATIONS
- A203: PROPOSED ELEVATIONS
- A204: PROPOSED ELEVATIONS
- A500: MATERIALS LIST



BUILDING DATA:

A. GENERAL DESCRIPTION:

1. PROJECT NAME	BEER RESIDENCE REMODEL	5. LAND USE	SINGLE FAMILY
2. LOCATION	1215 DELAWARE STREET, LAWRENCE, KS 66044	6. BUILDING SQFT	1,400
3. BUILDING HEIGHT	NA	7. BEDROOM	3
4. NUMBER OF STORIES	1 STORIES	8. BATHROM	2

PREVIOUS ISSUE DATES:

- 1. ISSUED FOR PRICING - 5.14.2018
- 2. ISSUED FOR PRICING - 6.12.2018

FORWARD
DESIGN | ARCHITECTURE

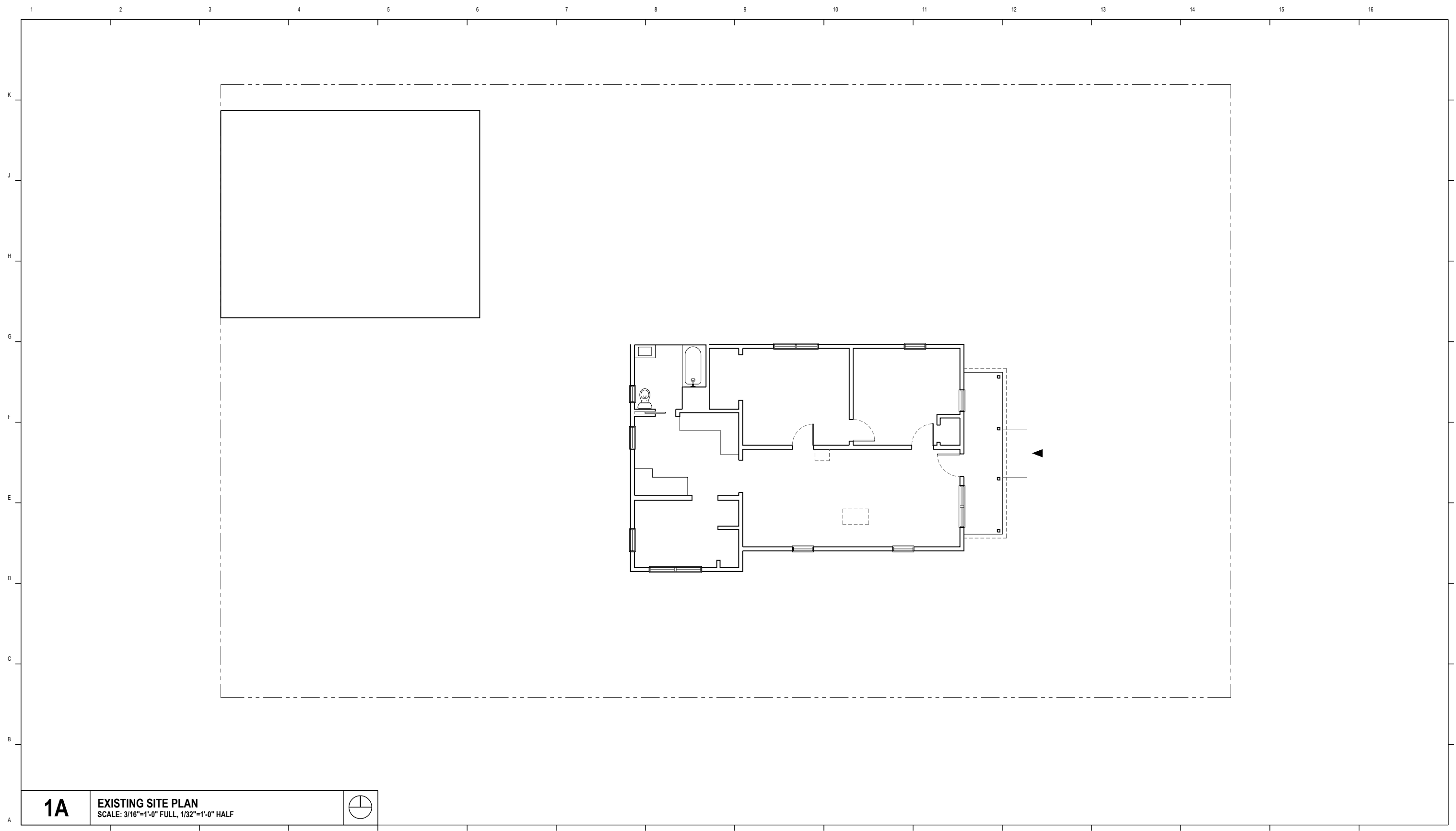
FORWARD DIA
1900 W 71ST TER
PRAIRIE VILLAGE, KS 66205
913.489.9349
DESIGN-FWD.COM

Beer Residence
1215 Delaware Street
Lawrence, Kansas 66044

JOB NO 1714

SEAL

REVIEW 00.00.00



1A

EXISTING SITE PLAN
SCALE: 3/16"=1'-0" FULL, 1/32"=1'-0" HALF



FORWARD
DESIGN | ARCHITECTURE

FORWARD DIA
1900 W 71ST TER
PRAIRIE VILLAGE, KS 66205
913.489.9349
DESIGN-FWD.COM

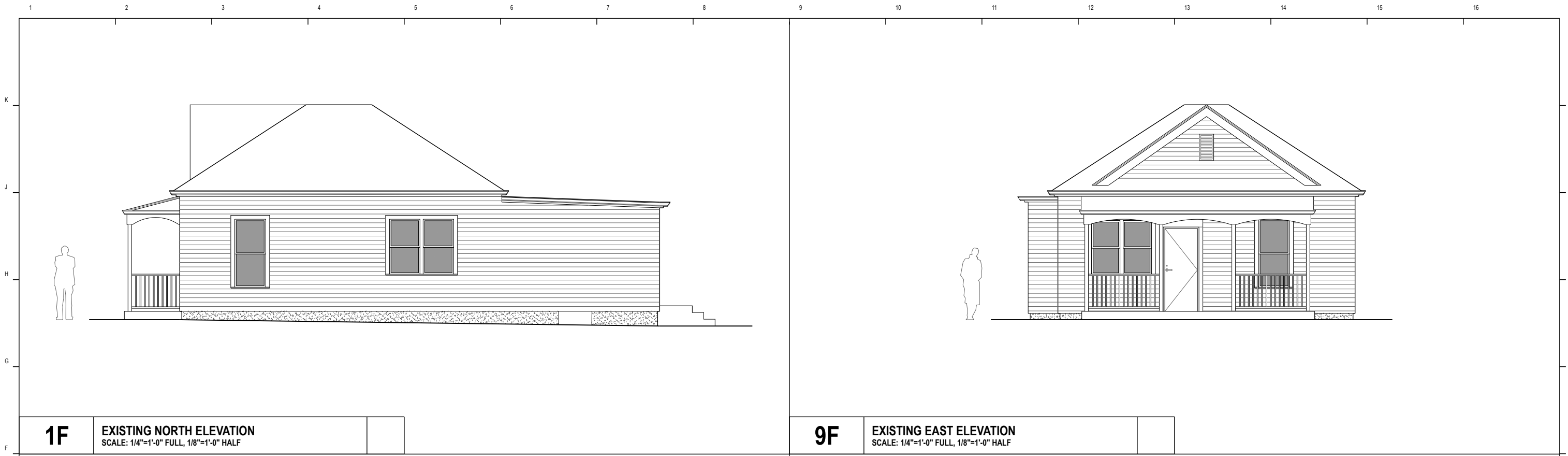
Beer Residence
1215 Delaware Street
Lawrence, Kansas 66044

JOB NO 1714

SEAL

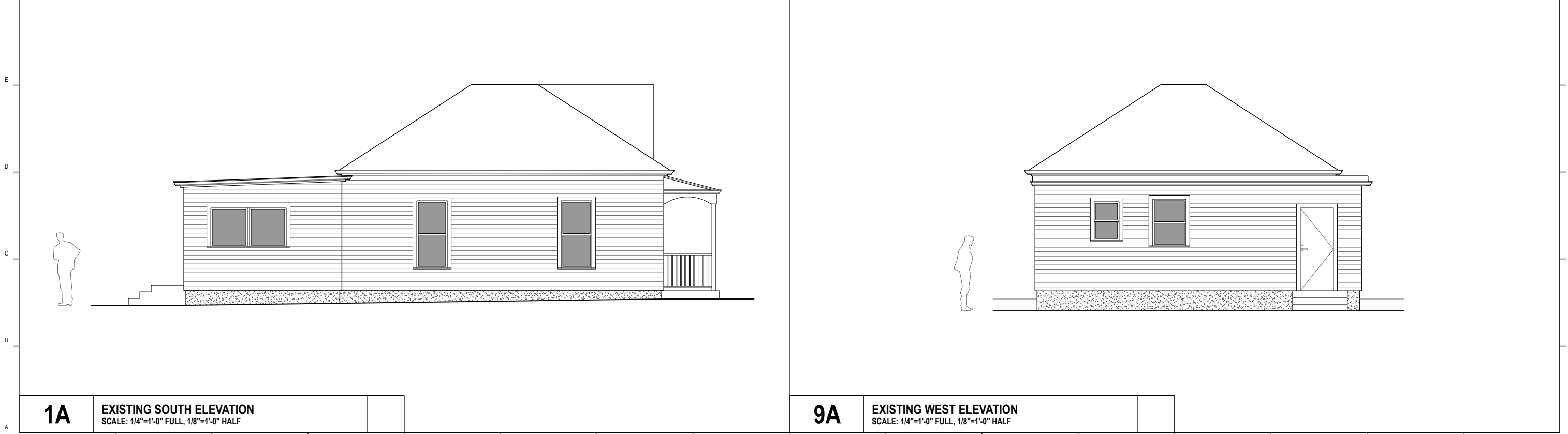
REVIEW 00.00.00	_____
_____	_____
_____	_____

EXISTING
SITE PLAN
E100



1F EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF

9F EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF



1A EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF

9A EXISTING WEST ELEVATION
SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF

FORWARD
DESIGN | ARCHITECTURE

FORWARD DIA
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PRAIRIE VILLAGE, KS 66205
913.489.9349
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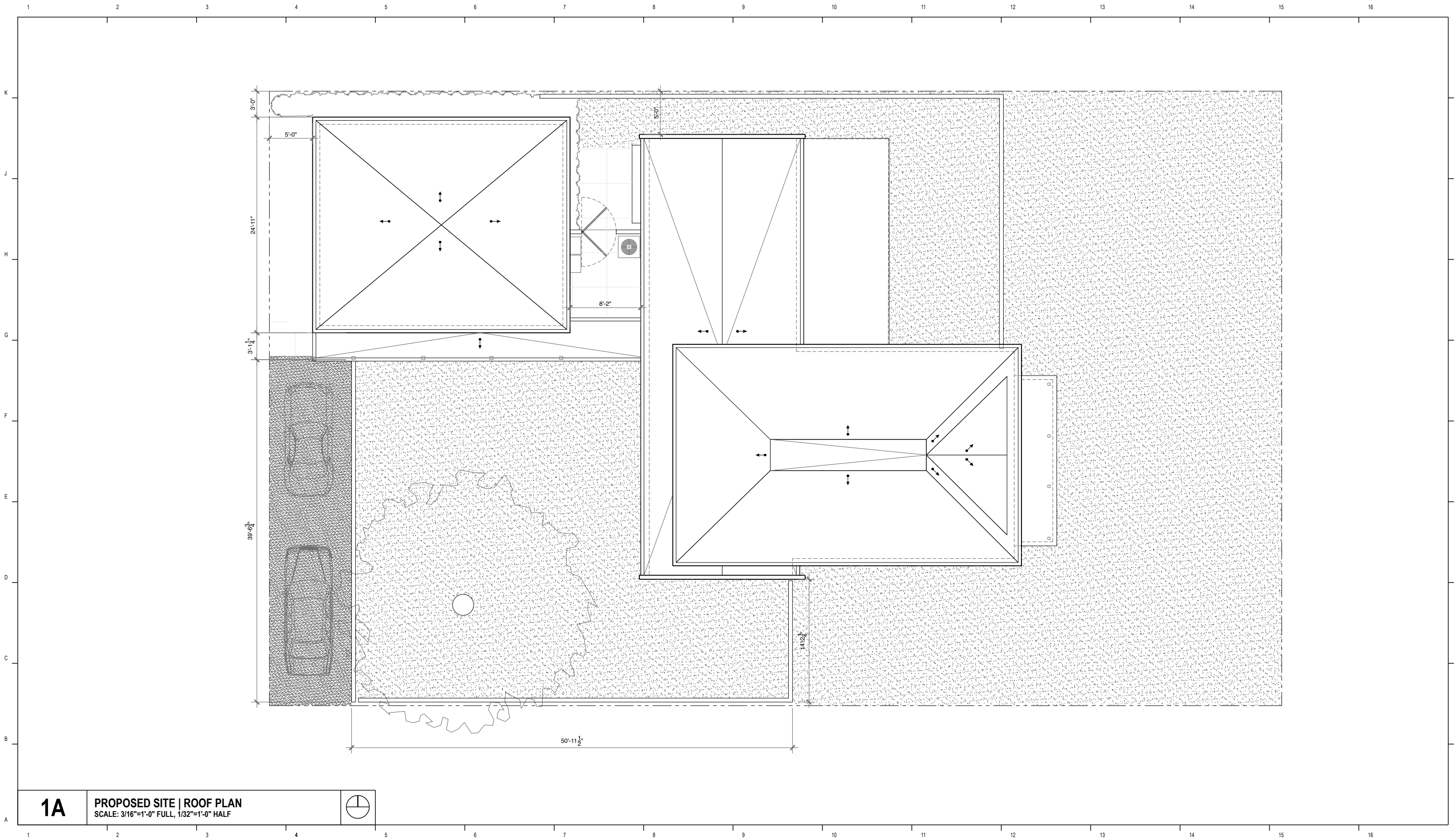
Beer Residence
1215 Delaware Street
Lawrence, Kansas 66044

JOB NO 1714

SEAL

REVIEW 00.00.00

EXISTING ELEVATIONS
NORTH & SOUTH ELEVATIONS
E200



1A

PROPOSED SITE | ROOF PLAN
 SCALE: 3/16"=1'-0" FULL, 1/32"=1'-0" HALF



FORWARD
 DESIGN | ARCHITECTURE

FORWARD DIA
 1900 W 71ST TER
 PRAIRIE VILLAGE, KS 66205
 913.489.9349
 DESIGN-FWD.COM

Beer Residence
 1215 Delaware Street
 Lawrence, Kansas 66044

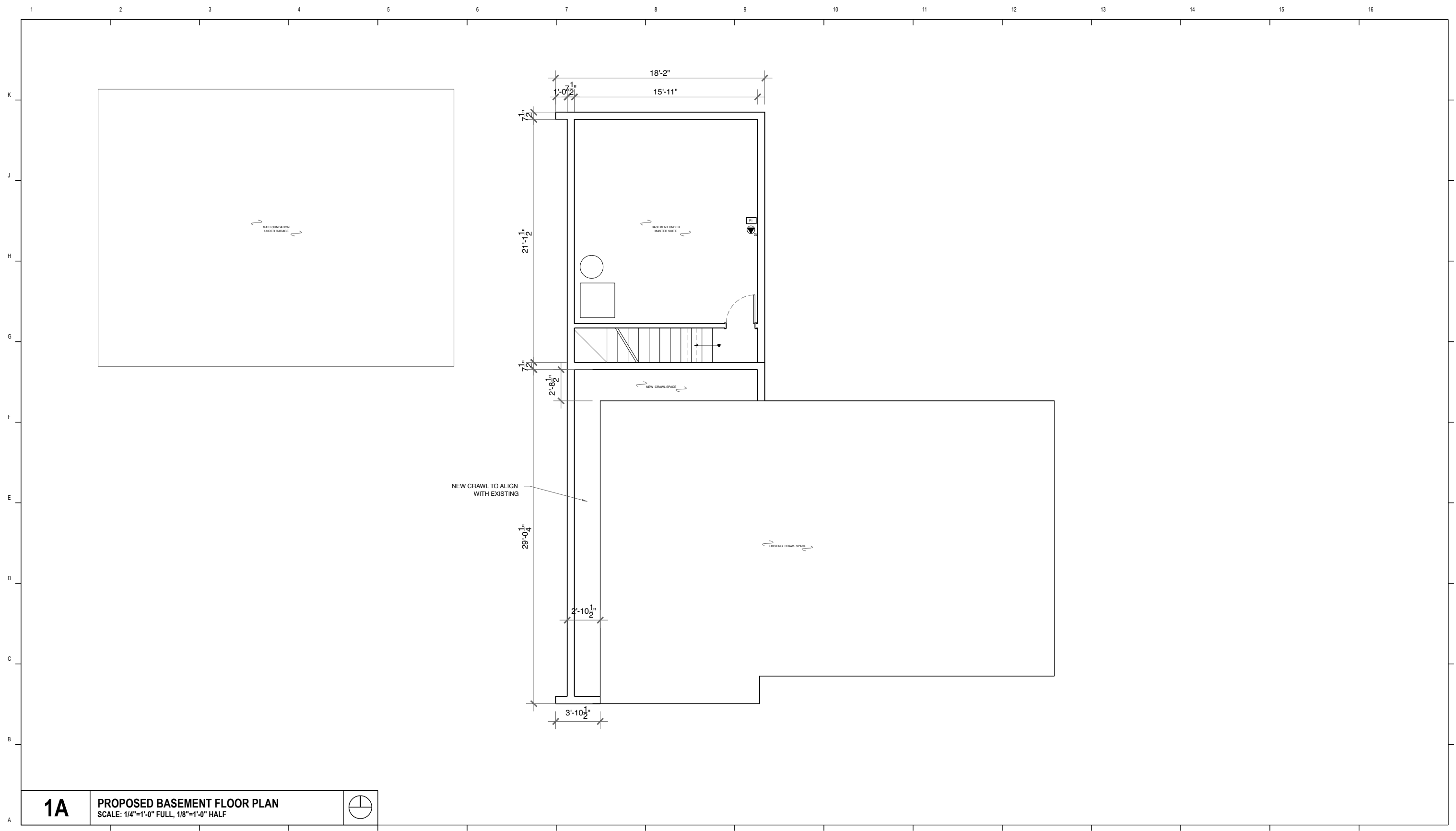
JOB NO 1714

SEAL

REVIEW 00.00.00	_____
_____	_____
_____	_____

PROPOSED
 SITE PLAN | ROOF PLAN

A100



1A

PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF



FORWARD
DESIGN | ARCHITECTURE

FORWARD DIA
1900 W 71ST TER
PRAIRIE VILLAGE, KS 66205
913.489.9349
DESIGN-FWD.COM

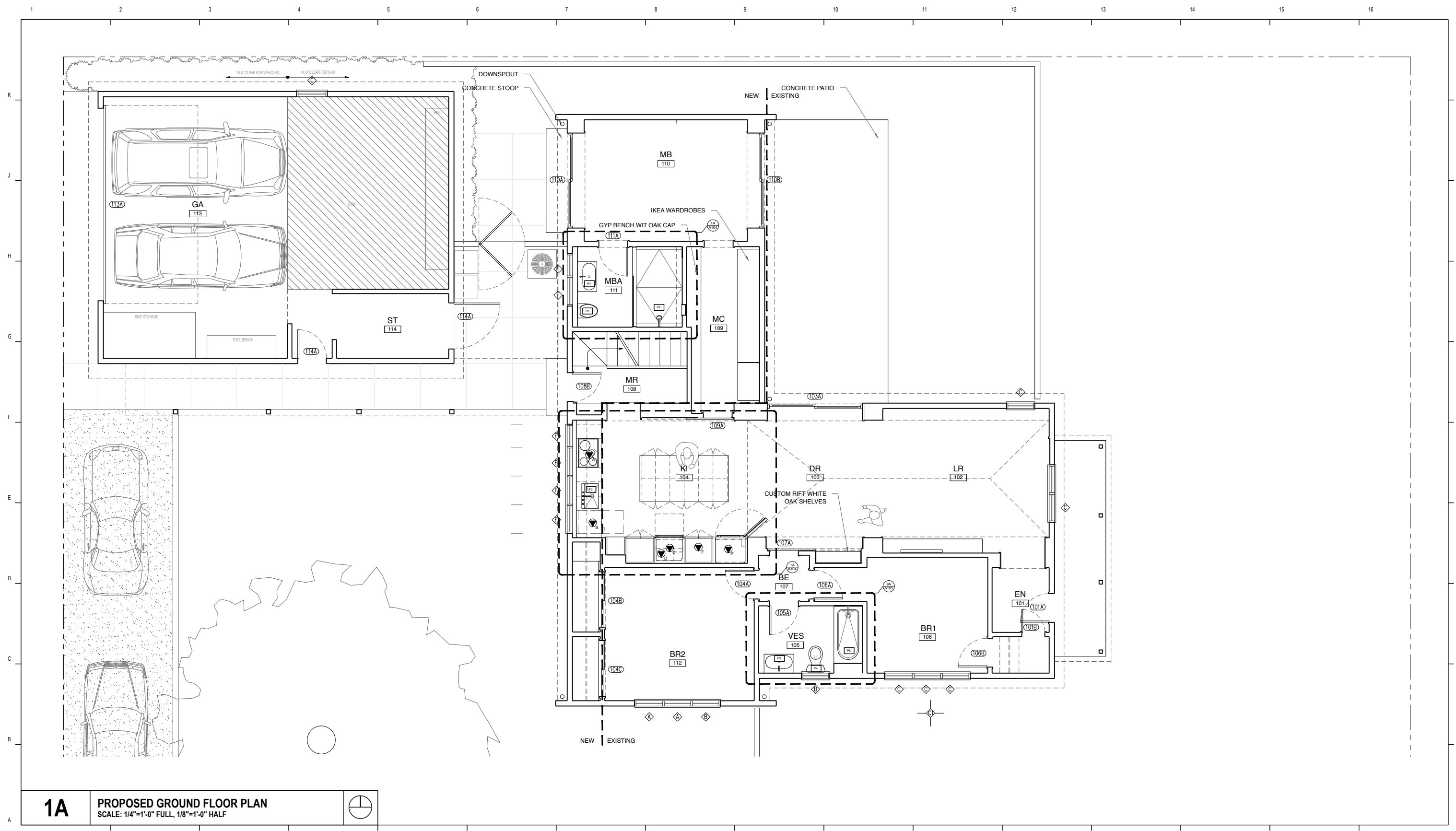
Beer Residence
1215 Delaware Street
Lawrence, Kansas 66044

JOB NO 1714

SEAL

REVIEW 00.00.00

PROPOSED
BASEMENT FLOOR PLAN
A101



1A

PROPOSED GROUND FLOOR PLAN
SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF



FORWARD
DESIGN | ARCHITECTURE

FORWARD DIA
1900 W 71ST TER
PRAIRIE VILLAGE, KS 66205
913.489.9349
DESIGN-FWD.COM

Beer Residence
1215 Delaware Street
Lawrence, Kansas 66044

JOB NO 1714

SEAL

REVIEW 00.00.00

PROPOSED
GROUND FLOOR PLAN
A102



1A

NORTH ELEVATION
SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF



FORWARD
DESIGN | ARCHITECTURE

FORWARD DIA
1900 W 71ST TER
PRAIRIE VILLAGE, KS 66205
913.489.9349
DESIGN-FWD.COM

Beer Residence
1215 Delaware Street
Lawrence, Kansas 66044

JOB NO 1714

SEAL

REVIEW 00.00.00

PROPOSED
EXTERIOR ELEVATIONS
A200



1A

EAST ELEVATION
SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF



FORWARD
DESIGN | ARCHITECTURE

FORWARD DIA
1900 W 71ST TER
PRAIRIE VILLAGE, KS 66205
913.489.9349
DESIGN-FWD.COM

Beer Residence
1215 Delaware Street
Lawrence, Kansas 66044

JOB NO 1714

SEAL

REVIEW 00.00.00

PROPOSED
EXTERIOR ELEVATIONS
A201



1A

SOUTH ELEVATION
SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF



FORWARD
DESIGN | ARCHITECTURE

FORWARD DIA
1900 W 71ST TER
PRAIRIE VILLAGE, KS 66205
913.489.9349
DESIGN-FWD.COM

Beer Residence
1215 Delaware Street
Lawrence, Kansas 66044

JOB NO 1714

SEAL

REVIEW 00.00.00

PROPOSED
EXTERIOR ELEVATIONS
A202



1A

WEST ELEVATION - 01
SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF



FORWARD
DESIGN | ARCHITECTURE

FORWARD DIA
1900 W 71ST TER
PRAIRIE VILLAGE, KS 66205
913.489.9349
DESIGN-FWD.COM

Beer Residence
1215 Delaware Street
Lawrence, Kansas 66044

JOB NO 1714

SEAL

REVIEW 00.00.00	_____

PROPOSED
EXTERIOR ELEVATIONS
A203



1A

WEST ELEVATION - 02
SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF



FORWARD
DESIGN | ARCHITECTURE

FORWARD DIA
1900 W 71ST TER
PRAIRIE VILLAGE, KS 66205
913.489.9349
DESIGN-FWD.COM

Beer Residence
1215 Delaware Street
Lawrence, Kansas 66044

JOB NO 1714

SEAL

REVIEW 00.00.00

PROPOSED
EXTERIOR ELEVATIONS
A204



WALL KEY

WALLS	DETAIL	DESCRIPTION
W-1	-	HARD LAP SIDING PTD COLOR A METAL CORNERS
W-2	-	HARD LAP SIDING PTD COLOR B
W-3	-	HARD LAP SIDING COLOR C

ROOF KEY

ROOF	DETAIL	DESCRIPTION
R-1	-	LOW SLOPE FLUID APPLIED MEMBRANE
R-ES	-	EXISTING SHINGLE ROOF

FENCE KEY

FENCE	DETAIL	DESCRIPTION
F-1	-	HORIZONTAL SLAT CEDAR FENCE

WINDOW/ DOOR KEY

TYPE	DETAIL	DESCRIPTION
D-1	-	MARVIN SLIDING DOORS WITH A FIXED WINDOW
W-1	-	MARVIN CLAD ULTIMATE AWNING

CASING / GUTTER KEY

TYPE	DETAIL	DESCRIPTION
G-1	-	STANDARD GUTTER AND DOWN
C-1	-	1 1/2" TRIM SURROUND
C-2	-	1/8" ALUM. METAL PARAPET CAP

1A EXTERIOR MATERIALS LIST
SCALE: NA

FORWARD
DESIGN | ARCHITECTURE

FORWARD DIA
1900 W 71ST TER
PRAIRIE VILLAGE, KS 66205
913.489.9349
DESIGN-FWD.COM

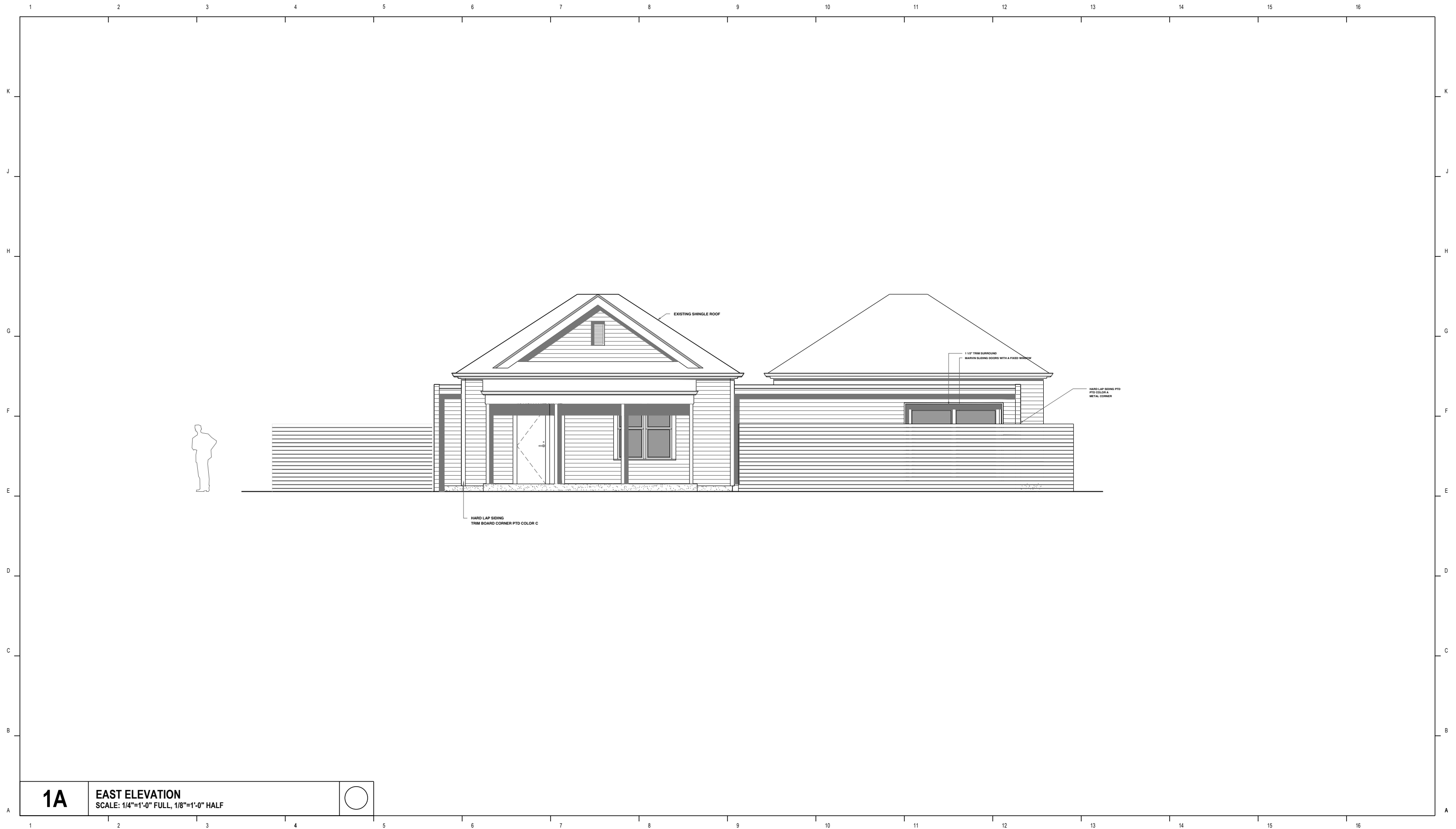
Beer Residence
1215 Delaware Street
Lawrence, Kansas 66044

JOB NO 1714

SEAL

REVIEW 00.00.00

MATERIALS LIST
A500



1A

EAST ELEVATION
SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF



FORWARD
DESIGN | ARCHITECTURE

FORWARD DIA
1900 W 71ST TER
PRAIRIE VILLAGE, KS 66205
913.489.9349
DESIGN-FWD.COM

Beer Residence
1215 Delaware Street
Lawrence, Kansas 66044

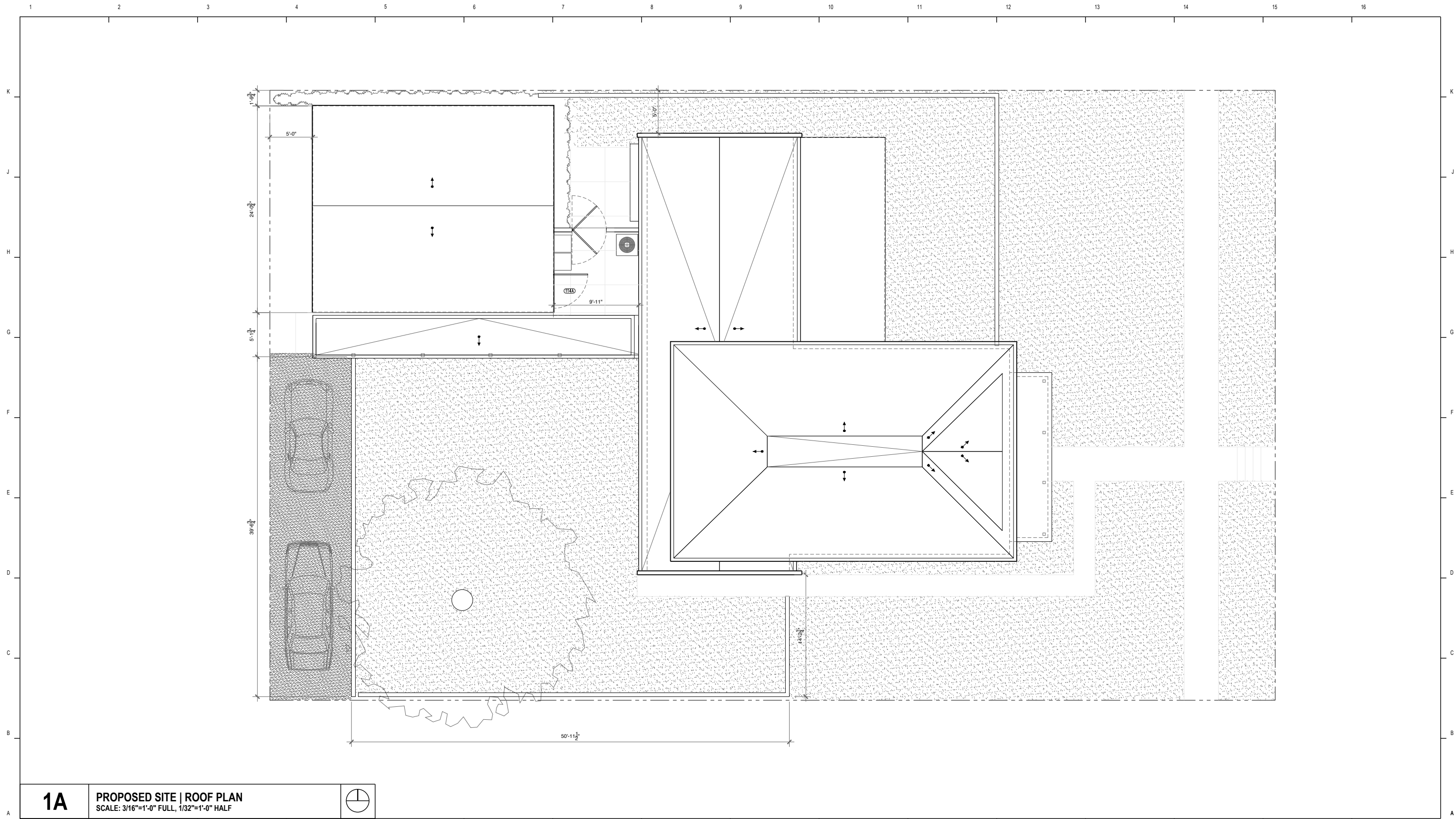
JOB NO 1714

SEAL

REVIEW 00.00.00	_____

PROPOSED
EXTERIOR ELEVATION

A201



1A

PROPOSED SITE | ROOF PLAN
 SCALE: 3/16"=1'-0" FULL, 1/32"=1'-0" HALF



FORWARD
 DESIGN | ARCHITECTURE

FORWARD DIA
 1900 W 71ST TER
 PRAIRIE VILLAGE, KS 66205
 913.489.9349
 DESIGN-FWD.COM

Beer Residence
 1215 Delaware Street
 Lawrence, Kansas 66044

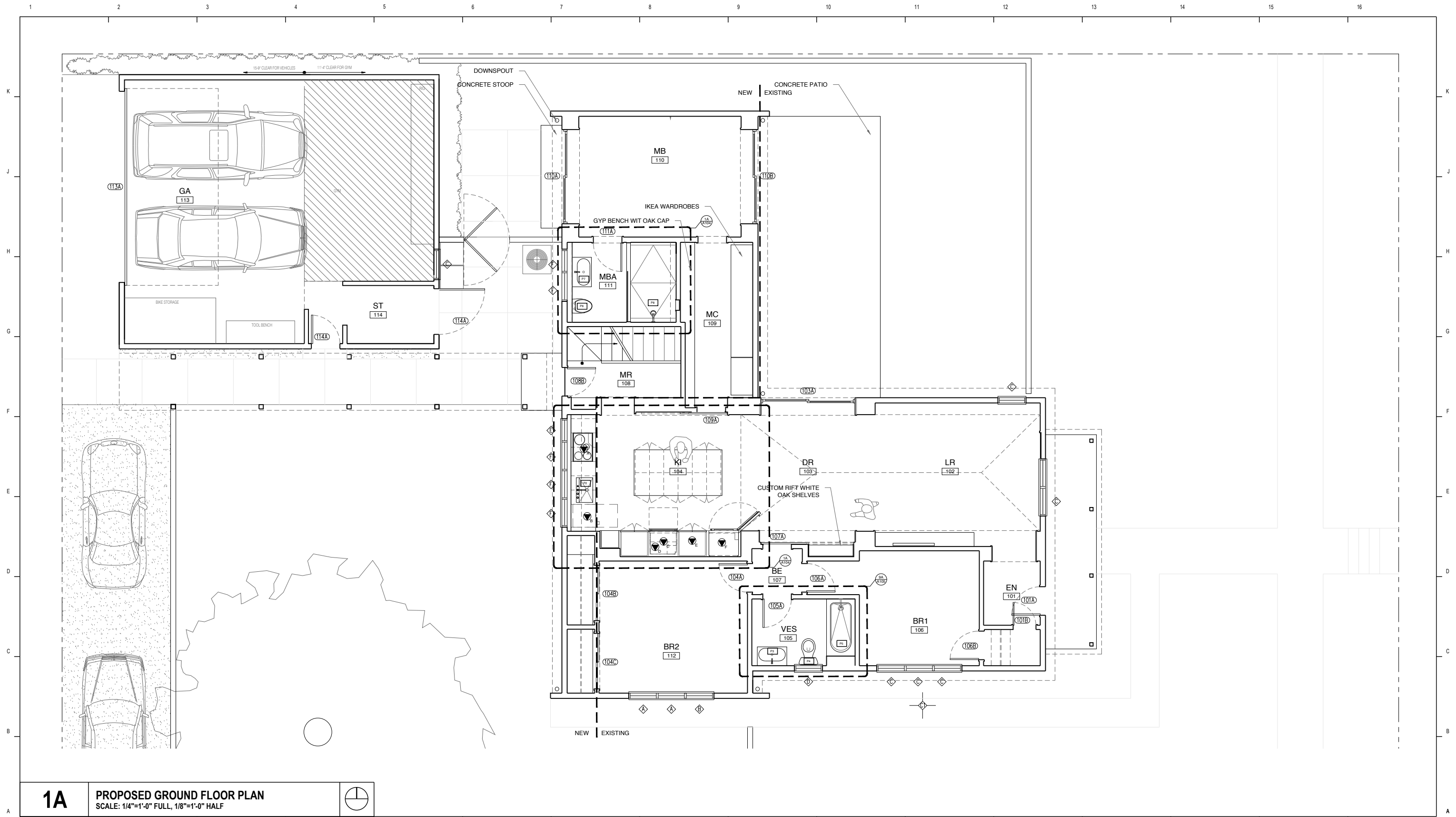
JOB NO 1714

SEAL

REVIEW 00.00.00	_____
_____	_____
_____	_____
_____	_____

PROPOSED
 SITE PLAN | ROOF PLAN

A100



1A PROPOSED GROUND FLOOR PLAN
 SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF

FORWARD
 DESIGN | ARCHITECTURE

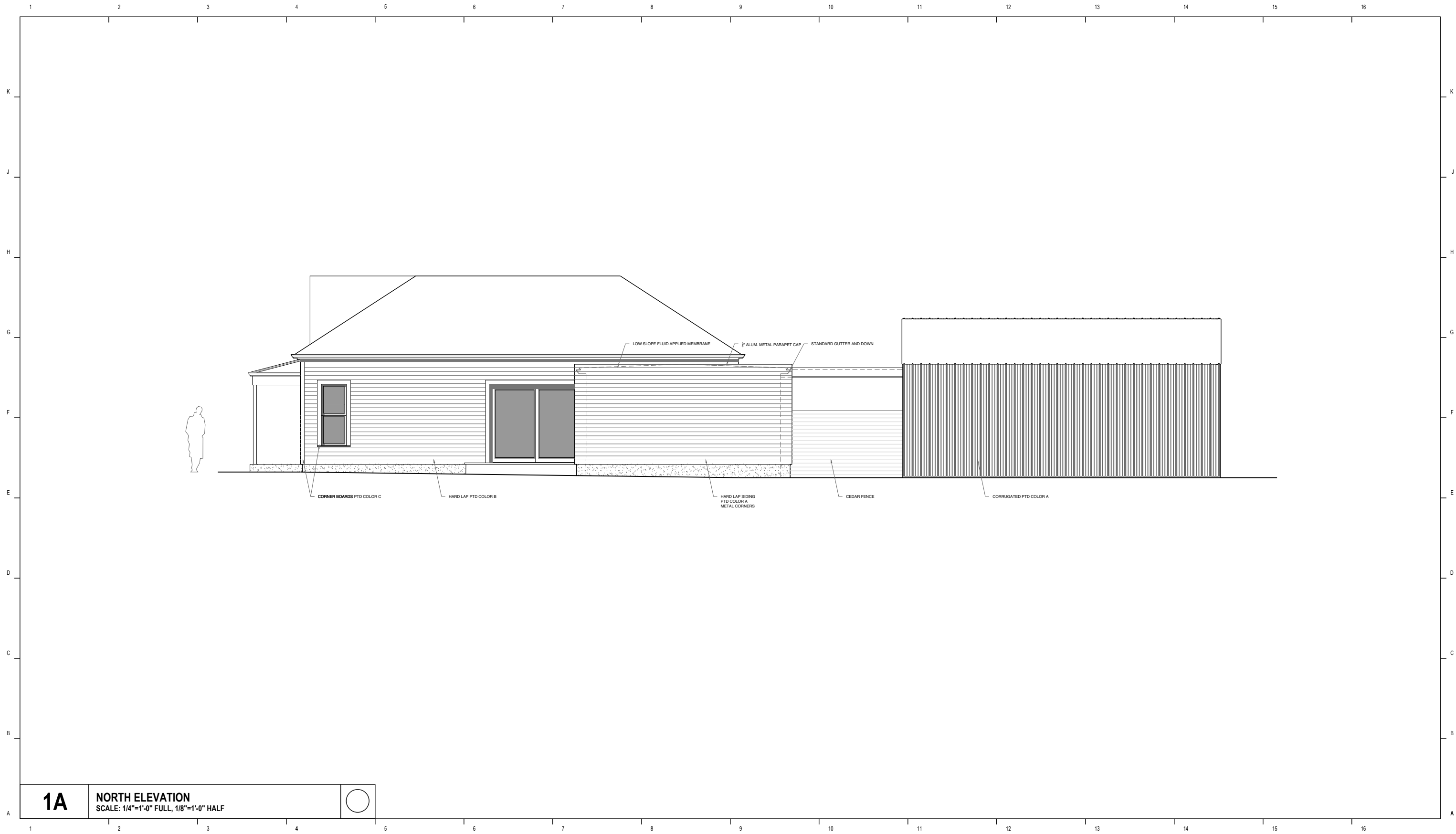
FORWARD DIA
 1900 W 71ST TER
 PRAIRIE VILLAGE, KS 66205
 913.489.9349
 DESIGN-FWD.COM

Beer Residence
 1215 Delaware Street
 Lawrence, Kansas 66044
 JOB NO 1714

SEAL

REVIEW 00.00.00

PROPOSED
 GROUND FLOOR PLAN
A102



FORWARD
DESIGN | ARCHITECTURE

FORWARD DIA
1900 W 71ST TER
PRAIRIE VILLAGE, KS 66205
913.489.9349
DESIGN-FWD.COM

Beer Residence
1215 Delaware Street
Lawrence, Kansas 66044

JOB NO 1714

SEAL

REVIEW 00.00.00

PROPOSED
EXTERIOR ELEVATIONS
A200



1A

EAST ELEVATION
SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF



FORWARD
DESIGN | ARCHITECTURE

FORWARD DIA
1900 W 71ST TER
PRAIRIE VILLAGE, KS 66205
913.489.9349
DESIGN-FWD.COM

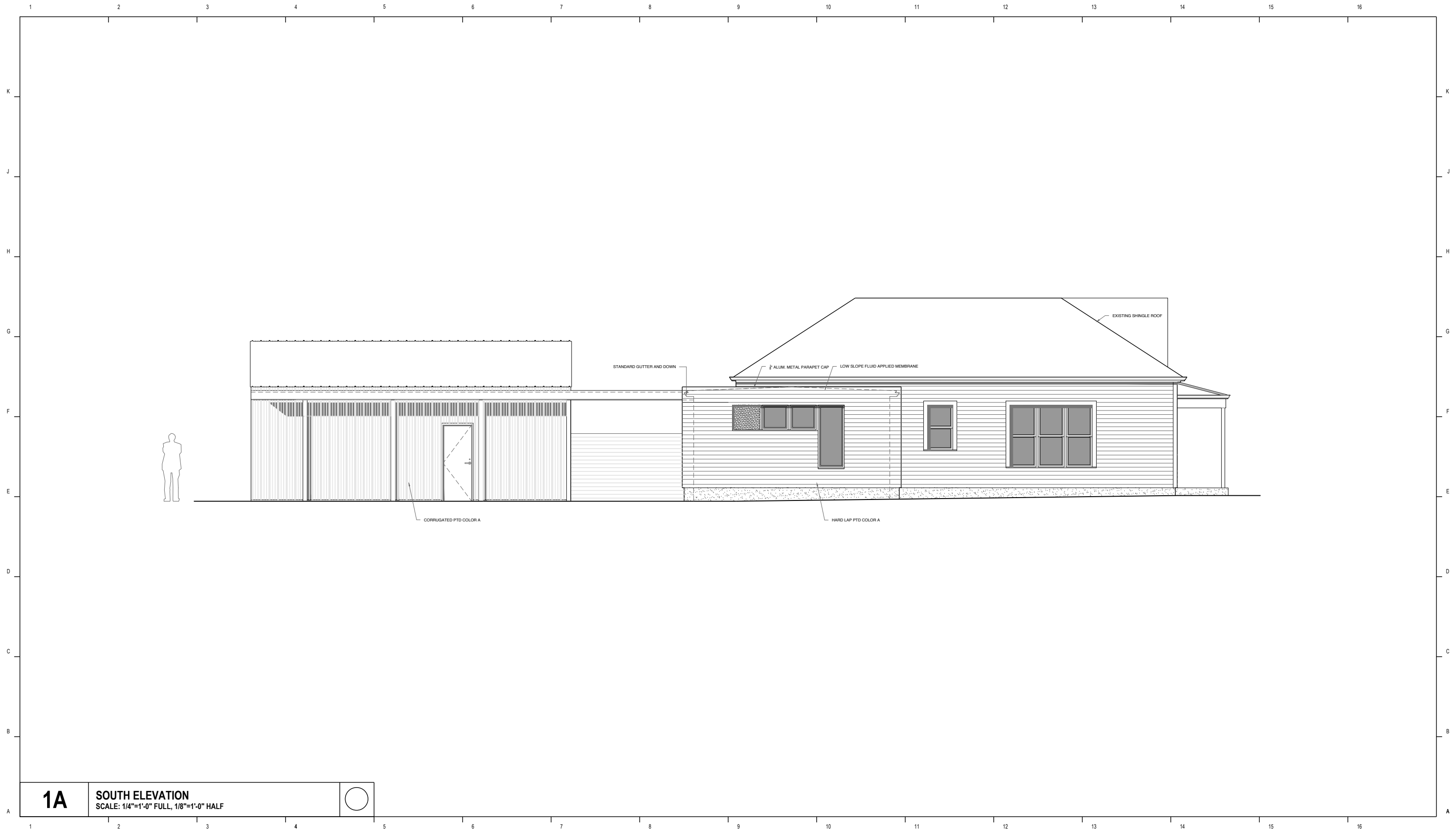
Beer Residence
1215 Delaware Street
Lawrence, Kansas 66044

JOB NO 1714

SEAL

REVIEW 00.00.00

PROPOSED
EXTERIOR ELEVATIONS
A201



1A SOUTH ELEVATION
 SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF



FORWARD
 DESIGN | ARCHITECTURE

FORWARD DIA
 1900 W 71ST TER
 PRAIRIE VILLAGE, KS 66205
 913.489.9349
 DESIGN-FWD.COM

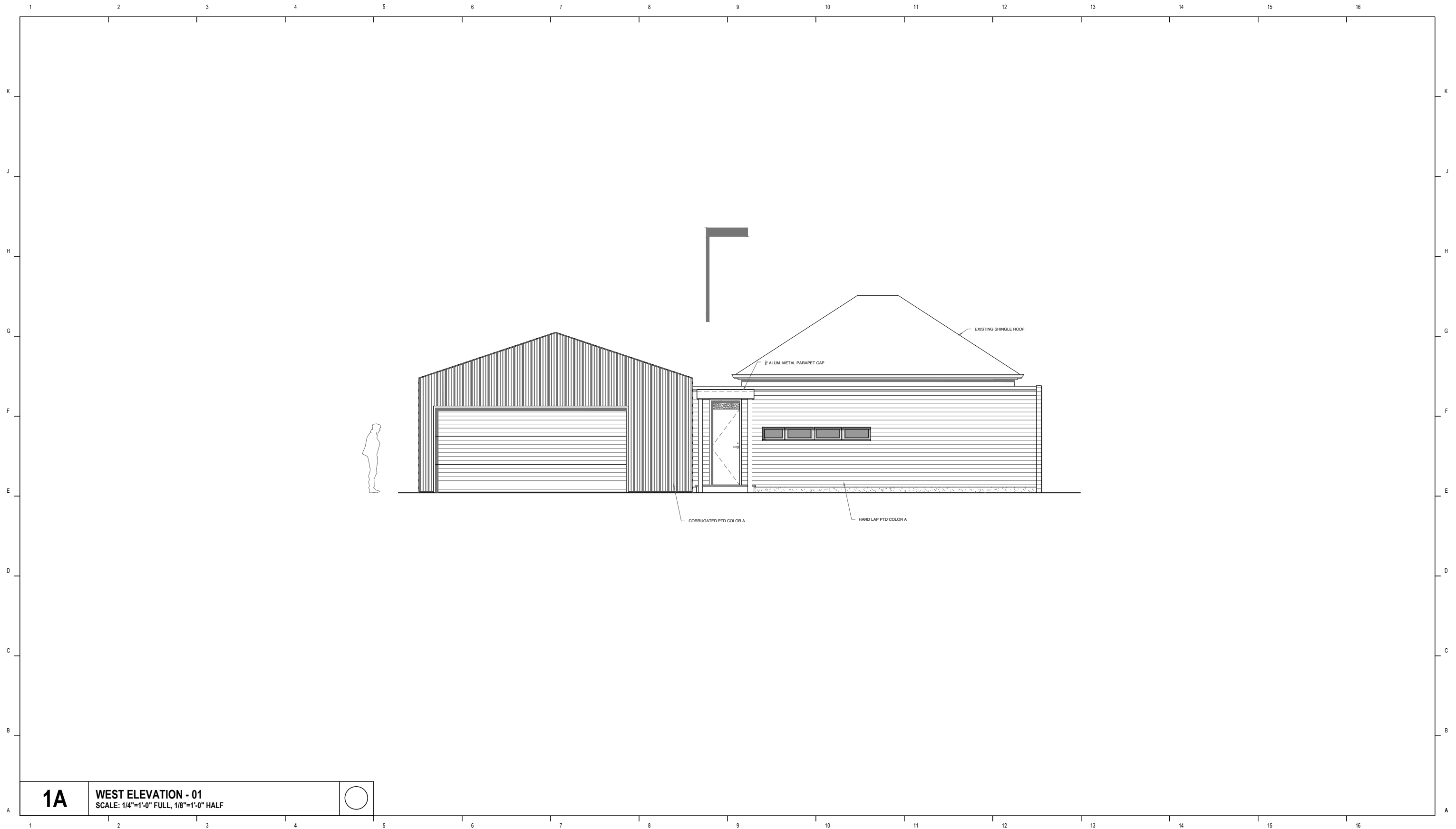
Beer Residence
 1215 Delaware Street
 Lawrence, Kansas 66044

JOB NO 1714

SEAL

REVIEW 00.00.00

PROPOSED
 EXTERIOR ELEVATIONS
A202



1A

WEST ELEVATION - 01
SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF



FORWARD
DESIGN | ARCHITECTURE

FORWARD DIA
1900 W 71ST TER
PRAIRIE VILLAGE, KS 66205
913.489.9349
DESIGN-FWD.COM

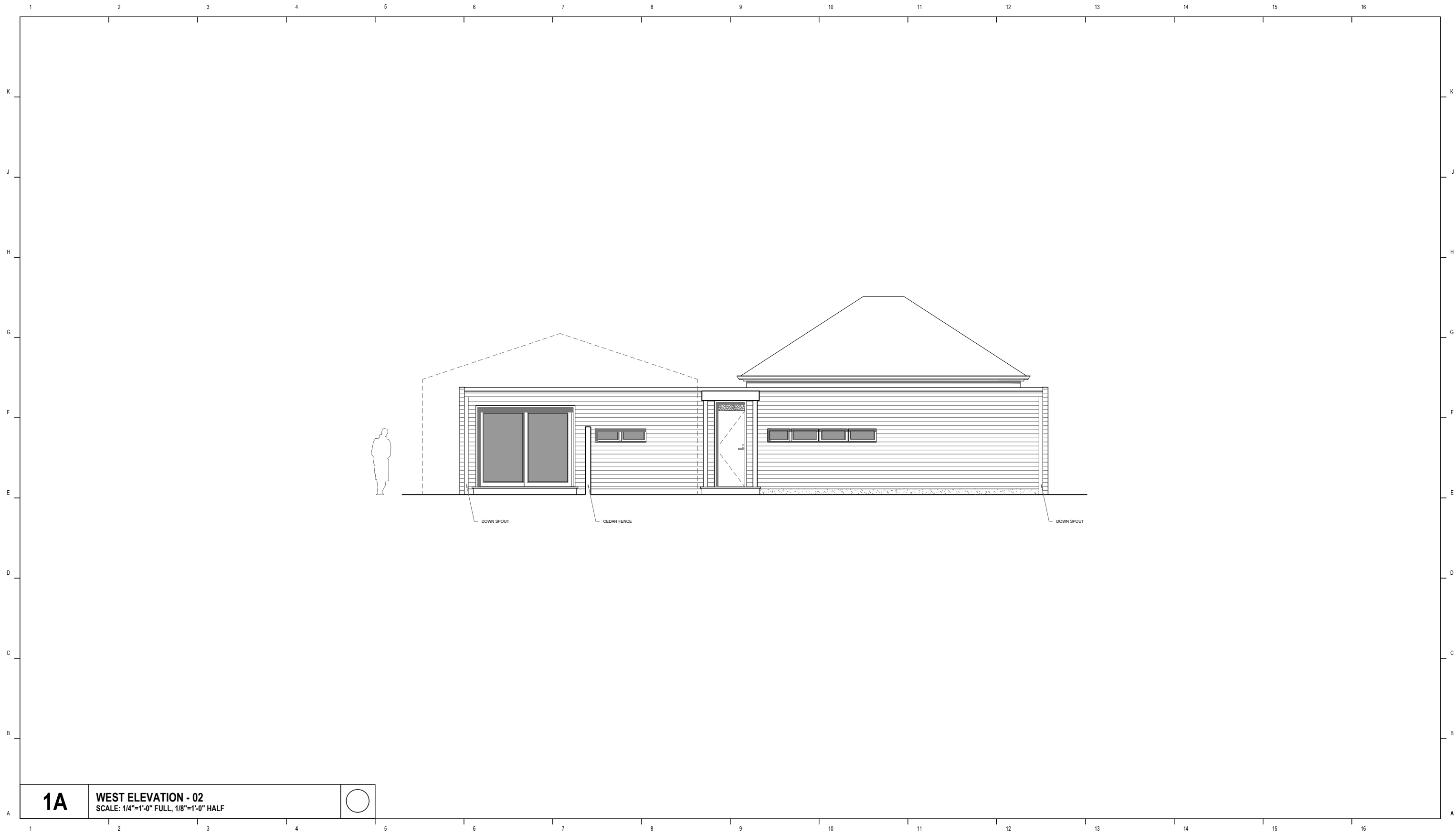
Beer Residence
1215 Delaware Street
Lawrence, Kansas 66044

JOB NO 1714

SEAL

REVIEW 00.00.00

PROPOSED
EXTERIOR ELEVATIONS
A203



1A

WEST ELEVATION - 02
SCALE: 1/4"=1'-0" FULL, 1/8"=1'-0" HALF



FORWARD
DESIGN | ARCHITECTURE

FORWARD DIA
1900 W 71ST TER
PRAIRIE VILLAGE, KS 66205
913.489.9349
DESIGN-FWD.COM

Beer Residence
1215 Delaware Street
Lawrence, Kansas 66044

JOB NO 1714

SEAL

REVIEW 00.00.00	_____

PROPOSED
EXTERIOR ELEVATIONS
A204



W
INTEGRITY
CASH WILLING
756-554-1032

FINANCING AVAILABLE

















































**APPLICATION FOR
VARIANCE FROM UNNECESSARY HARDSHIP**

RECEIVED

SEP 06 2018

City County Planning Office
Lawrence, Kansas

OWNER INFORMATION

Name(s) John A. Gascon & Erica A. Gascon
 Contact John A. Gascon
 Address 941 Pennsylvania Street
 City Lawrence State KS ZIP 66044
 Phone (785) 841-3053 Fax (____) _____
 E-mail john.gascon@gmail.com Mobile/Pager (____) _____

APPLICANT/AGENT INFORMATION

Contact John A. Gascon
 Company n/a
 Address See Above
 City _____ State _____ ZIP _____
 Phone (____) _____ Fax (____) _____
 E-mail _____ Mobile/Pager (____) _____
 Pre-Application Meeting Date _____ Planner _____

PROPERTY INFORMATION

Present Zoning District RS-5 Present Land Use RS-5 Residential (single family)
 Proposed Land Use No Change
 Legal Description (*may be attached*) PENNSYLVANIA STREET LT 59
 Address of Property 941 Pennsylvania Street
 Total Site Area 5,850sf
 Number and Description of Existing Improvements or Structures 1 Single Family Home



Description of variance requested:

We seek The following four variances from the City of Lawrence, Kansas Land Development Code:

1. Reduction of the north side yard setback requirement of 5' to 1' to match the current placement of the existing structure which was built in 1890 before the land development code was adopted.

2. Reduction of the front yard setback from 20' to 7' to match the current placement of the existing structure which was built in 1890 before the land development code was adopted.

3. Reduction of the front yard setback from 20' to 5' to allow for the re-construction of a functional front porch that likely matched the original pattern/dimensions of the original front porch.

4. Increase of the maximum fence height of 6' to 8' to allow for the installation of a new concrete retaining wall and re-construction of a fence damaged from the adjacent property owners tree on the south property line.



UNNECESSARY HARDSHIP CRITERIA

The Board of Zoning Appeals may approve a zoning variance if it finds that all of the following criteria have been met. The Development Code places the burden on the applicant to show that an application complies with such criteria. Please respond to each criterion to the best of your knowledge. (Attach additional sheets if needed.)

1. That the variance request arises from such conditions which are unique to the property in question and not ordinarily found in the same zoning or district and are not created by action(s) of the property owner or applicant:

The house is reported to be constructed in 1890 with evidence of multiple additions completed before 1910. At the time of construction there were no setback requirements and like many homes of that era, the house was placed very close to the front yard property line. The house is unique in that it is one of only three remaining original structures on the west side of the block, all of which are sited very close to the front property line and the north property line in violation of current setback requirements.

It is estimated that the front porch was replaced with concrete and basic 2x4 construction within the last 20 years and does not match the construction of the original home. The porch was damaged from foundation settlement and when a tree fell on the house in 2017. Contractors replaced the south foundation of the house and had to remove the damaged front porch for access to stone foundation. If variance 1 is approved, it would only allow for a front porch of less than 4.5' deep, less than the turning radius required by the Americans with Disabilities Act. The desired porch depth is 6' which aligns with Christopher Alexander's Seminal work; A Pattern Language - Chapter 167 - Six Foot Balcony (see attached). Based on historical precedent (see attached) there is evidence that the original front porch extended beyond the front of the house.

The site slopes from the front property line to the rear property line in the alley with an elevation grade change of about 6-7'. This is the case for most of the properties on the block, however, many of the other lots of been re-graded to change the natural slope of the land. This is particularly the case for the property to the south at 945 Pennsylvania Street. That property was regarded to make the front 75% of the lot flat, creating a 3-4' grade differential on the south property line. This has led to a significant groundwater mitigation issues, and ultimately tree root damage that led to a tree falling on our house in 2017. We are in negotiations with an Insurance Company to correct this grade differential with a retaining wall and the replacement of our damaged fence along the south retaining wall. Because of the unique siting and regarding issues to the south, the adjacent property is located in such a way that a common fence placed at 6' high does not provide the privacy that is desired.

2. That granting the variance would not adversely affect the rights of adjacent property owners or residents:

Because of the siting of the house, the front porch cannot be viewed from either neighboring houses and would have no impact to them. We do not believe that the ability to place a chair 2 feet closer to the property across the street would have a material impact to our neighbors.

The granting of variance 4 would enhance the privacy of the adjacent property owners by allowing a fence that would provide appropriate privacy and prevent us from looking directly into our neighbors house while at the dinner table or on our deck cooking wieners.



3. That strict application of the provisions of this chapter for which the variance is requested would constitute unnecessary hardship upon the property owner represented in the application:

The strict application of the provisions would require that we relocate the house several feet from it's existing foundation to comply with current setbacks which is unnecessary. The application of the front yard setback limited by the front of the current house would prevent the reconstruction of a front porch that is ADA compliant, functional and likely matched the pattern of the original house.

It is important to note that the current development code was created for modern suburban development and applied to original town site neighborhoods that were built with much different building patterns. Traditionally houses were placed much closer to the property line than modern construction and porches were designed so that neighbors could engage residents sitting on them from the sidewalk. Current setback provisions do not address or acknowledge this traditional development pattern. This modern applications of building setbacks ignores 116 years of the successful history of the existing structure.

The limitations of a 6' height in fence would prevent the fence from achieving its primary purpose of providing privacy from the adjacent property.

4. That the variance desired would not adversely affect the public health, safety, morals, order, convenience, prosperity or general welfare:

The variances would allow the improvements and restoration to the property that would enhance the above by bringing the house in compliance with current development code, improving the architectural character and functionality of the house and by providing adequate privacy between neighbors.





5. That granting the variance desired would not be opposed to the general spirit and intent of the Development Code:

The existing setback requirements were created much later than the original neighborhood and ignore the development patterns of the original Lawrence town site. The original intent of setbacks was to create a buffer between current street curb lines and the right of way for future street widening projects and to prevent City Officials from having to engage in eminent domain accommodate widening streets. This particular property has 20' of available street right of way between the curb and existing sidewalk which is more than adequate for street widening, which has not occurred in 128 years.

There are several provisions in the code that require a fence to be at least 6' in height with the understanding that the primary purpose of a fence is to provide screening and privacy. There are some instances in the code where a maximum height of 10' is provided. It is unclear why there is a 6' height limit for fences in residential development, however a 2' variance is not enough to oppose the general spirit of the intent which may be to prevent large walls that obstruct light and block views of neighboring property owners. In this particular case, the sun is coming from opposite side of the neighboring property and there is no view being blocked other than the view directly into my living room where I can be seen walking around in my undergarments.

SIGNATURE

I/We, the undersigned am/are the **(owner(s)), (duly authorized agent), (Circle One)** of the aforementioned property. By execution of my/our signature, I/we do hereby officially apply for variances as indicated above.

Signature(s):  Date 9/5/18
 Date 9/6/18
 _____ Date _____

STAFF USE ONLY

Application No. _____
 Date Received _____
 BZA Date _____
 Fee \$ _____
 Date Fee Paid _____



PROPERTY OWNERSHIP LIST CERTIFICATION

As required by Article 13, Section 20-1301(q) of the Development Code, the applicant is responsible for providing certified Ownership information (including names and mailing addresses) of all real property owners within a defined radius from the subject property. The Planning Department is required by the Development Code to use the submitted Ownership list to mail notice of the public hearing to surrounding property owners regarding this Application.

Ownership Information

The applicant is responsible for providing certified Ownership information. Current Ownership information shall be obtained from the Douglas County Clerk. Ownership information will be considered current if it is **no more than 30 days old** at the time an application is submitted to the Planning Department.

Radius of Notification

The Ownership list shall include the record Owner of the subject property and all Owners of property located within 400 feet of the subject property. If the subject property is adjacent to the City limits the area of notification shall be extended to at least 1,000 feet into the unincorporated area.

A map of the "Radius of Notification" can be obtained **at the Applicant's request** at the Planning Office. The map indicates ownership of each property and can be used to check the accuracy and completeness of the Ownership List. The map will be supplied **at the Applicant's expense. Allow 10 business days** to receive the map.

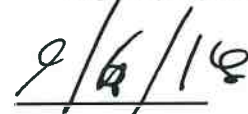
THE FOLLOWING IS TO BE COMPLETED AND SUBMITTED BY THE APPLICANT.

I certify that I have read and understood the above information and that the submitted Ownership list:


1. was a) obtained from and b) certified by the Douglas County Clerk,
2. is current (**no more than 30 days old**), and
3. includes all property owners within the required notification radius of the subject property.



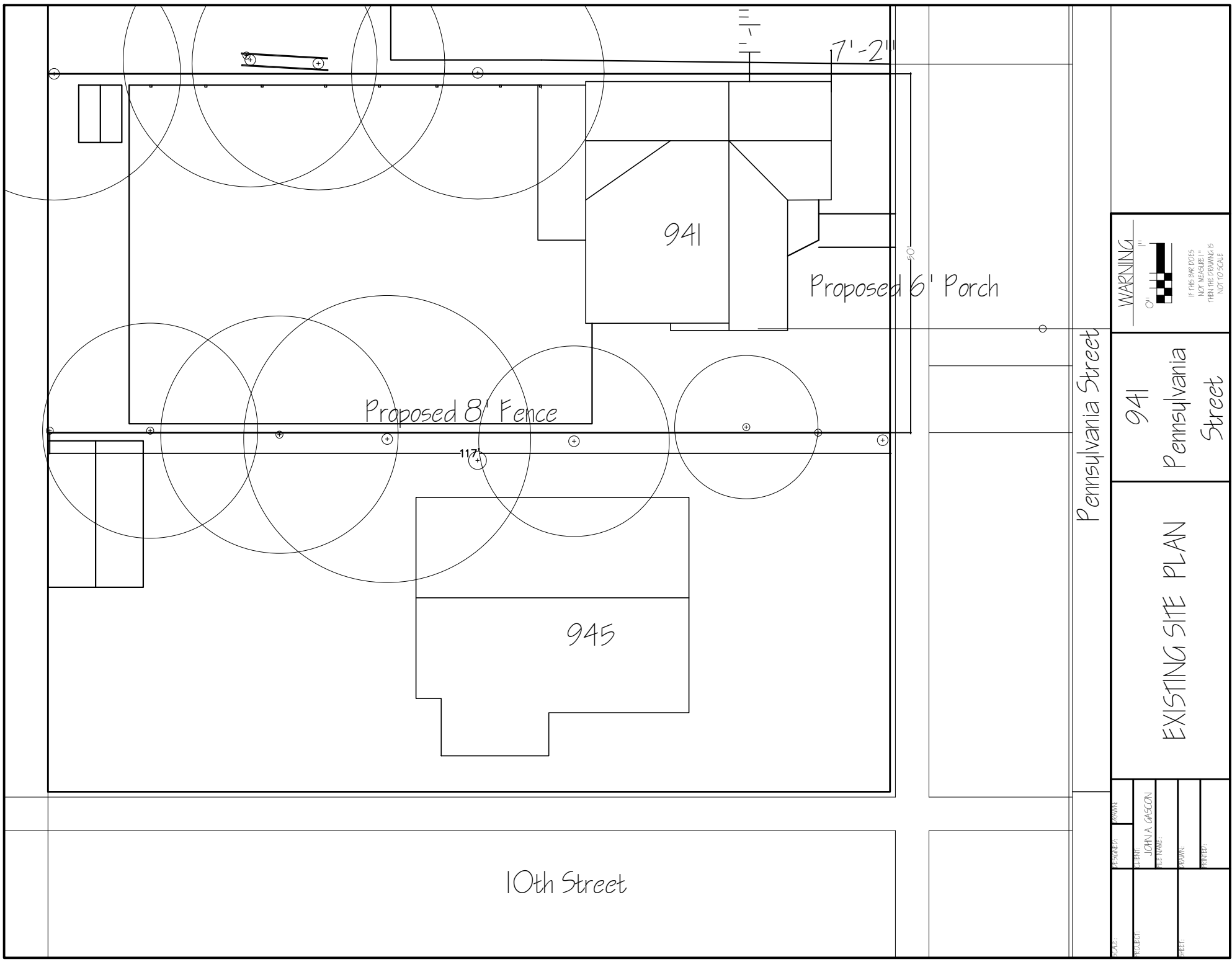
Signature



Date



Printed Name

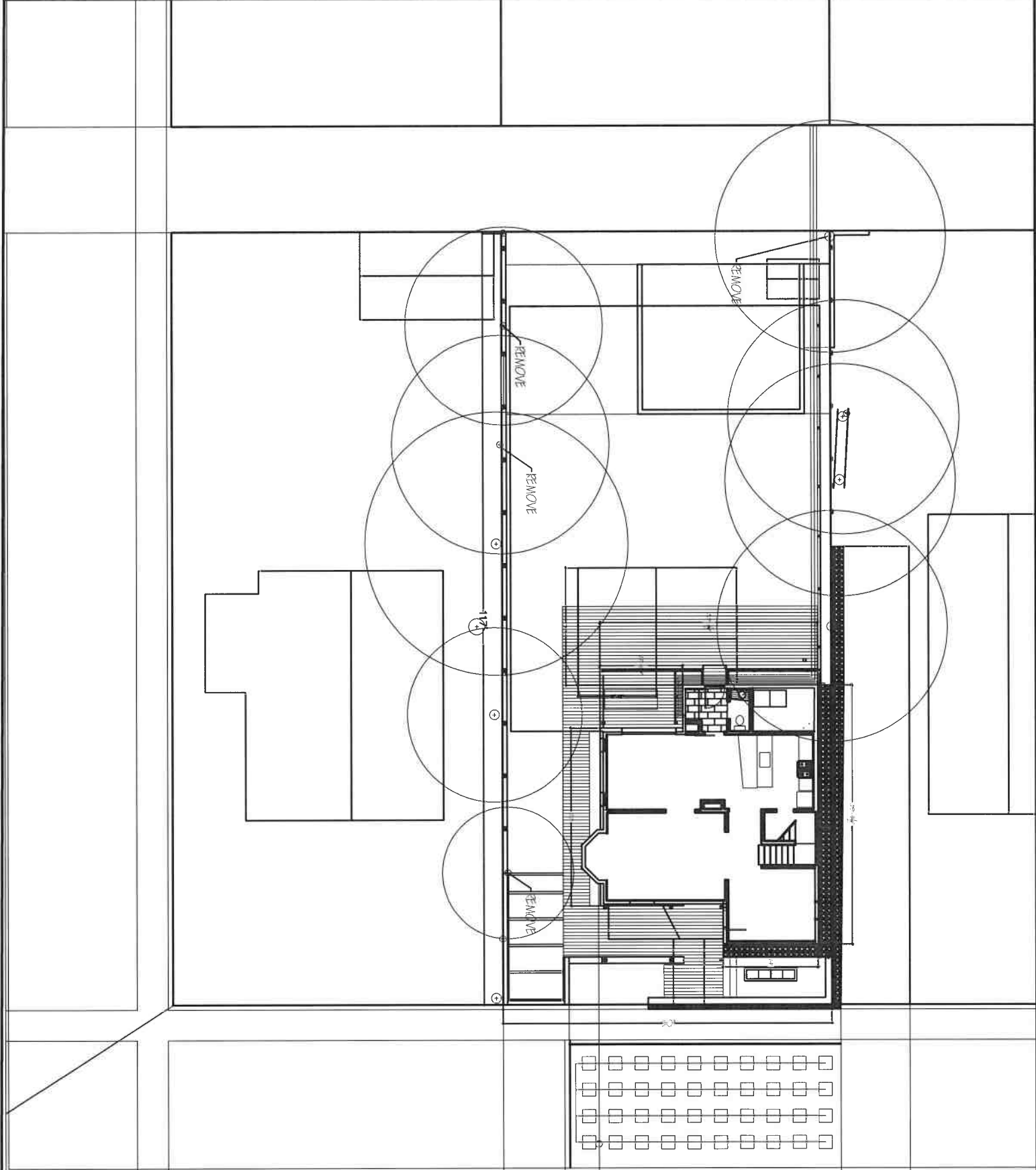


WARNING
 0" 1"
 IF THE PARADES
 NOT DECREASE 1"
 FROM THE DRAWING IS
 NOT TO SCALE

941
 Pennsylvania
 Street

EXISTING SITE PLAN

DESIGNED BY:	TOWNE
CLIENT:	JOHN A. GASCON
DATE:	
SCALE:	
PROJECT:	
DATE:	
DESIGNED BY:	
CLIENT:	
DATE:	
SCALE:	
PROJECT:	
DATE:	



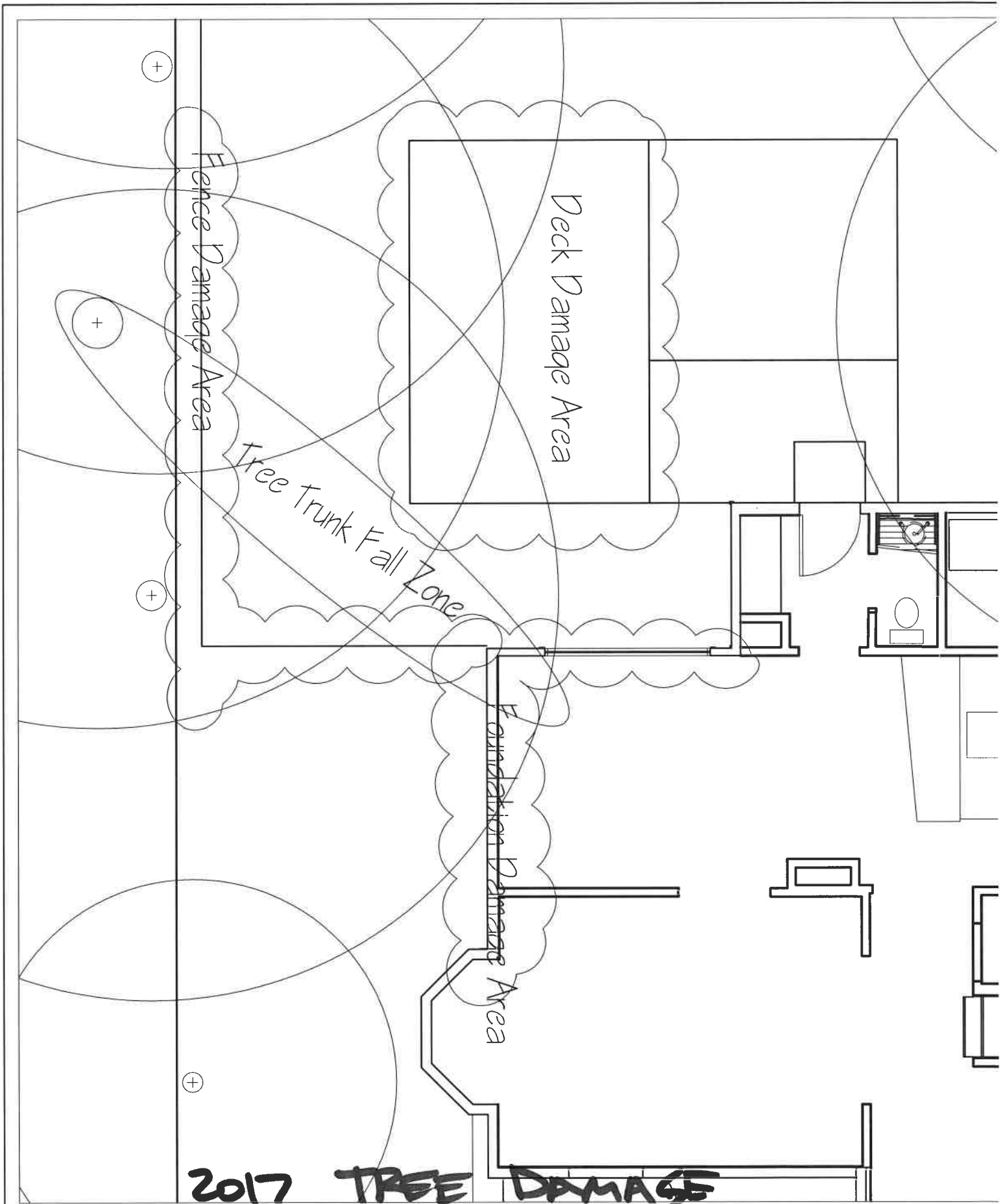
DATE:	DESIGNED:	DRAWN:
VARES	JAG	JAG
PROJECT:	JOHN A. GASCON	
	CLIENT NAME	
SHEET:	DRAWN	
	DATE	
OF		

FUTURE
SITE PLAN

941
PENN

WARNING

IF THIS SHEET DOES NOT MEASURE 11" THEN THE DRAWING IS NOT TO SCALE



DATE	DESIGNED	DRAWN
VARIES	JAG	JAG
PROJECT	CLIENT	PROJECT
0005	JOHN W. GIBSON	

941

WARNING





1008 Rhode Island St
Front Porch Setback Precedent



Image capture: May 2011 © 2018 Google

Lawrence, Kansas

Google, Inc.

Street View - May 2011





800 Connecticut St
Front Porch Setback Precedent



Image capture: Jun 2017 © 2018 Google

Lawrence, Kansas

Google, Inc.

Street View - Jun 2017





714 New York St

Front Porch Set Back Precedent



Image capture: May 2011 © 2018 Google

Lawrence, Kansas

Google, Inc.

Street View - May 2011





1204 Connecticut St
Front Porch Setback Precedent



Image capture: May 2011 © 2018 Google

Lawrence, Kansas

Google, Inc.

Street View - May 2011





1221 Connecticut St

Front Porch Setback Precedent



Image capture: May 2011 © 2018 Google

Lawrence, Kansas

Google, Inc.

Street View - May 2011





1032 Connecticut St

Front Porch Setback Precedent



Image capture: May 2011 © 2018 Google

Lawrence, Kansas

Google, Inc.

Street View - May 2011



1032 Connecticut St
Front Porch Setback Precedent



Image capture: May 2011 © 2018 Google

Lawrence, Kansas

Google, Inc.

Street View - May 2011





946 Rhode Island St

Front Porch Setback Precedent



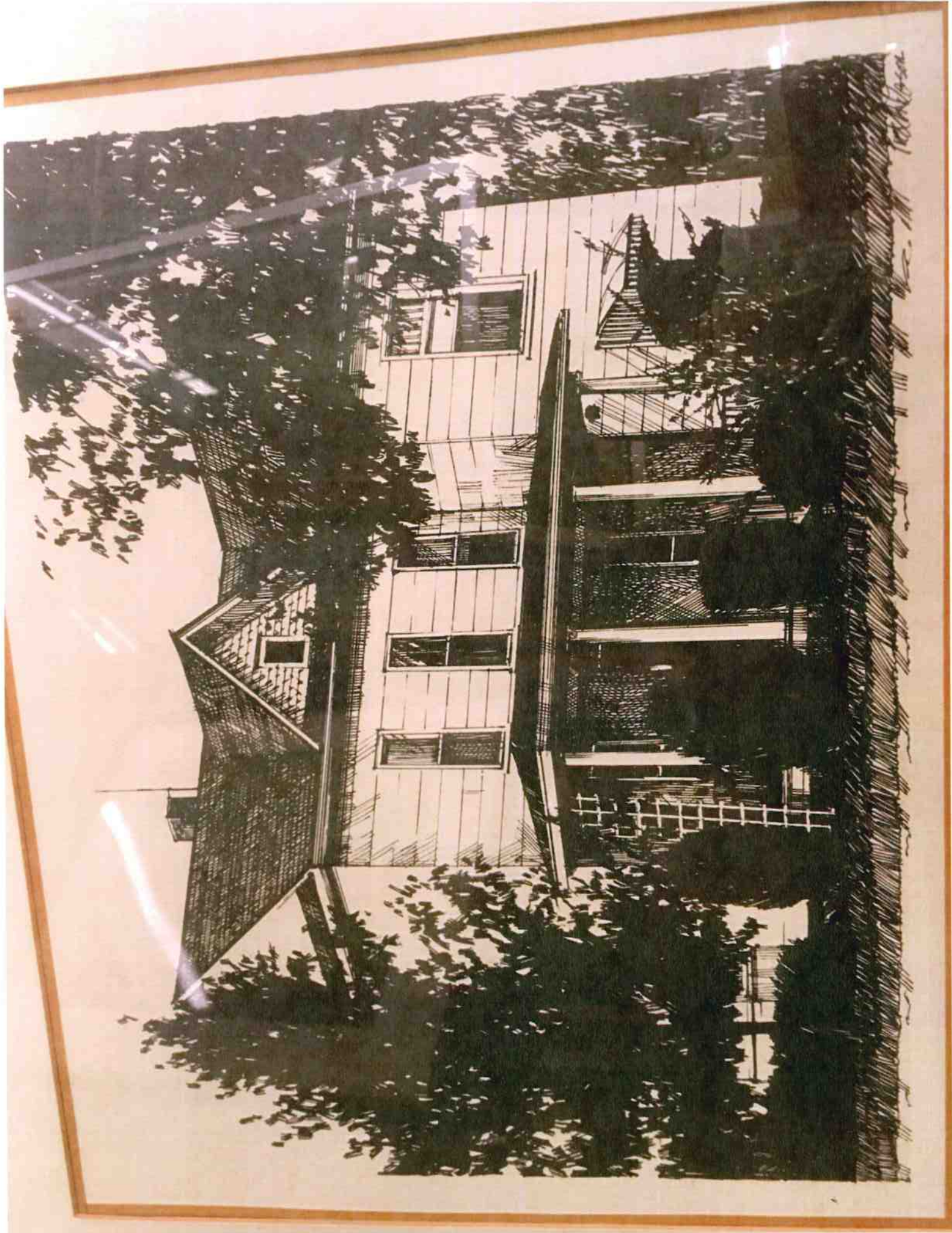
Image capture: May 2011 © 2018 Google

Lawrence, Kansas

Google, Inc.

Street View - May 2011





167 Six-Foot Balcony**

... in various places [Arcades \(119\)](#) and [Gallery, Surround \(166\)](#) have helped you to imagine some kind of a balcony, veranda, terrace, porch, arcade along the building edge or halfway into it. This pattern simply specifies the depth of this arcade or porch or balcony, to make sure that it really works.



Balconies and porches which are less than six feet deep are hardly ever used.

Balconies and porches are often made very small to save money; but when they are too small, they might just as well not be there.

A balcony is first used properly when there is enough room for two or three people to sit in a small group with room to stretch their legs, and room for a small table where they can set down glasses, cups, and the newspaper. No balcony works if it is so narrow that people have to sit in a row

facing outward. The critical size is hard to determine, but it is at least six feet. The following drawing and photograph show roughly why:



Six feet deep.

Our observations make it clear that the difference between deep balconies and those which are not deep enough is simply astonishing. In our experience, almost no balconies at all which are 3 or 4 feet deep manage to gather life to them or to get used. And almost no balconies which are more than six feet deep are not used.



Narrow balconies are useless.

Two other features of the balcony make a difference in the degree to which people will use it: its enclosure and its recession into the building. As far as enclosure goes, we have noticed that among the deeper balconies, it is those with half-open enclosures around them - columns, wooden slats, rose-covered trellises - which are used

most. Apparently, the partial privacy given by a half-open screen makes people more comfortable - see [Half-Open Wall \(193\)](#)

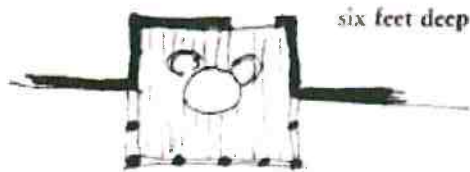


Not this this.

And recesses seem to have a similar effect. On a cantilevered balcony people must sit outside the mass of the building; the balcony lacks privacy and tends to feel unsafe. In an English study ("Private Balconies in Flats and Maisonettes," *Architect's Journal*, March 1957, pp. 372-76), two-thirds of the people that never used their balconies gave lack of privacy as their reason, and said that they preferred recessed balconies, because, in contrast to cantilevered balconies, the recesses seemed more secure.

Therefore:

Whenever you build a balcony, a porch, a gallery, or a terrace always make it at least six feet deep. If possible, recess at least a part of it into the building so that it is not cantilevered out and separated from the building by a simple line, and enclose it partially.



Enclose the balcony with a low wall - [Sitting Wall \(243\)](#), heavy columns - [Column Places \(226\)](#), and half-open walls or screens - [Half-Open Wall \(193\)](#). Keep it open toward the south - [Sunny Place \(161\)](#). Treat it as an [Outdoor Room \(163\)](#), and get the details of its shape and its construction from [The Shape Of Indoor Space \(191\)](#). . . .

Add Pattern to Bookmarks

[A Pattern Language](#) is published by Oxford University Press, Copyright Christopher Alexander, 1977.

Sitting on the Porch

baconfromacorns.com/sitting-on-the-porch/

July 5, 2017



“I cannot separate it [watching the world go by] from the porch where it occurs. The action and the space are indivisible. The action is supported by this kind of space. The space supports this kind of action. The two form a unit, a pattern of events in space.”

Christopher Alexander, *The Timeless Way of Building*

One of the most wonderful aspects of the natural order of times and seasons is the different parts of a day. For many of us, summer means daytime temperatures that can be downright prohibitive. It can be hard to plan on doing something outdoors when the heat might be overwhelming. Besides, a number of those outdoor activities are not for everyone in the household, since they are age selective.

But everyone can enjoy sitting outside together in the evening on the patio, porch, deck, or lawn. It would be hard to say just how central this activity was to the social and cultural life of past generations. Before air conditioning, television, and automobiles, and a number of other household-changing technologies, people were practically driven outside on a summer evening. They sat together with others of their household, and they often found themselves welcoming friends or neighbors into their circle. Goodness knows what they spoke of—presumably the little things of life as well as some bigger things, and it was surely common that individuals would have hand-work to give rhythm and background to the conversation and the passing of time.

I presume nobody needed to say, “Meet on the porch at 7pm,” or “Get out here Kids, it’s time for

<https://www.printfriendly.com/p/g/AeckvM>

9/4/2018

porch-sitting.”

Now we need to be realistic. It will take planning and artfulness if the household is going to be sitting somewhere all—or reasonably all—together. But we need not fret. Let’s just do it. It is within our power to orchestrate it, or at least to make conditions conducive to it. Depending on the age of children, it might simply work for parents to go somewhere and just sit down. And stay there a while. The others might just come.

This is the season for doing it outdoors: on porch, patio, deck, or lawn. It might not seem like we are ‘doing’ very much at all. But this simple activity might just be a springboard to an unexpected wealth of other activities, and in any case, of being together.

~ ~ ~

This is the second in a series: **What To Do This Summer**.

Christopher Alexander (1936–) was born in Austria and is currently an emeritus professor of architecture at the University of California, where he taught for almost forty years. He has been widely influential through his theories of architecture, and is especially known for his 1977 book *A Pattern Language*.

Other posts on Christopher Alexander, including the series called [Restoring Home Life Room by Room](#), can be found [HERE](#).

Image: Missouri sharecroppers. 1930’s



[John Cuddeback](#)

Husband, father, and professor of Philosophy. *Bacon from Acorns* springs from one conviction: there is an ancient wisdom about how to live the good life in our homes, with our families; and it is worth our time to hearken to it. Let’s rediscover it together. [Learn more](#).

YOU MAY ALSO LIKE: