



LAWRENCE HISTORIC RESOURCES COMMISSION
AGENDA FOR **FEBRUARY 16, 2017**
CITY HALL, 6 E 6TH STREET
6:30 PM

SPECIAL NOTICE: THE CITY OF LAWRENCE HAS EXECUTED AN AGREEMENT WITH THE STATE HISTORIC PRESERVATION OFFICER TO CONDUCT STATE PRESERVATION LAW REVIEWS AT THE LOCAL LEVEL. THEREFORE, THE LAWRENCE HISTORIC RESOURCES COMMISSION WILL MAKE ALL DETERMINATIONS REGARDING PROJECTS THAT REQUIRE REVIEW UNDER K.S.A. 75-2724, AS AMENDED.

ITEM NO. 1: COMMUNICATIONS

- A. Receive communications from other commissions, State Historic Preservation Officer, and the general public.
Mugan-Olmsted-Stanford House listed in the Register of Historic Kansas Places
- B. Disclosure of ex-parte communications.
- C. Declaration of abstentions for specific agenda items by commissioners.
- D. Committee Reports
 - 1. ARC Report on DR-16-00454 1327 New Hampshire Street; New Accessory Structure (This item requires a vote from the HRC for final approval of the plan with the exact changes the HRC requested.)
 - 2. ARC Report on DR-16-00530 817 New York Street; New Residential Construction; (This item requires a vote from the HRC for final approval of the plan with the exact changes the HRC requested.)

ITEM NO. 2: CONSENT AGENDA

- A. December 15, 2016 & January 19, 2017 Action Summaries
- B. Administrative Approvals
 - 1. DR-16-00533 1321 Massachusetts Street; Exterior Rehabilitation; Certificate of Appropriateness
 - 2. DR-16-00542 806 Massachusetts Street; Rental License; State Law Review
 - 3. DR-16-00540 918 Massachusetts Street; Sign Permit; Downtown Design Guidelines Review, State Law Review, and Certificate of Appropriateness
 - 4. DR-16-00543 835 Maine Street; Residential Remodel; Certificate of Appropriateness
 - 5. DR-16-00557 129 E. 10th Street; Sign Permit; Downtown Design Guidelines and Certificate of Appropriateness
 - 6. DR-16-00559 645 Massachusetts Street; Mechanical Permit; Downtown Design Guidelines Review

7. DR-17-00006 745 Vermont Street; Sign Permit; State Law Review, Downtown Design Guidelines Review, and Certificate of Appropriateness

ITEM NO. 3: PUBLIC COMMENT

ADDRESSING THE COMMISSION: The public is allowed to speak to any items or issues that are not scheduled on the agenda after first being recognized by the Chair. As a general practice, the Commission will not discuss/debate these items, nor will the Commission make decisions on items presented during this time, rather they will refer the items to staff for follow up. Individuals are asked to come to the microphone, sign in, and state their name and address. Speakers should address all comments/questions to the Commission.

AGENDA ITEMS MAY BE TAKEN OUT OF ORDER AT THE COMMISSION'S DISCRETION

- ITEM NO. 4:** DR-16-00534 909 Pennsylvania Street; New Residential Construction; Certificate of Appropriateness. The parcel is located in the environs of the Edmondson House. Submitted by East Lawrence Partners, LLC, property owner of record.
- ITEM NO. 5:** L-16-00535 Public hearing for consideration of placing the property located at 323 Illinois Street, the Issac N. VanHoesen Residence, on the Lawrence Register of Historic Places. Submitted by Lawrence Preservation Alliance on behalf of Brian W. Perkins, the property owner of record. Adopt Resolution 2017-01, if appropriate.
- ITEM NO. 6:** L-16-00536 Public hearing for consideration of placing the property located at 1645 Louisiana Street, Benjamin F. Akers House, on the Lawrence Register of Historic Places. Submitted by Lawrence Preservation Alliance on behalf of Philip C. and Linda D. Wedge, property owners of record. Adopt Resolution 2017-02 if appropriate.
- ITEM NO. 7:** L-16-00537 Public hearing for consideration of placing the property located at 645 Mississippi Street, Robert E. House Residence, on the Lawrence Register of Historic Places. Submitted by Lawrence Preservation Alliance on behalf of John Frydman & Laurie Martin-Frydman, property owners of record. Adopt Resolution 2017-03, if appropriate.
- ITEM NO. 8:** DR-16-00528 707 Massachusetts Street; New Commercial Addition; State Law Review, Downtown Design Guidelines Review, and Certificate of Appropriateness. The vacant lot is adjacent to 701 Massachusetts Street and is located in Lawrence's Downtown Historic District and the Downtown Urban Conservation Overlay District. The property is also located in the environs of Millers Hall (725 Massachusetts) and the House Building (729 Massachusetts). Submitted by Paul Werner Architects on behalf of Eldridge Hotel LLC, property owner of record.
- ITEM NO. 9:** DR-16-00452 & DR-17-00018 125 E. 1st Street; Commercial Remodel and Rooftop Dining Addition Including Structure; Downtown Design Guidelines Review and Certificate of Appropriateness. The property is located in the Downtown Urban Conservation Overlay District and the environs of the

Shalor Eldridge Residence (945 Rhode Island Street), Lawrence Register of Historic Places. Submitted by Adams Architects, LLC on behalf of Berkeley Plaza Inc., property owner of record.

ITEM NO. 10: MISCELLANEOUS MATTERS

- A. Provide comment on Zoning Amendments, Special Use Permits, and Zoning Variances received since January 19, 2017.
- B. Review of any demolition permits received since January 19, 2017.
- C. Miscellaneous matters from City staff and Commission members.
 - 1. Certified Local Government Grants
 - 2. Chapter 22 Review Subcommittee Selection

Memorandum

City of Lawrence

Planning and Development Services

TO: Historic Resources Commission
FROM: Lynne Braddock Zollner, Historic Resources Administrator
DATE: February 9, 2017
RE: Agenda Item No. 1D Committee Report for ARC

Background

1. DR-16-00454 1327 New Hampshire Street; New Accessory Structure

The HRC reviewed the proposed new accessory structure to be located at 1327 New Hampshire Street on November 17, 2016. At the meeting, the HRC voted to refer the project to the ARC to find potential alternatives to the plan to address the eastern portion of the structure that contained a balcony element.

2. DR-16-00530 817 New York Street; New Residential Construction

The HRC reviewed the proposed new structure to be located at 817 New York Street on January 19, 2017. At the meeting, the HRC decided to review the project using revised plans that were submitted on January 11, 2017 and not previously reviewed by staff. The HRC voted to refer the project to the ARC to find potential alternatives to the plan to address the fenestration of the structure and the change of a clear dormer element on the south elevation.

ARC Meeting

The ARC met with the applicants for the above projects on February 1, 2017.

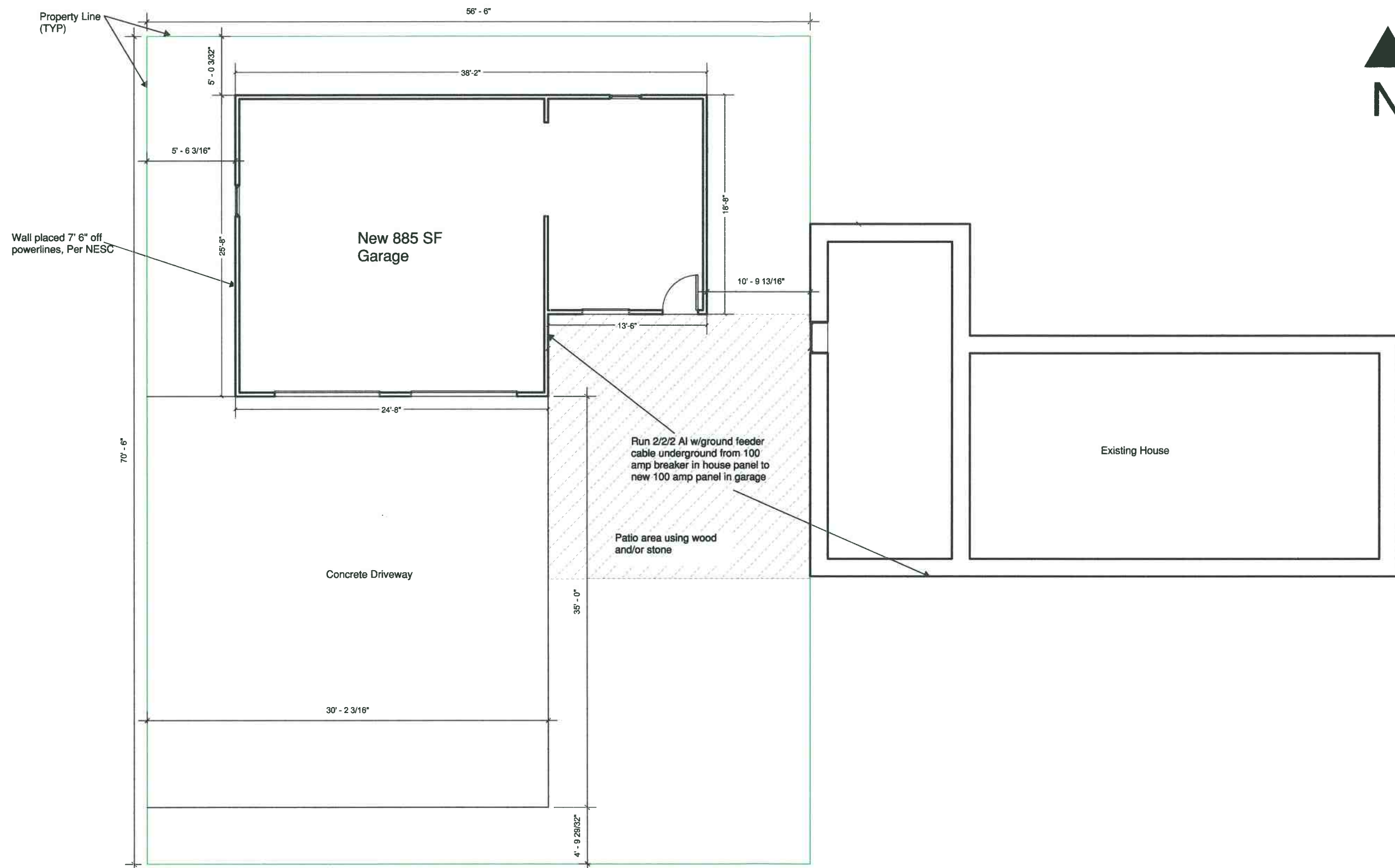
The applicant for DR-16-00454 for a new accessory structure at 1327 New Hampshire submitted plans that completely addressed the HRC concerns for the balcony and access stairs on the east end of the structure. The revised project completely removed the balcony and exterior stairs for the structure. There was no substantial discussion on the project.

The applicant for DR-16-00530 for a new residential duplex structure to be located at 817 New York Street did not submit new plans from the plans reviewed by the HRC on January 11, 2017. The ARC reviewed the original plans that were submitted on December 9, 2016 that were reviewed by staff and the revised submission the HRC reviewed on January 19, 2017. The discussion focus was on the fenestration and size and type of windows on the structure and the second story dormer change on the south elevation. It is important to know that a discussion about the attached garage was not discussed at this meeting as it was not delegated to the ARC for review. After working

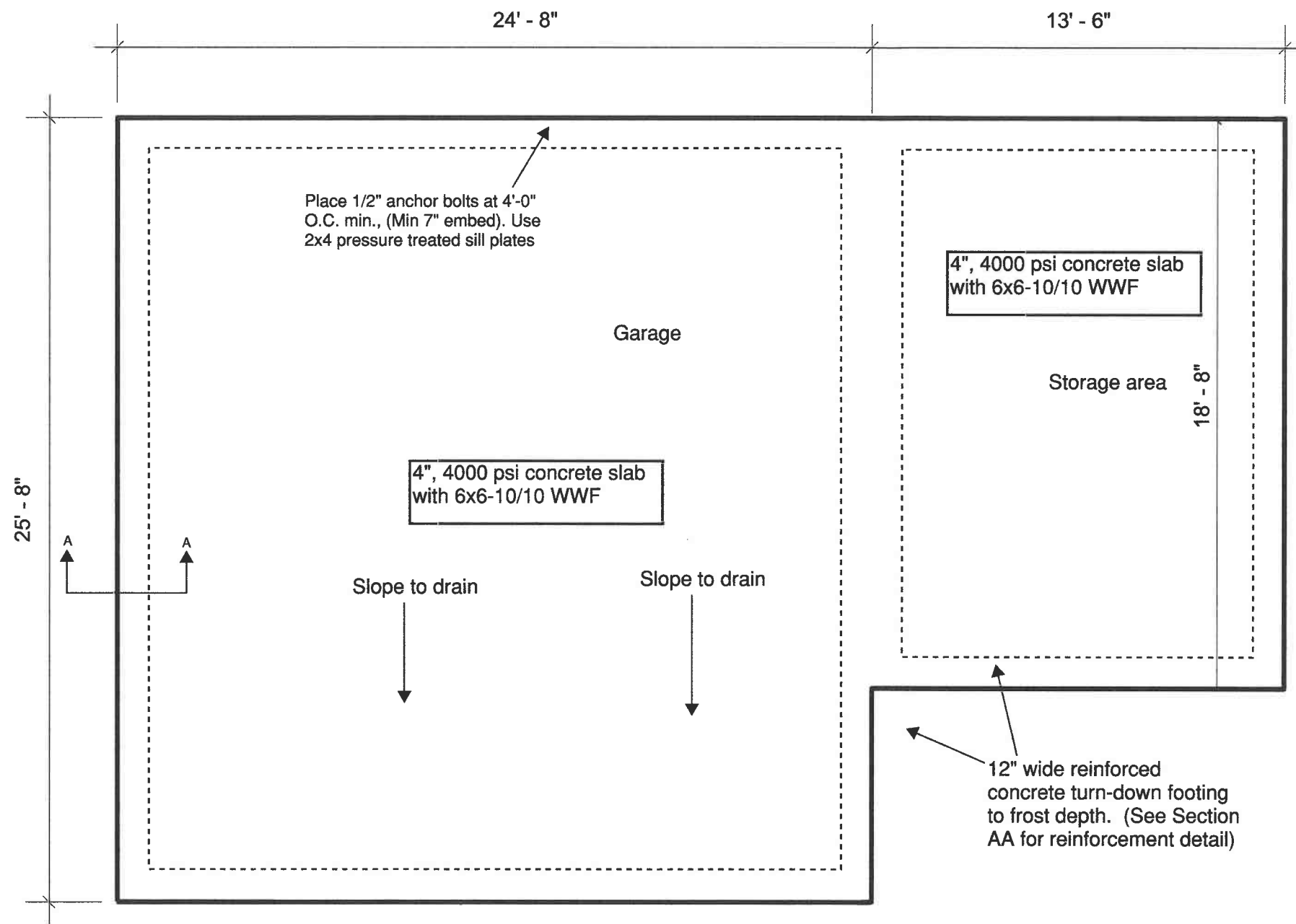
with the applicant, the ARC and the applicant agreed that a window would be added on the north elevation in the living room area that would match the window on the south elevation in a similar location. The ARC and the applicant agreed that window sizes for the structure would be as shown on the original plans submitted on December 9, 2016. The dormer on the south elevation would not continue to intersect with the roof line on the west elevation of the structure. It was discussed that this configuration removed the actual dormer and simply created a continuous roof line. The ARC and the applicant agreed that a true dormer would be used on the south elevation but that it would be slightly widened to the west to create additional space in the interior while keeping a true form of a shed dormer.

ARC Recommendation

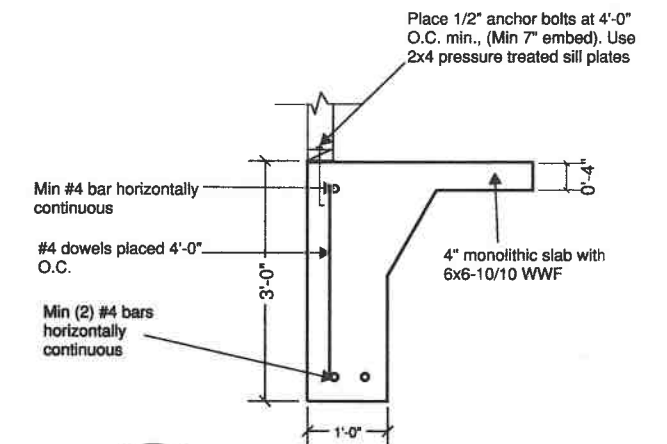
The ARC recommends that the HRC accept the amendments to the plans for both projects as agreed to by the ARC and the applicants.



1 Site Plan
1/8" = 1'-0"

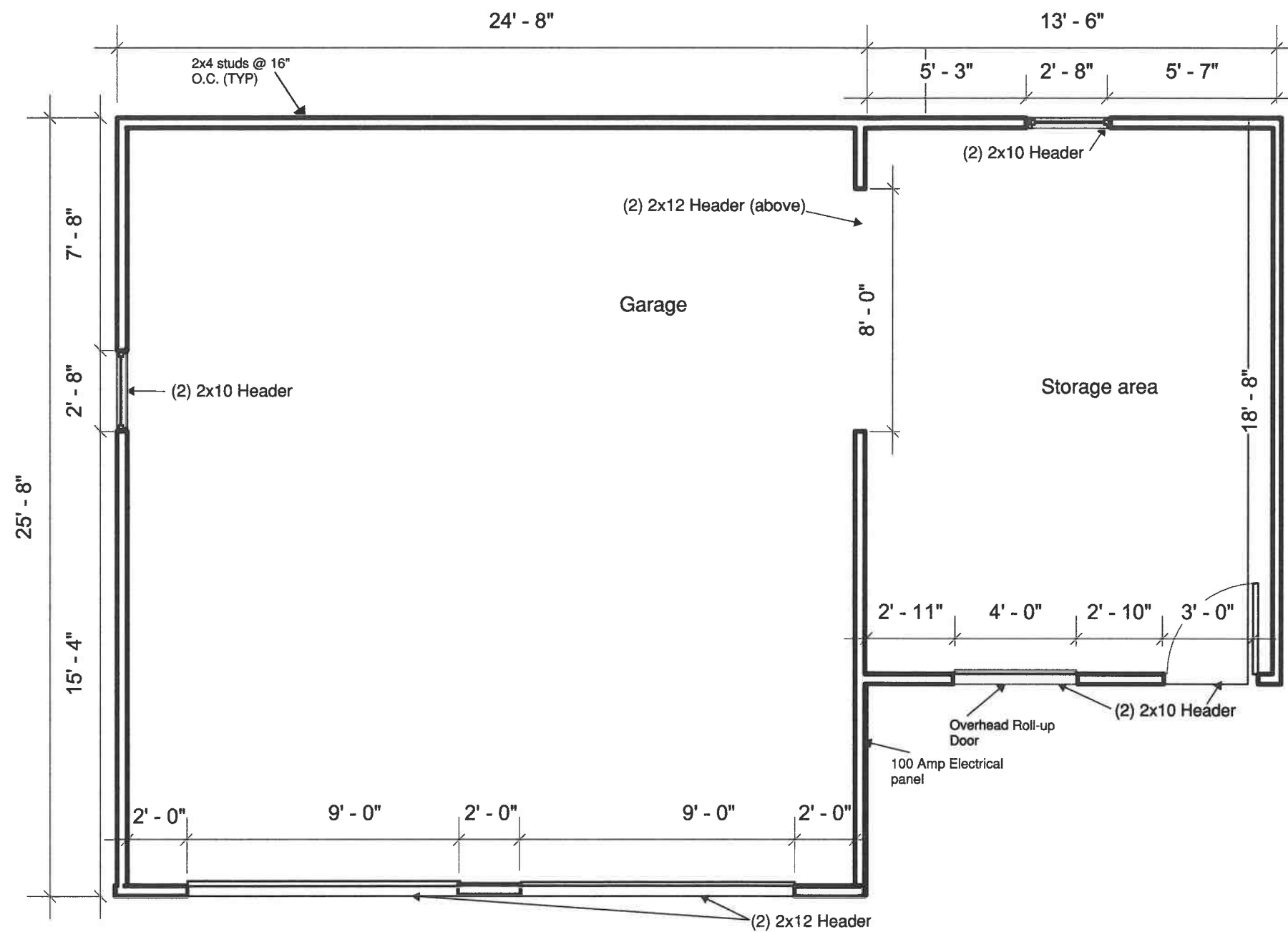


2 Foundation Plan
1/8" = 1'-0"



AA Section AA

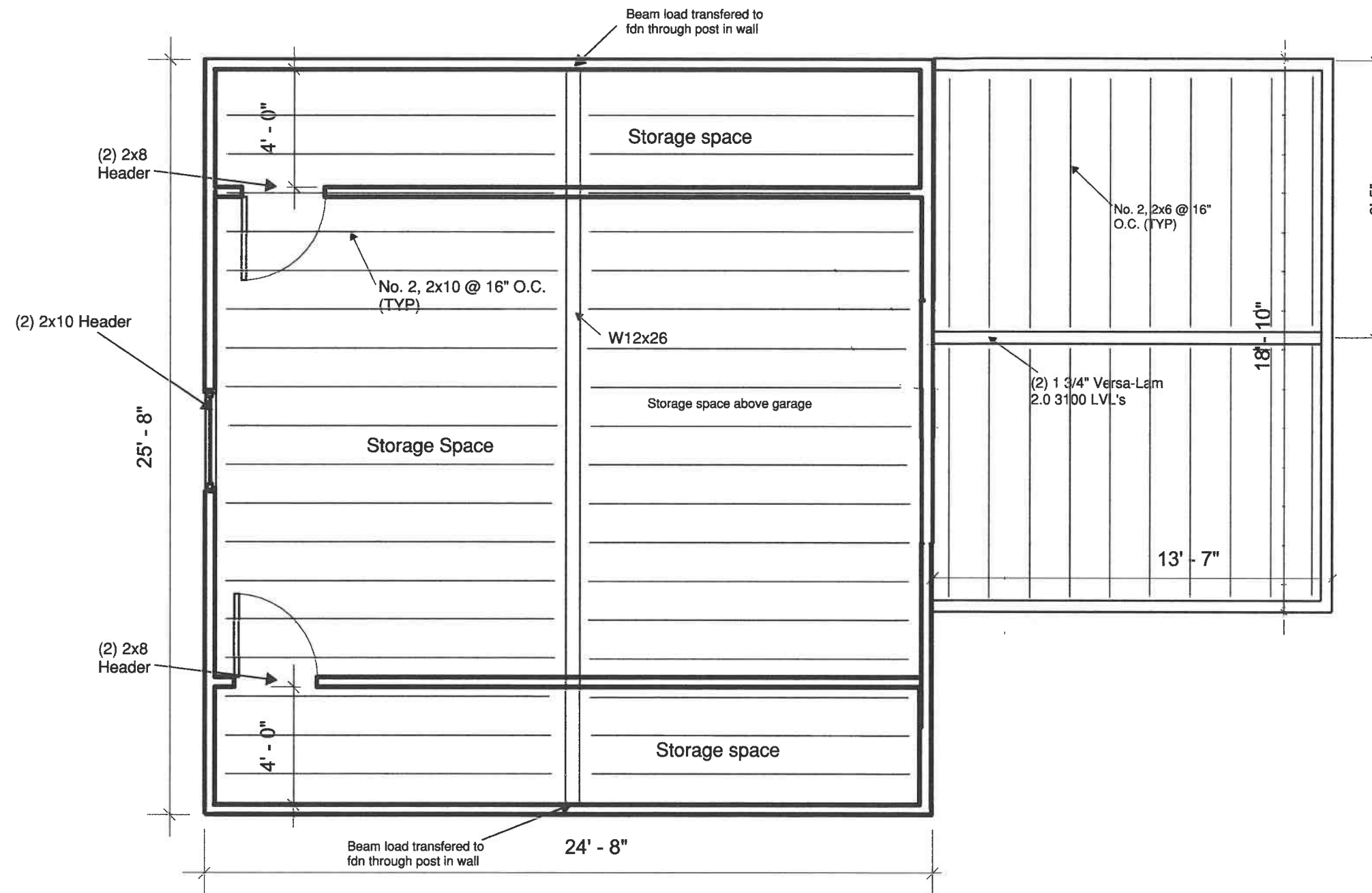
- Notes:
- W = 1'
 - Depth below finished grade = 2.5'
 - Clearance above finish grade = 6"



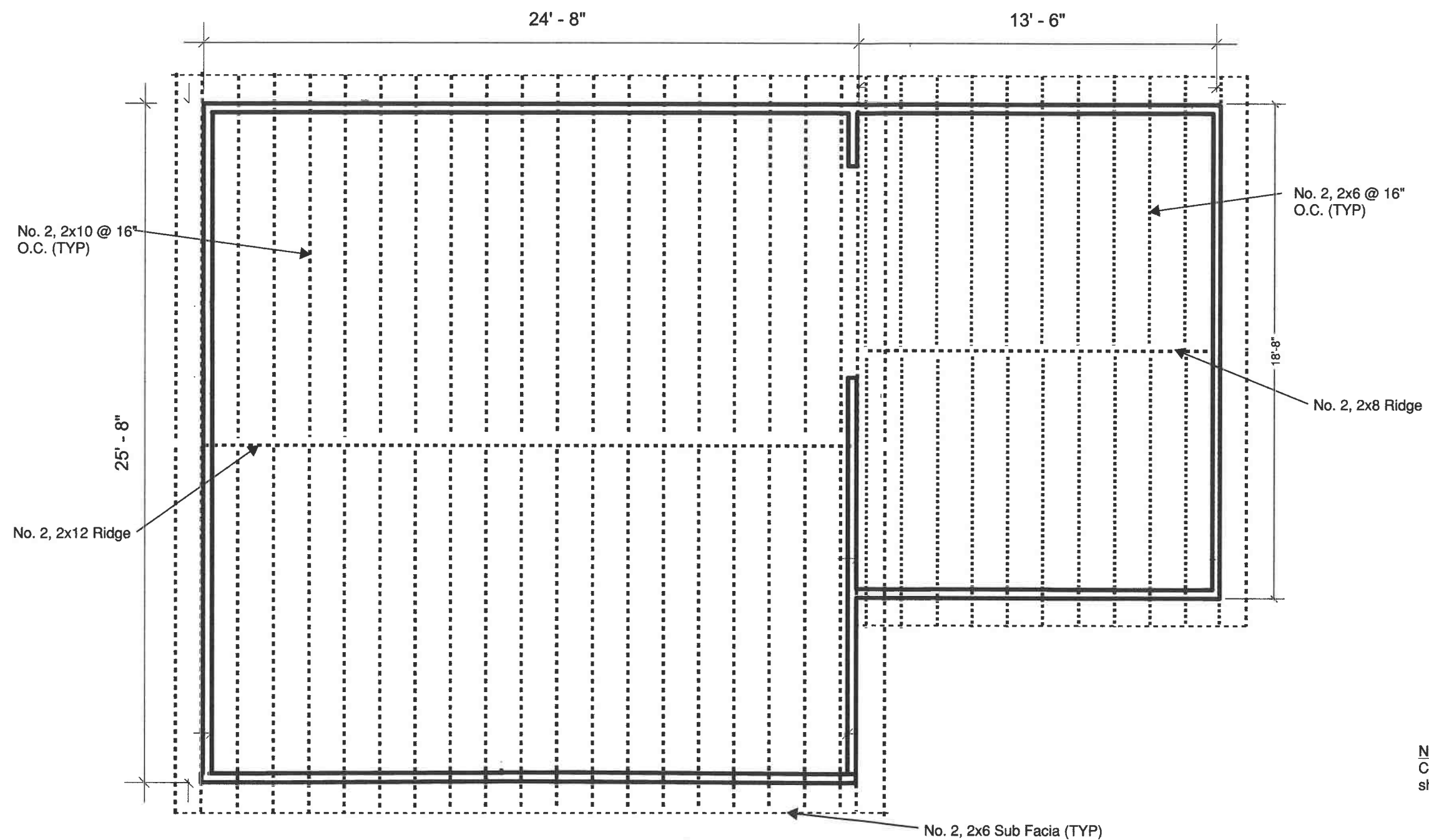
3

1st Floor

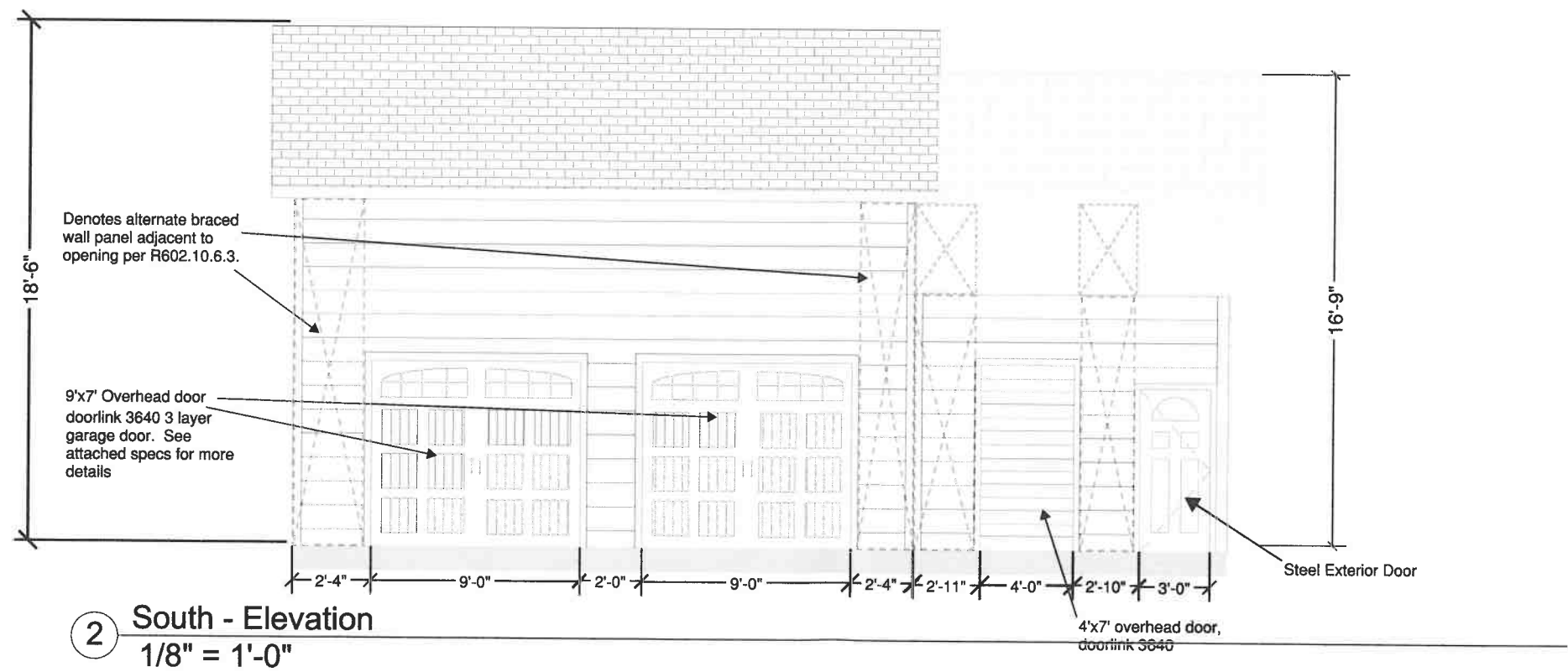
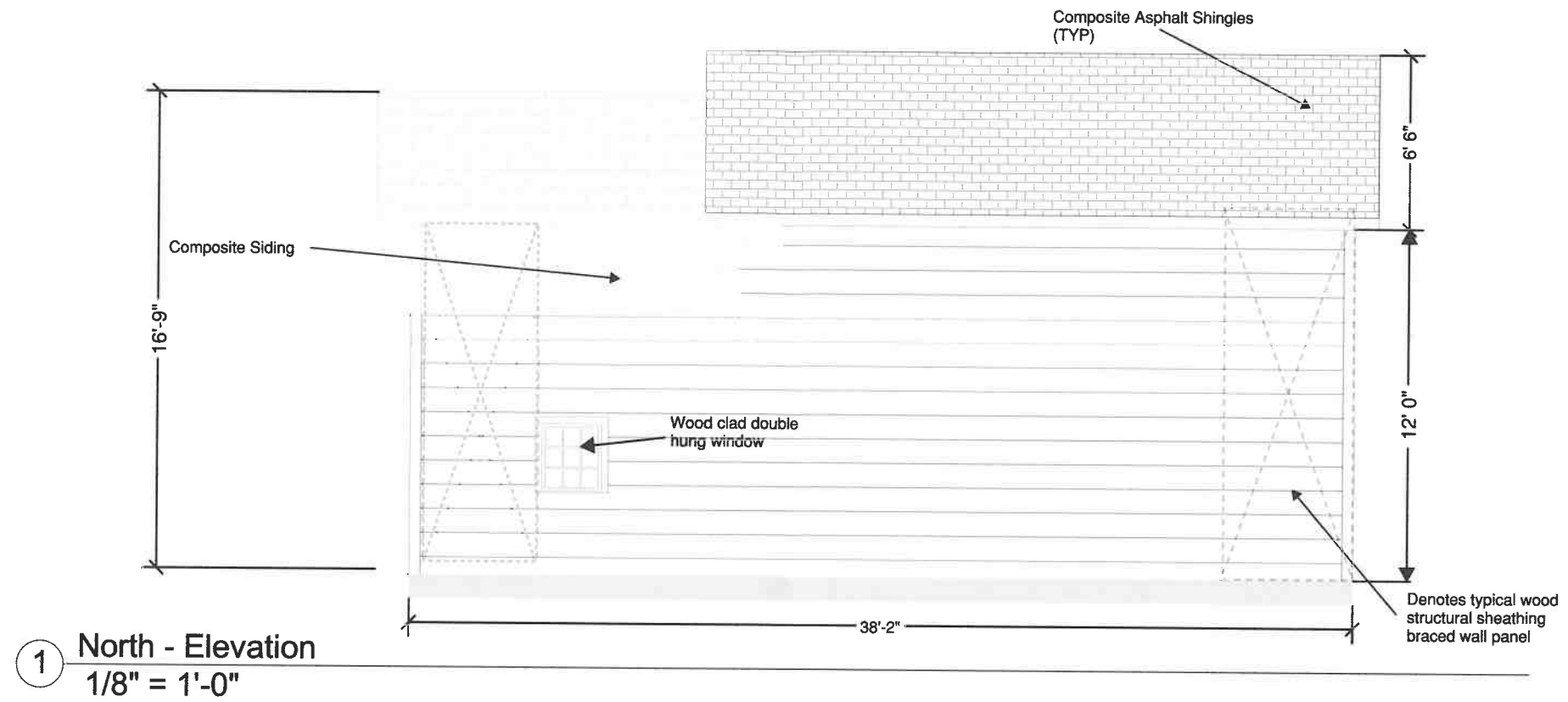
1/8" = 1'-0"

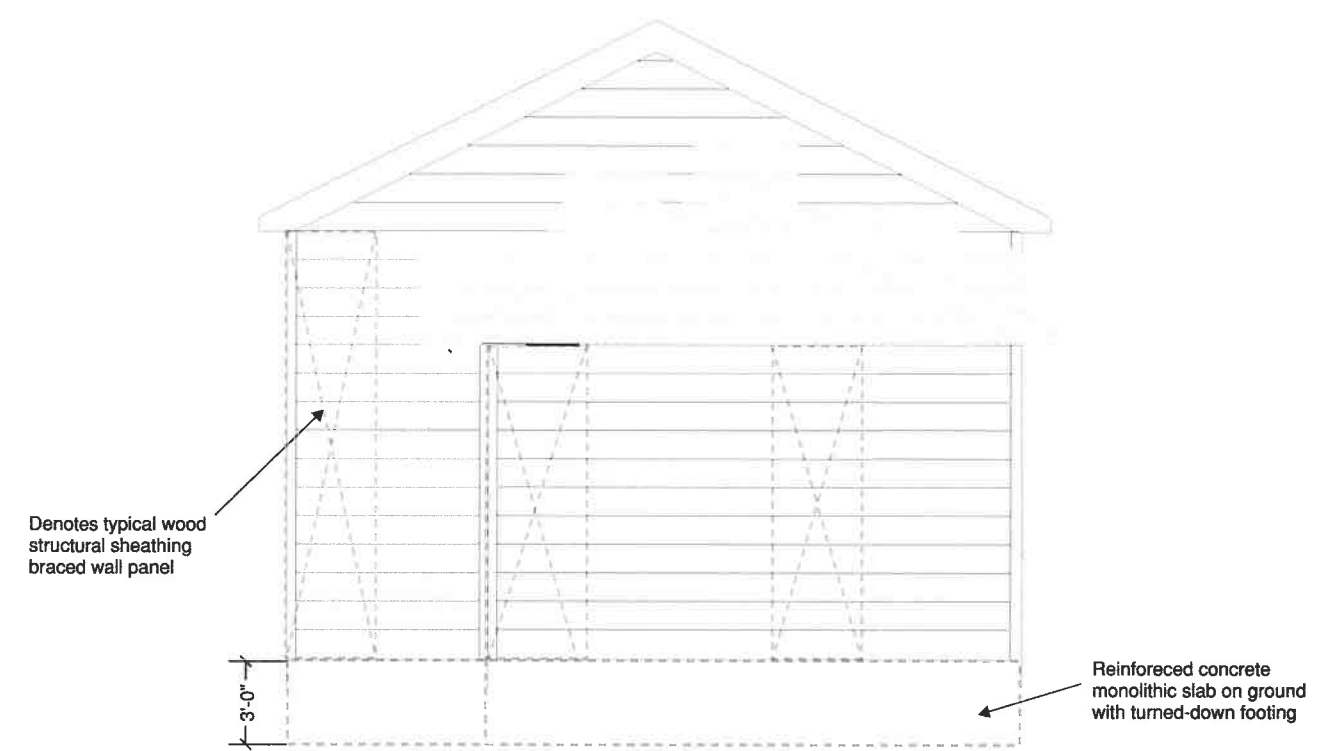


4 2nd Floor
1/8" = 1'-0"

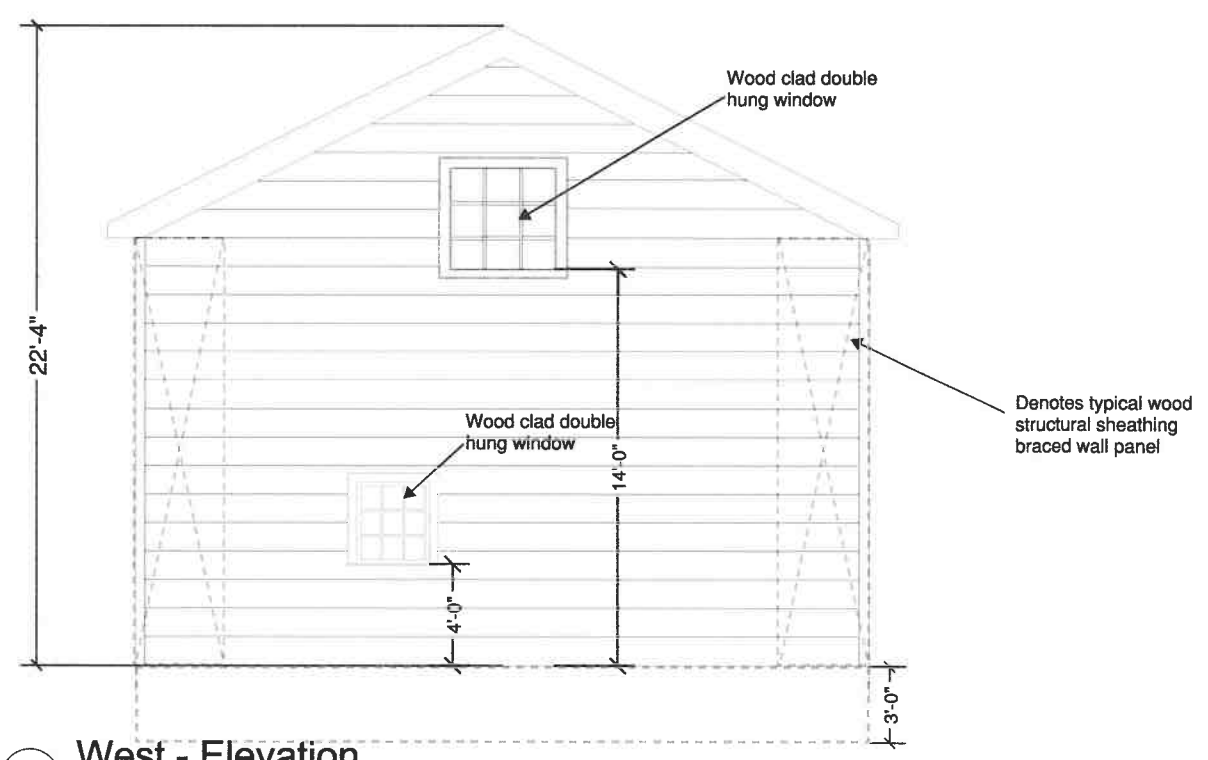


5 Roof Framing Plan
1/8" = 1'-0"

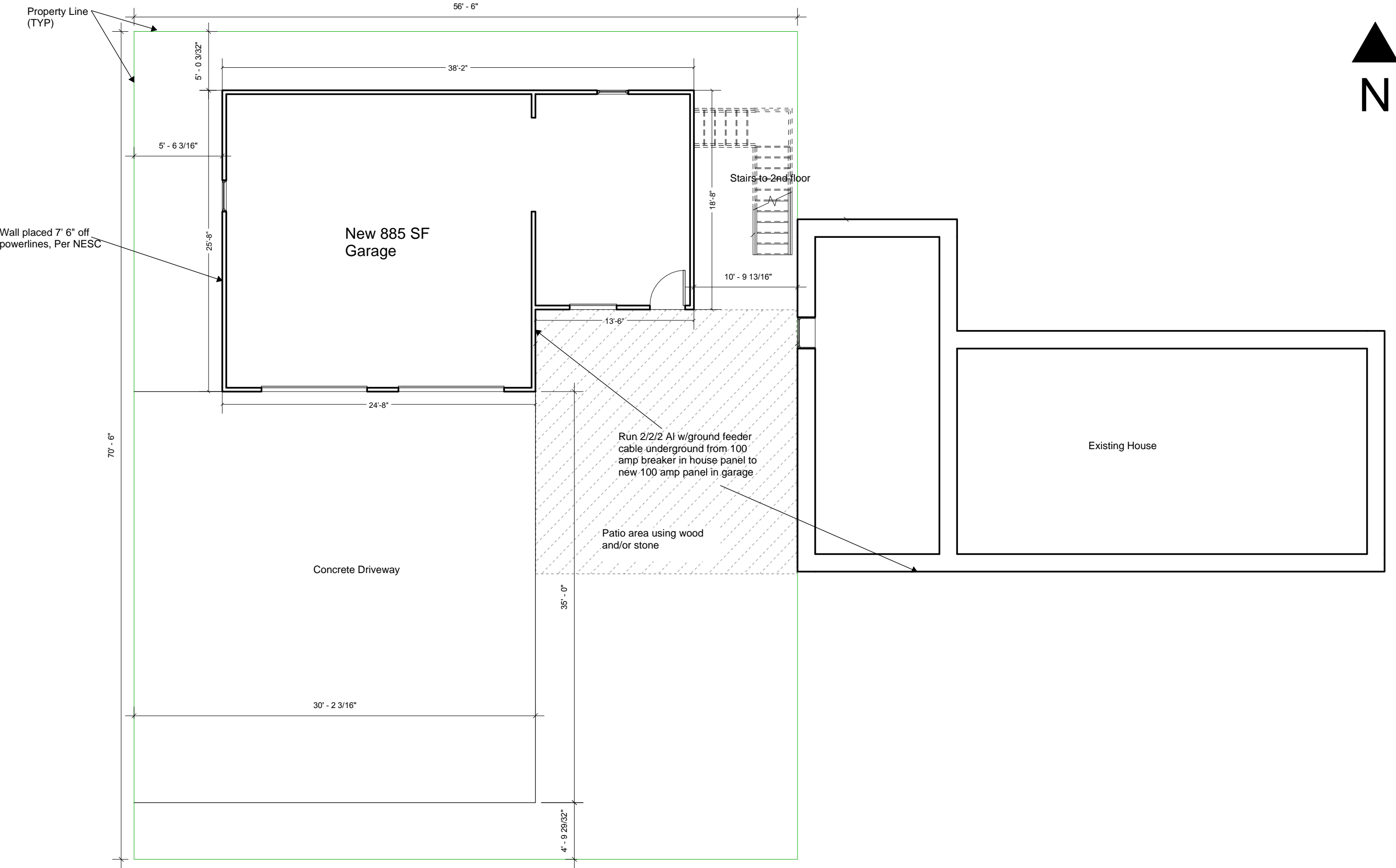




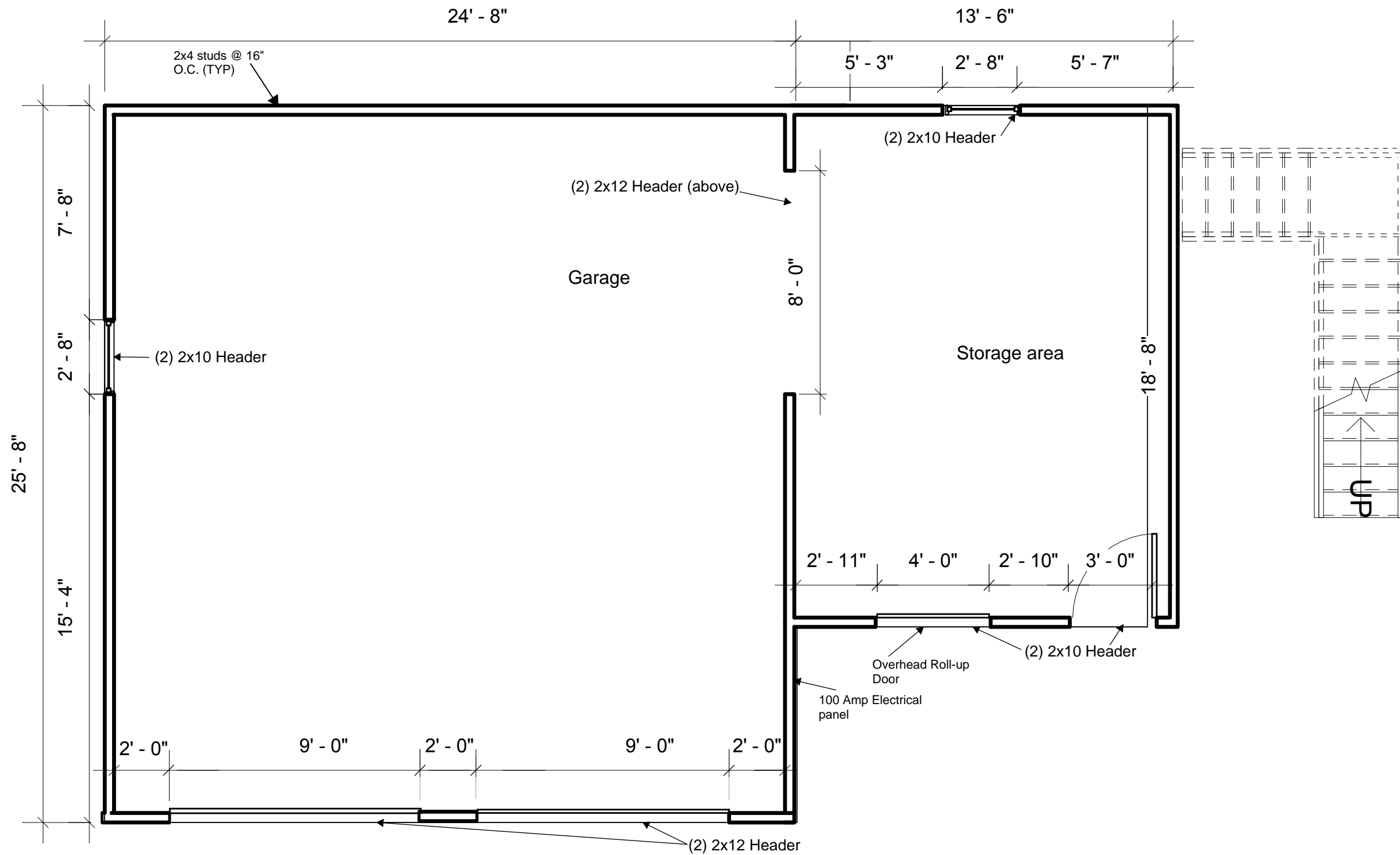
1 East - Elevation
1/8" = 1'-0"



2 West - Elevation
1/8" = 1'-0"



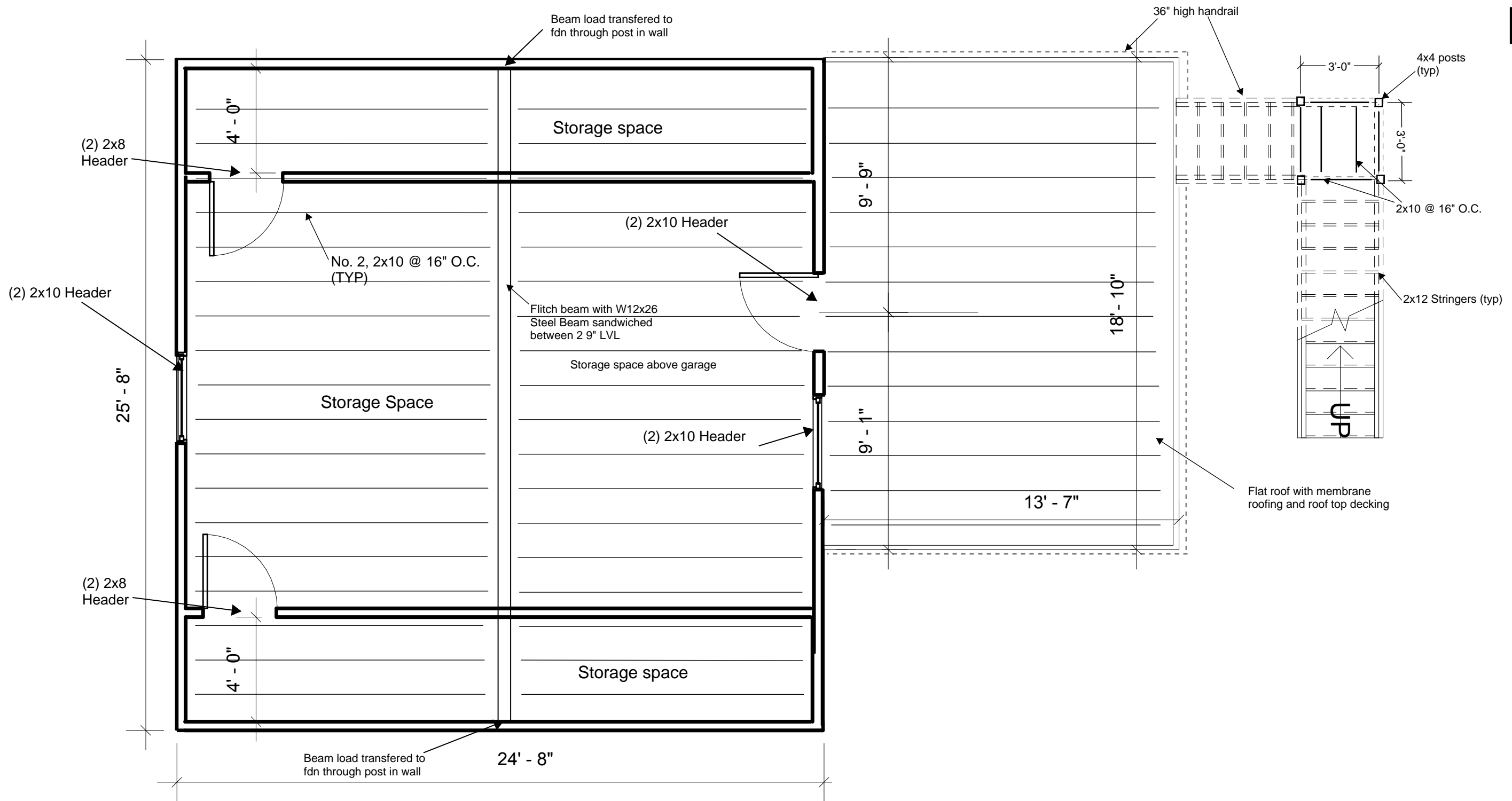
1 Site Plan
1/8" = 1'-0"



3

1st Floor

1/8" = 1'-0"



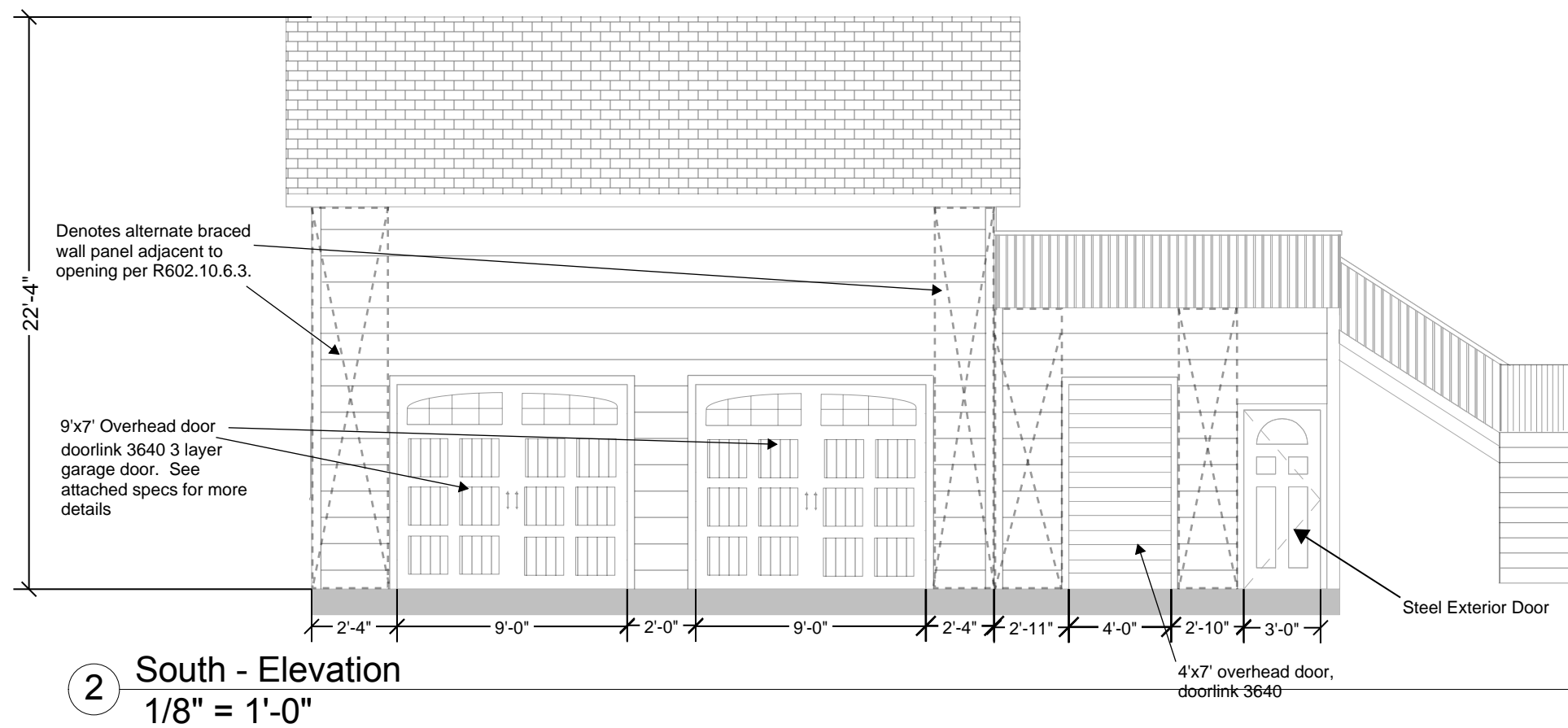
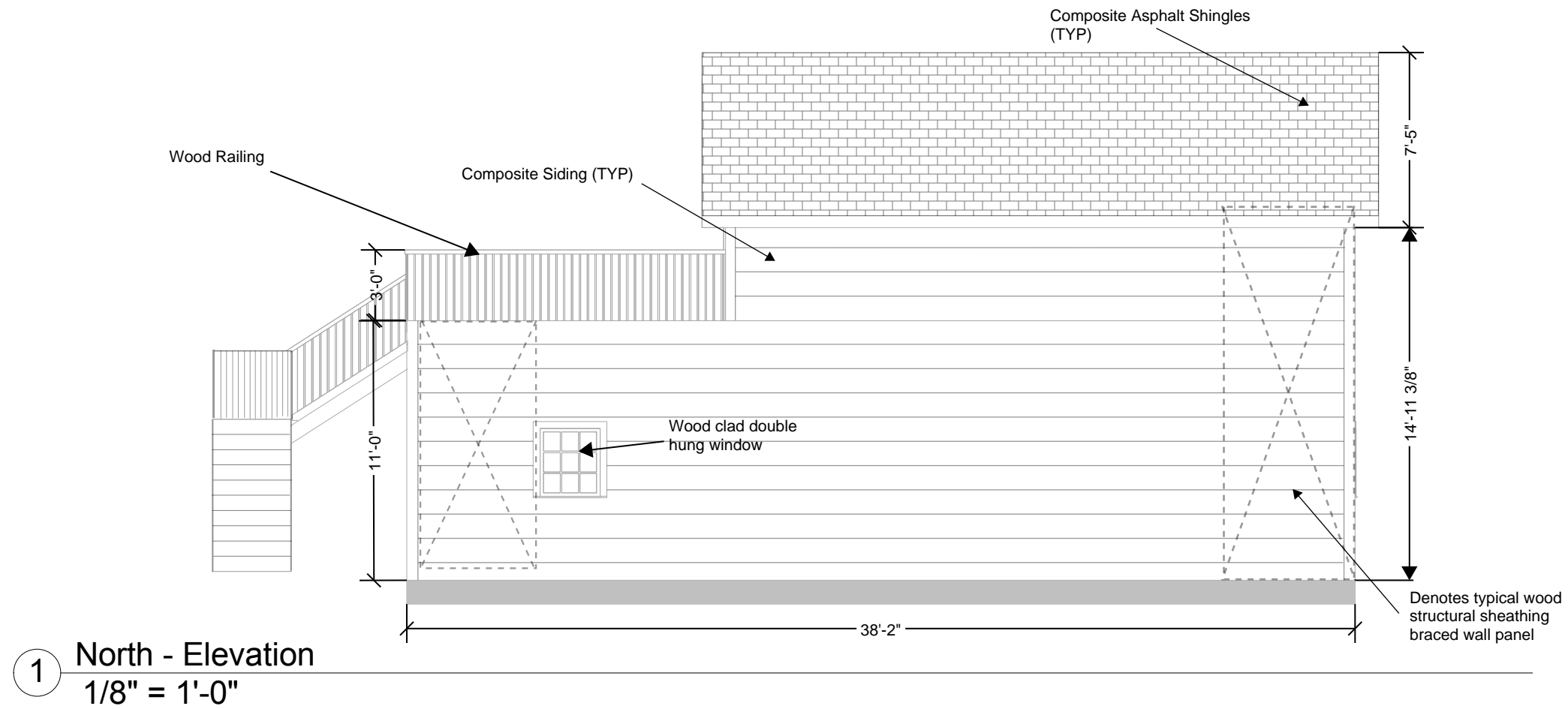
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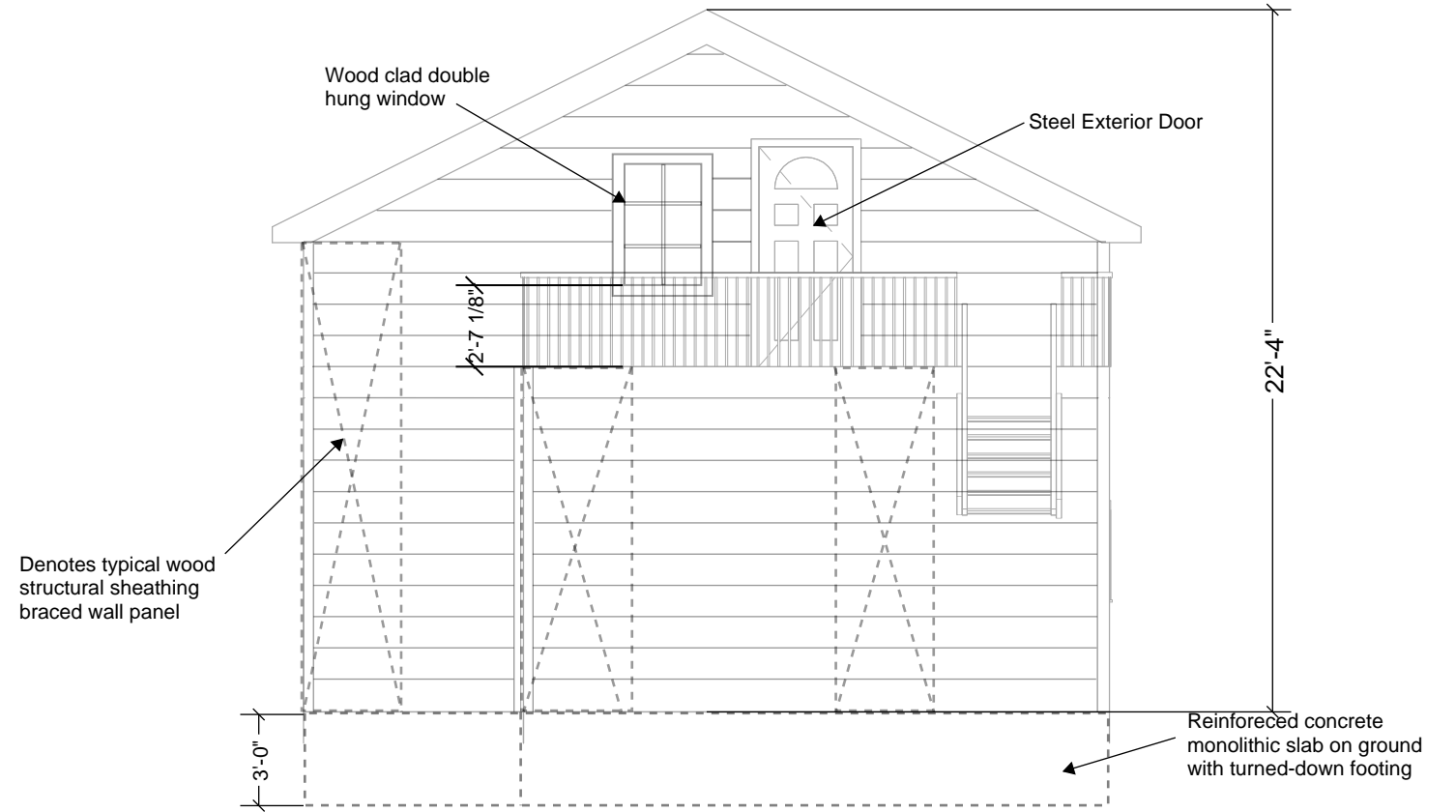
2nd Floor

1/8" = 1'-0"

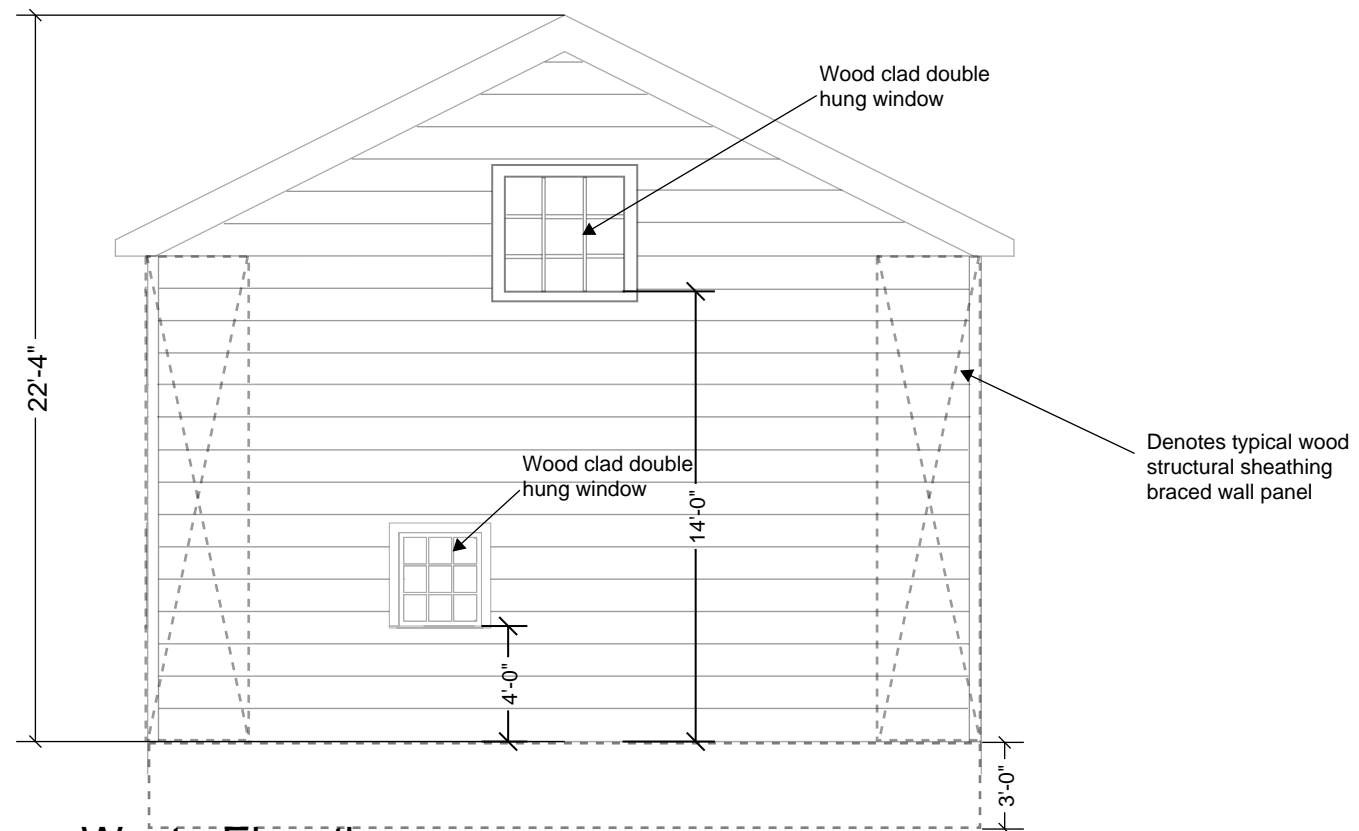
Notes:

- 1) All ceiling joists will be 2x6 @ 16" O.C.
- 2) All rafters will be 2x8 @ 16" O.C.





1 East - Elevation
1/8" = 1'-0"



2 West - Elevation
1/8" = 1'-0"

3640

doorLink
Manufacturing, Inc.®

3 LAYER
SANDWICH CONSTRUCTION

LONG GROOVED PANEL



3640

PAINT

1.0
MIL

EFFICIENCY

10.25
R-VALUE

INTERIOR

STEEL
SKIN



Beautiful wood finishes now available for this model!

2" thick insulated steel sandwich panel constructed of top quality materials. Highly detailed grooved panel, deep pebblegrain texture, and two coat prefinished paint system all combine to enhance the beauty of your home.

Configure your door on our website at

www.DoorLinkMfg.com

3640

3 LAYER SANDWICH CONSTRUCTION

LONG GROOVED PANEL

STANDARD FEATURES

26 GAUGE METAL

Hot dipped galvanized steel construction provides superior strength and durability.

1.0 MIL PAINT SYSTEM

Includes .25 mil rust inhibiting primer and .75 mil exterior top coat that resists fading and chalking while providing consistent color from panel to panel, and long life.

20 GAUGE HOT DIPPED STEEL HINGE PLATES

Galvanized steel hinge plates run the full height of each section at all hinge locations to facilitate the attachment of hinges, handles, struts and step plates.

TONGUE AND GROOVE MEETING RAILS

For superior strength and better sealing against wind, rain and snow.

RIGID ALUMINUM RETAINER

Provides added strength while securing replaceable u-shaped bottom weatherstrip to help keep the elements out.

R VALUE 10.25 INSULATION

Sandwich type construction with polystyrene insulation pressure bonded between two sheets of 26 gauge hot dipped galvanized steel enhances your home's energy savings, makes your door operation quieter, and reduces exterior noise in your garage.

CFC FREE EXPANDED POLYSTYRENE

Environmentally friendly insulation that will not degrade with vibration or time.



Directional wood grain pattern gives the appearance of traditional wood doors.

COLORS



BROCHURE COLOR MAY VARY FROM ACTUAL PRODUCT.

AVAILABLE WINDOWS

#388
SOMERTON



#287
STOCKTON ARCH

#387
STOCKTON



#588
WYNDBRIDGE

#587
STOCKBRIDGE

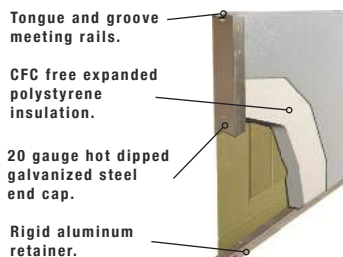


NOT ALL GLAZING OPTIONS MAY BE AVAILABLE FROM ALL DISTRIBUTORS.
NO GLAZING ON 18" SECTIONS.

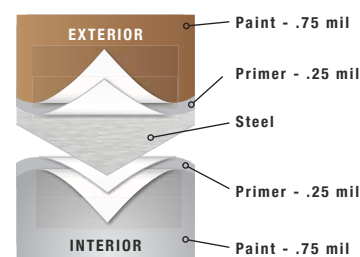
SIZES AVAILABLE

DOOR WIDTH	PANELS WIDE	HEIGHTS AVAILABLE: 6'6" 6'9" 7'0" 7'6" 7'9" 8'0"					
8', 9', 10'	<input type="checkbox"/>	<input type="checkbox"/>					
12', 14'	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				
15', 16', 17', 18'	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
20', 22'	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
24'	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

CONSTRUCTION



PAINT LAYERS

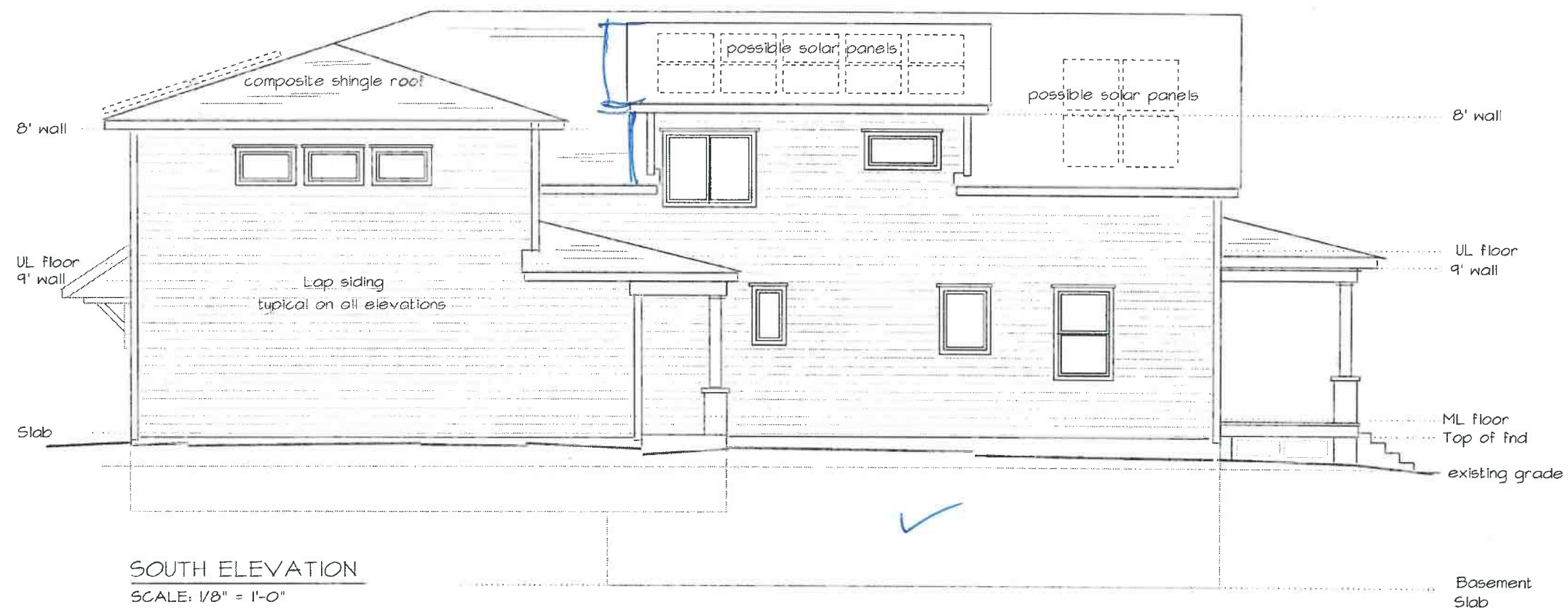


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product
online:

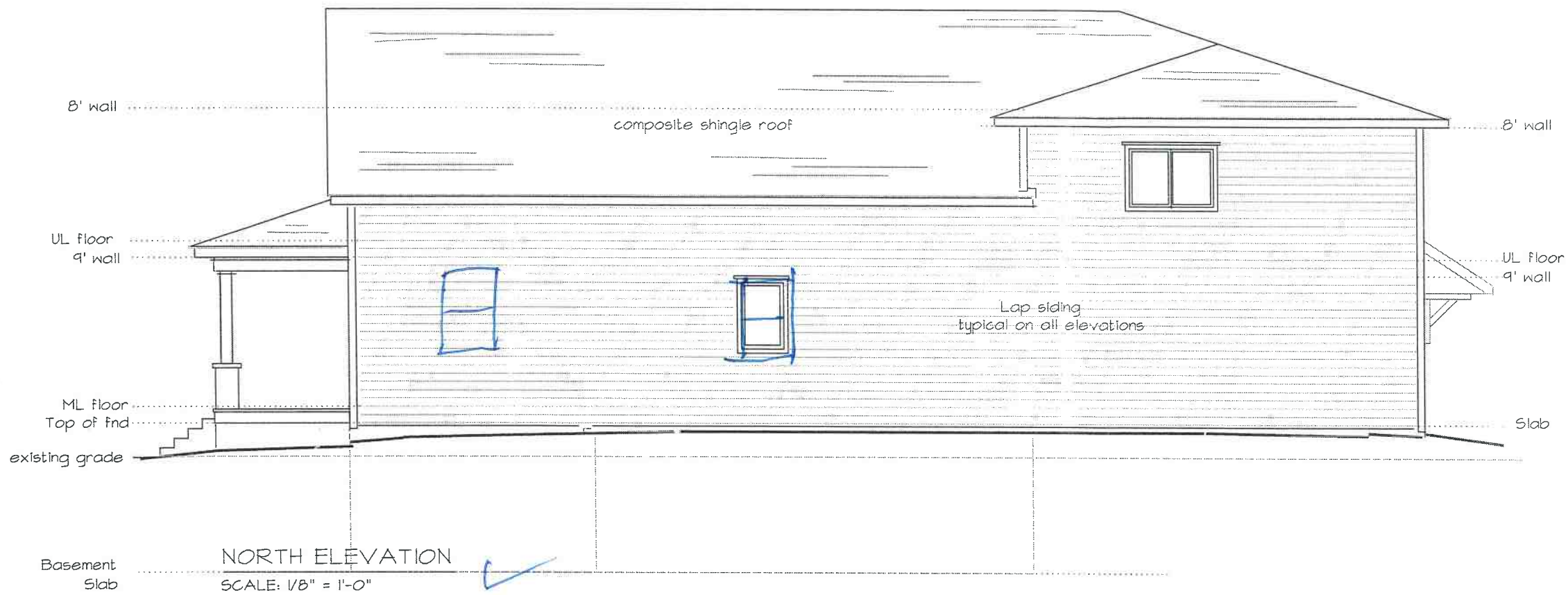




The East House Duplex

HMA
Architects

development plans 12/8/16
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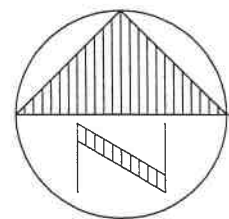
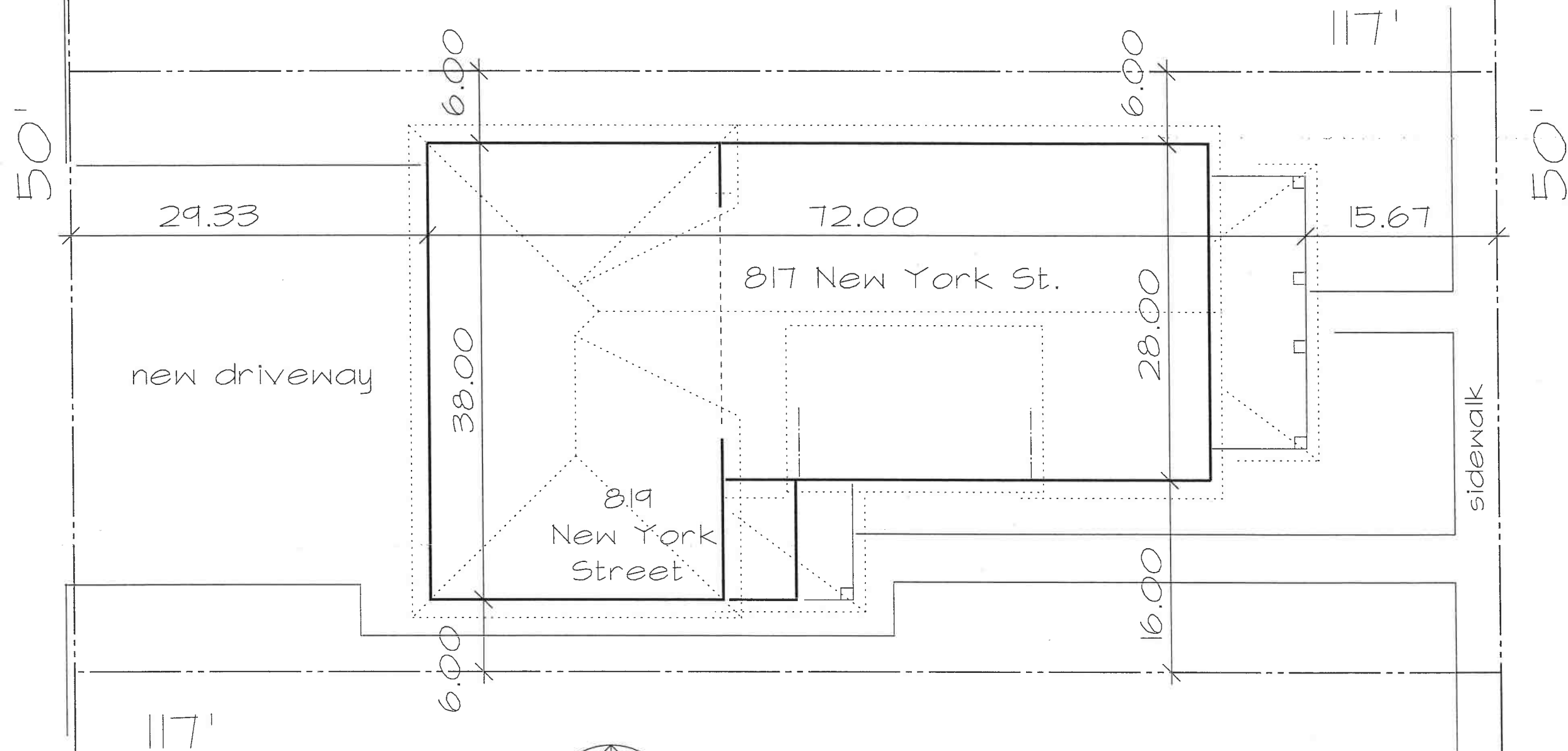
The East House Duplex



development plans 12/8/16 REV 1/10/17
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Legal Description:

Lot 53 New York Street in the City of Lawrence
Douglas, Co. KS. Original townsite 1870



Site Plan

Scale: 1" = 10'-0"

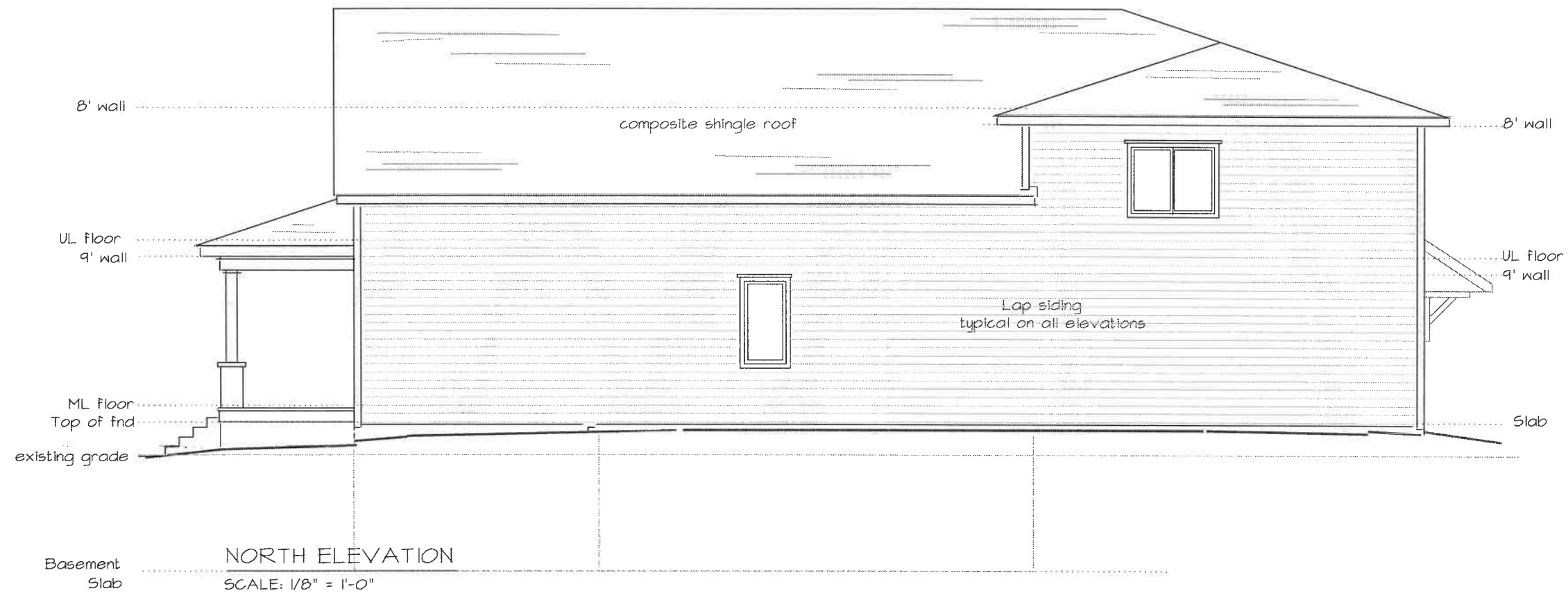


The East House Duplex



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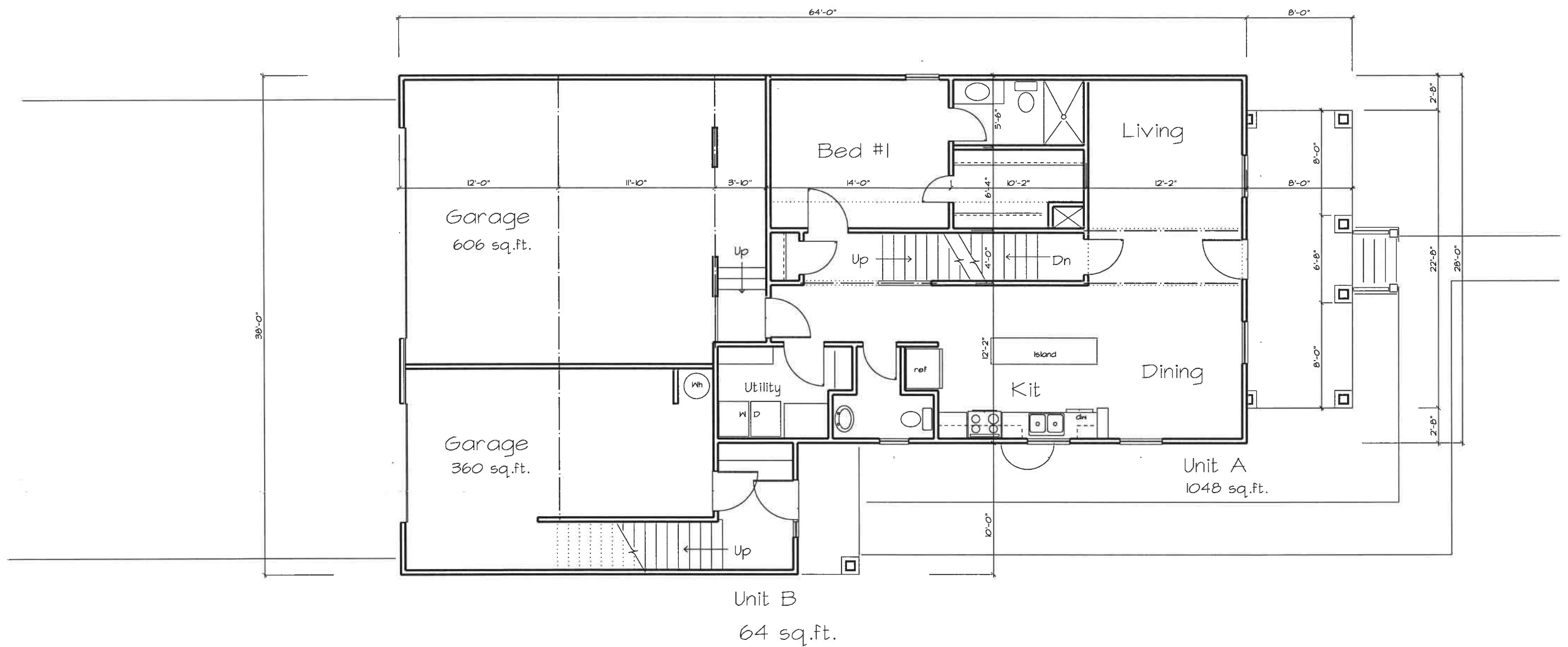




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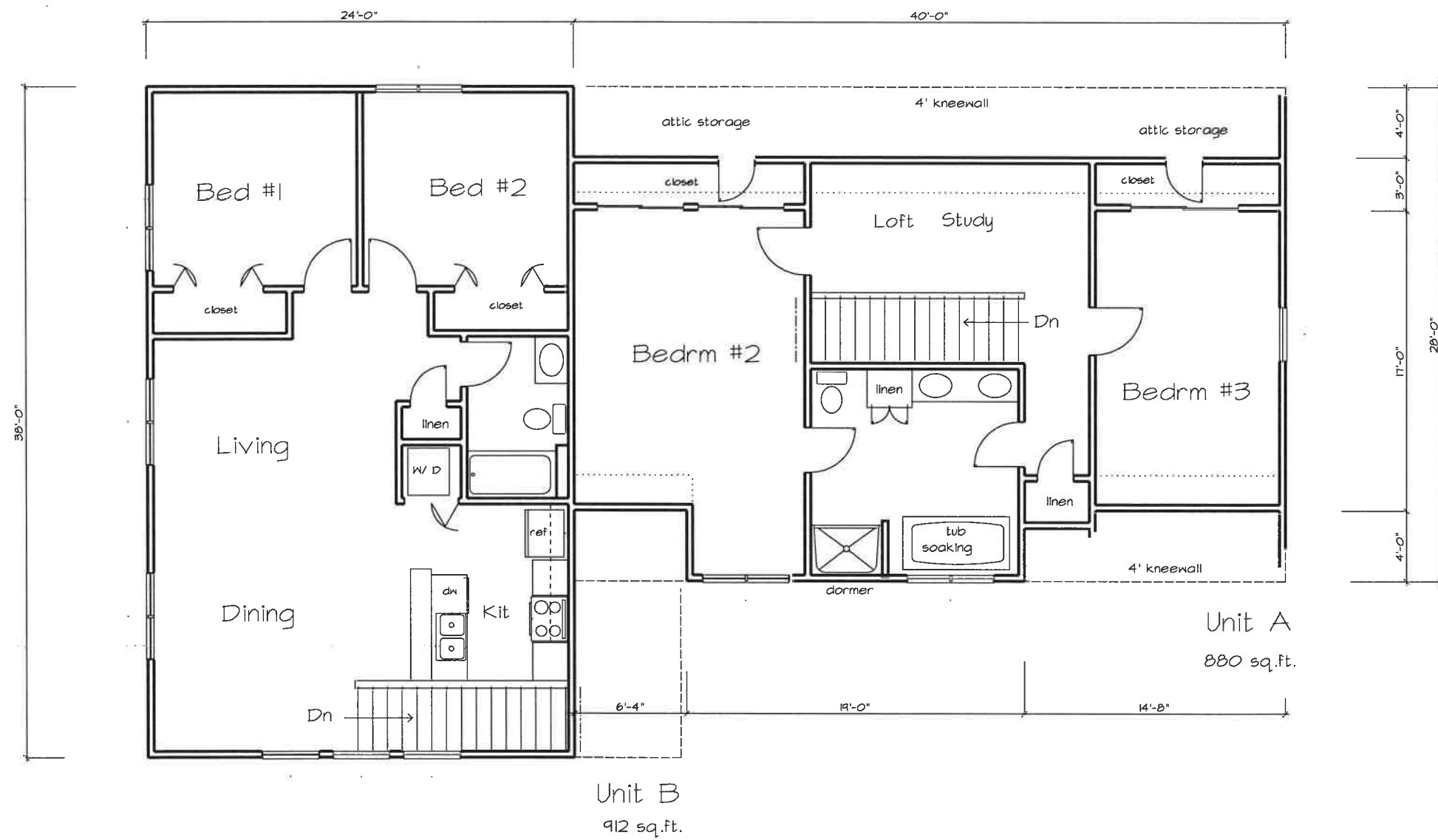
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FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

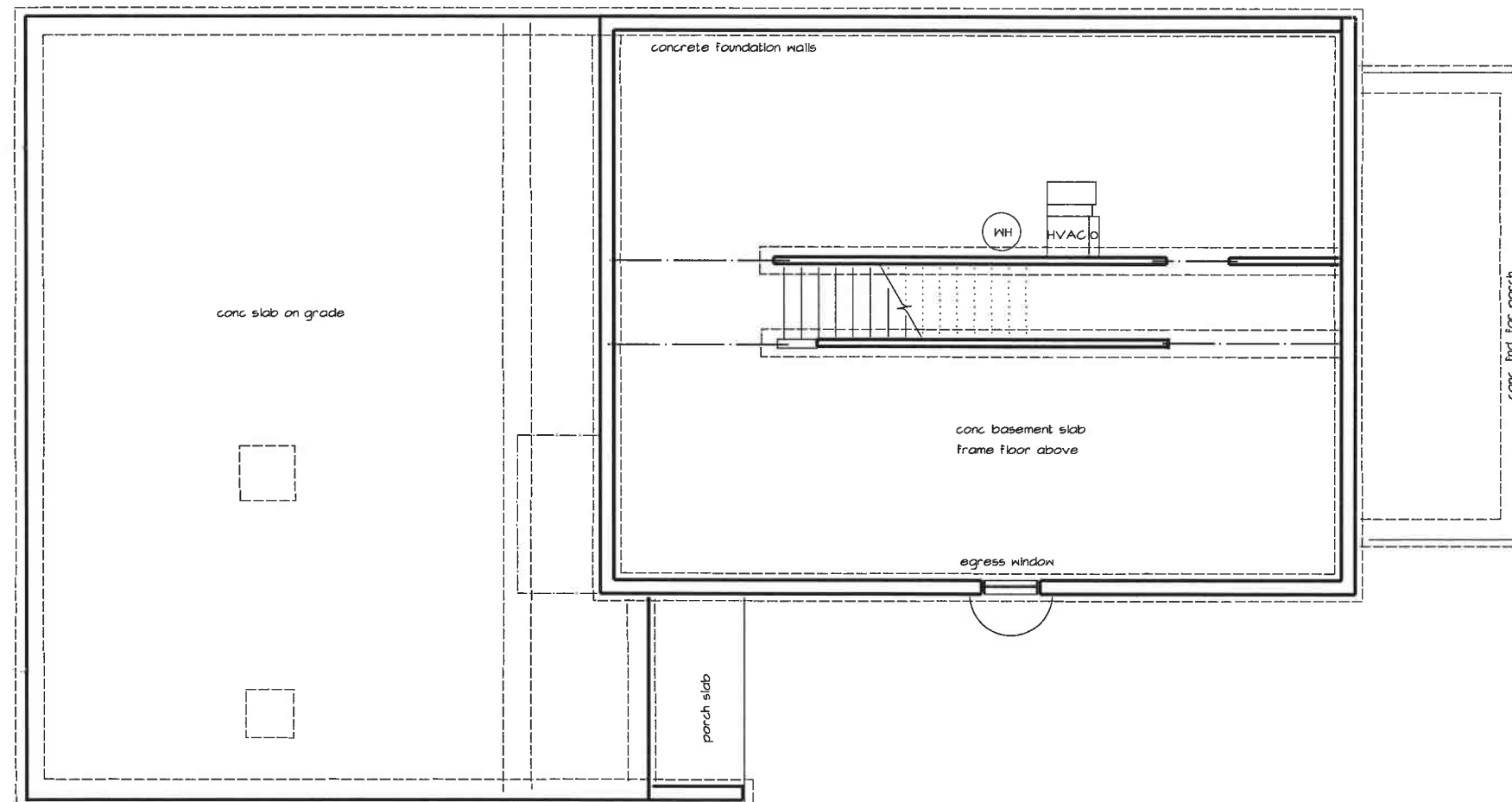


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SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

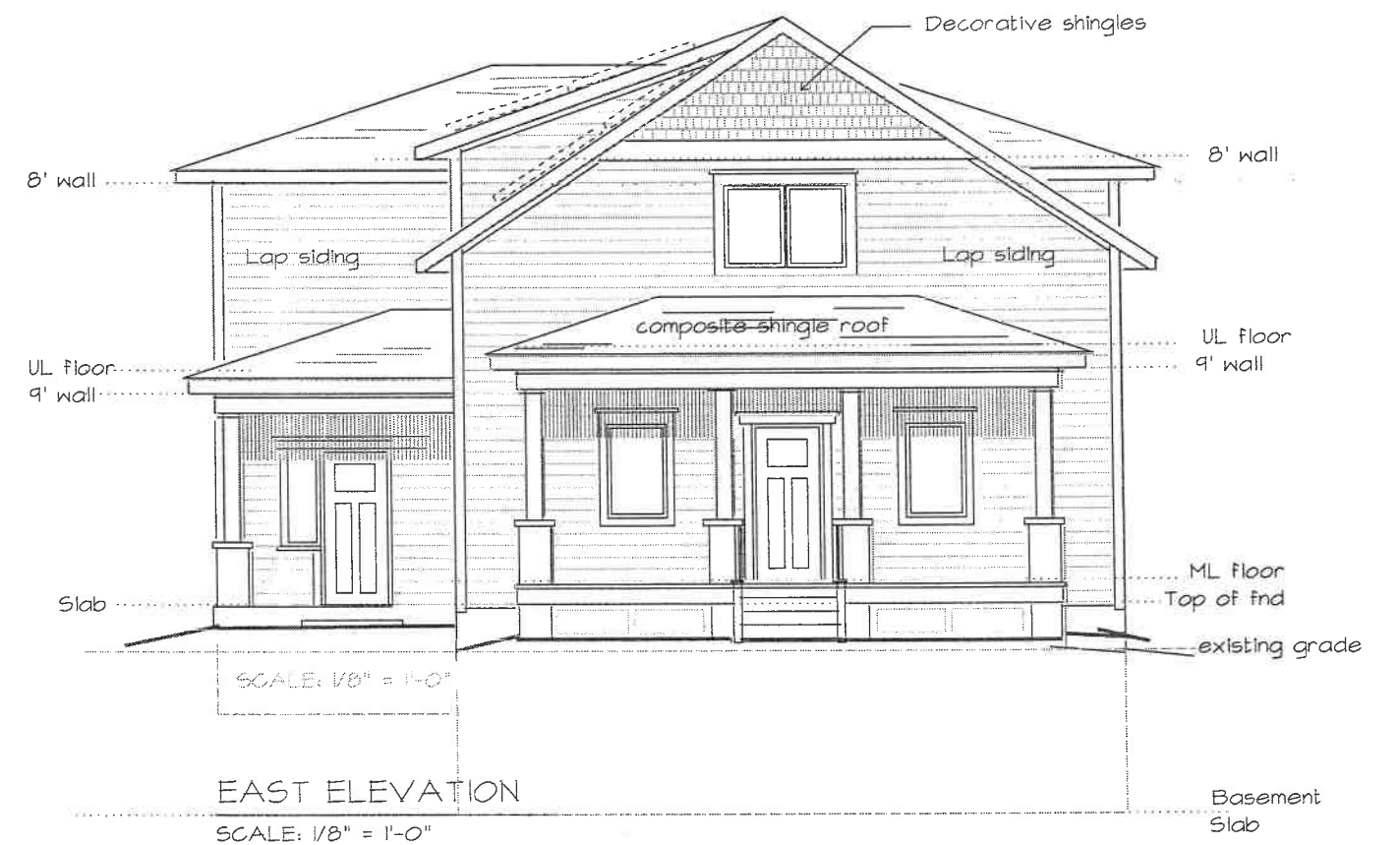
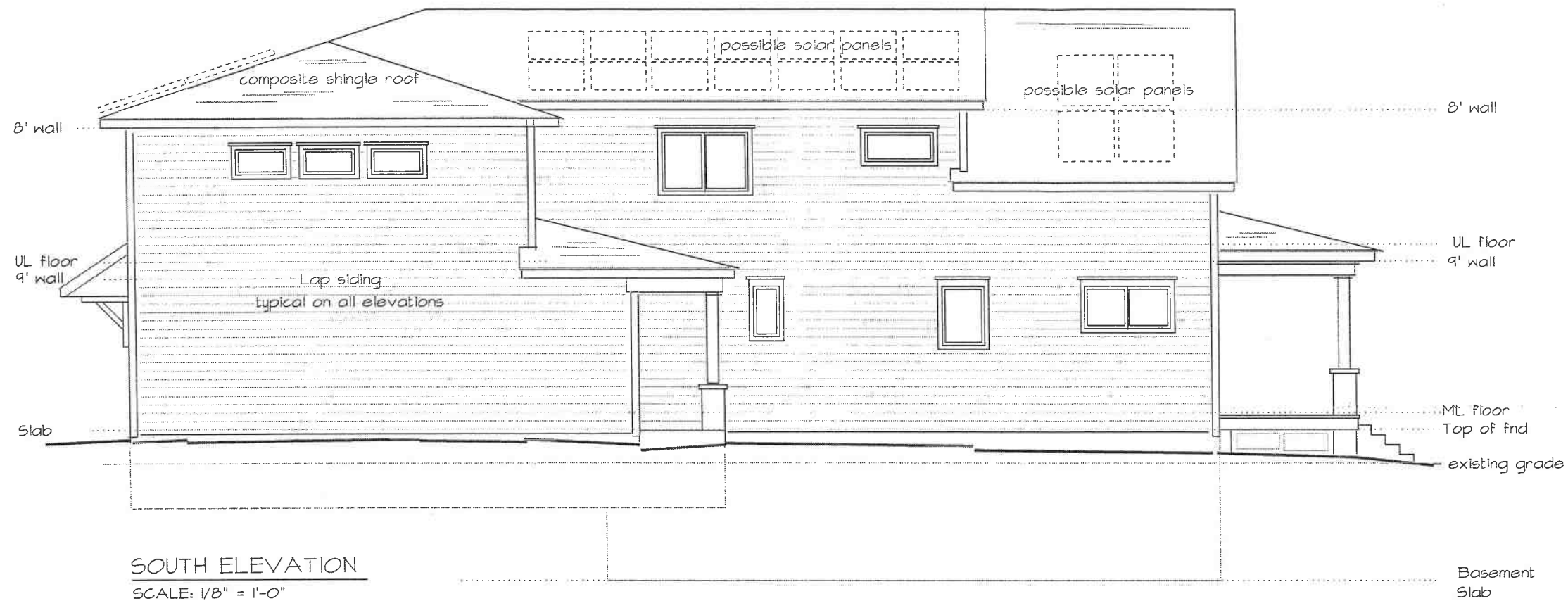


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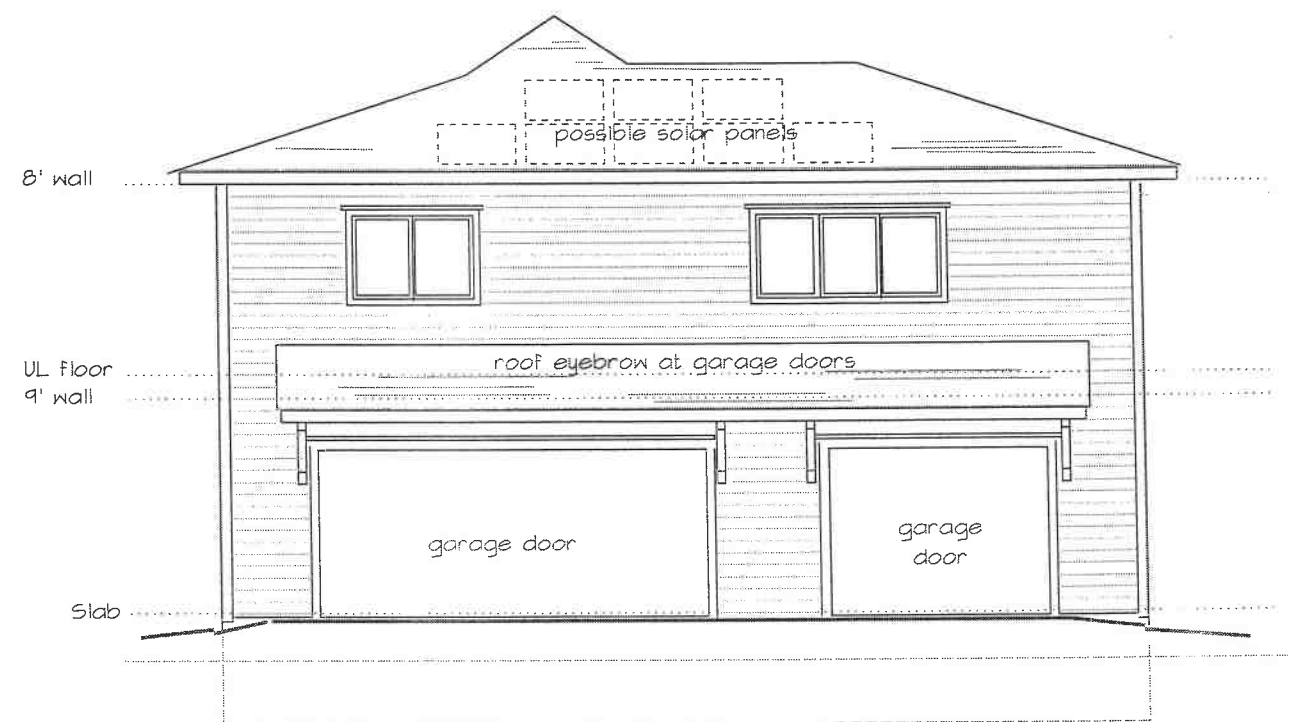
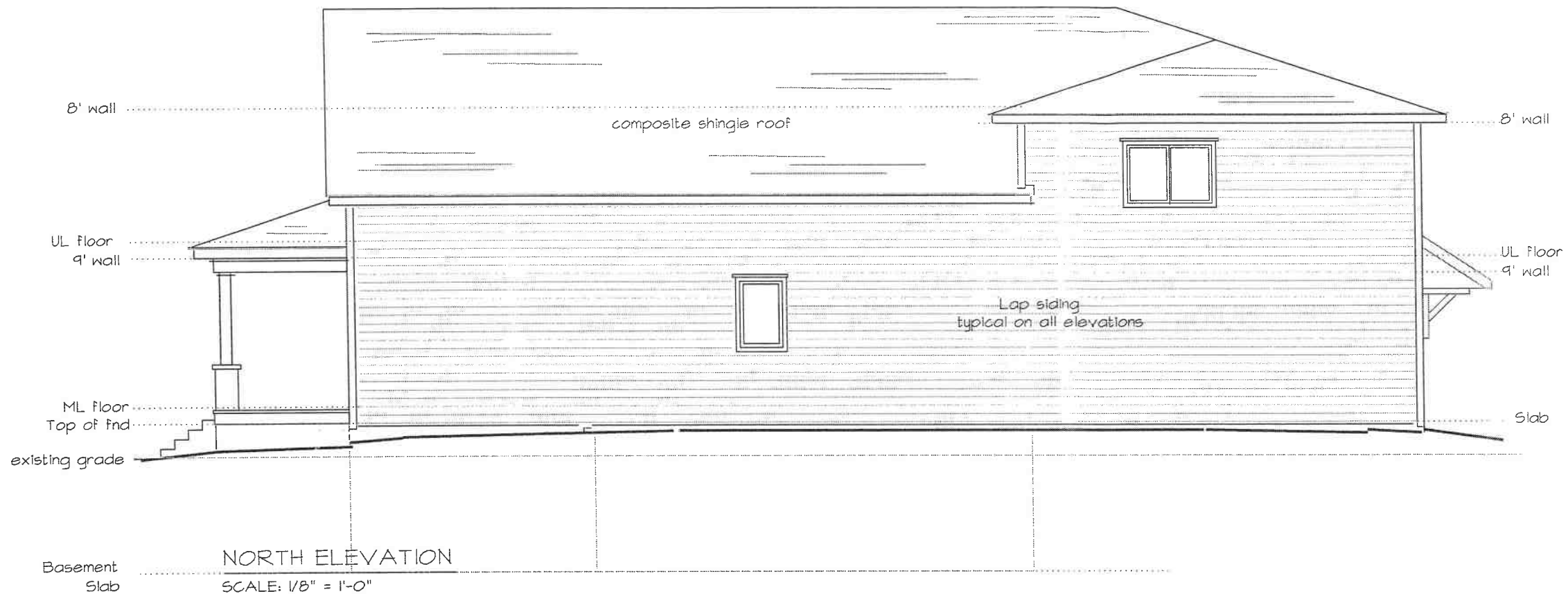
BASEMENT PLAN
 SCALE: 1/8" = 1'-0"



The East House Duplex



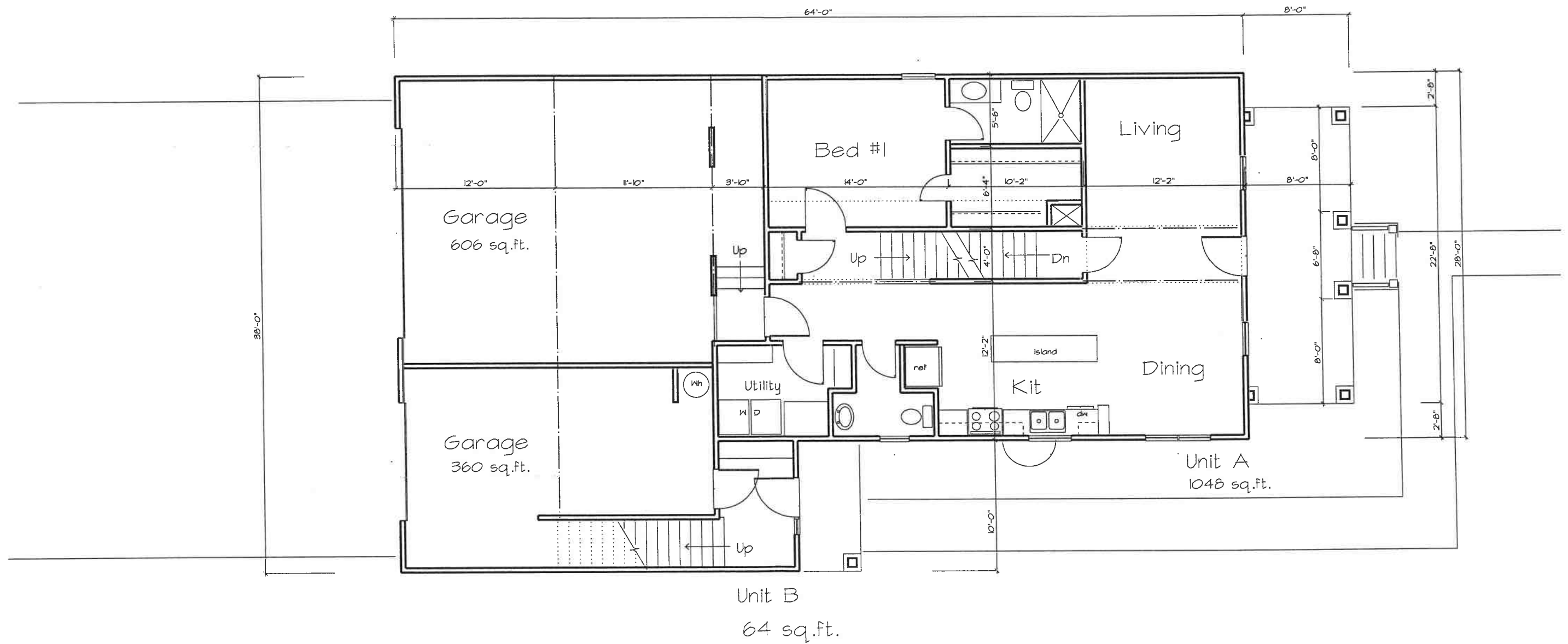
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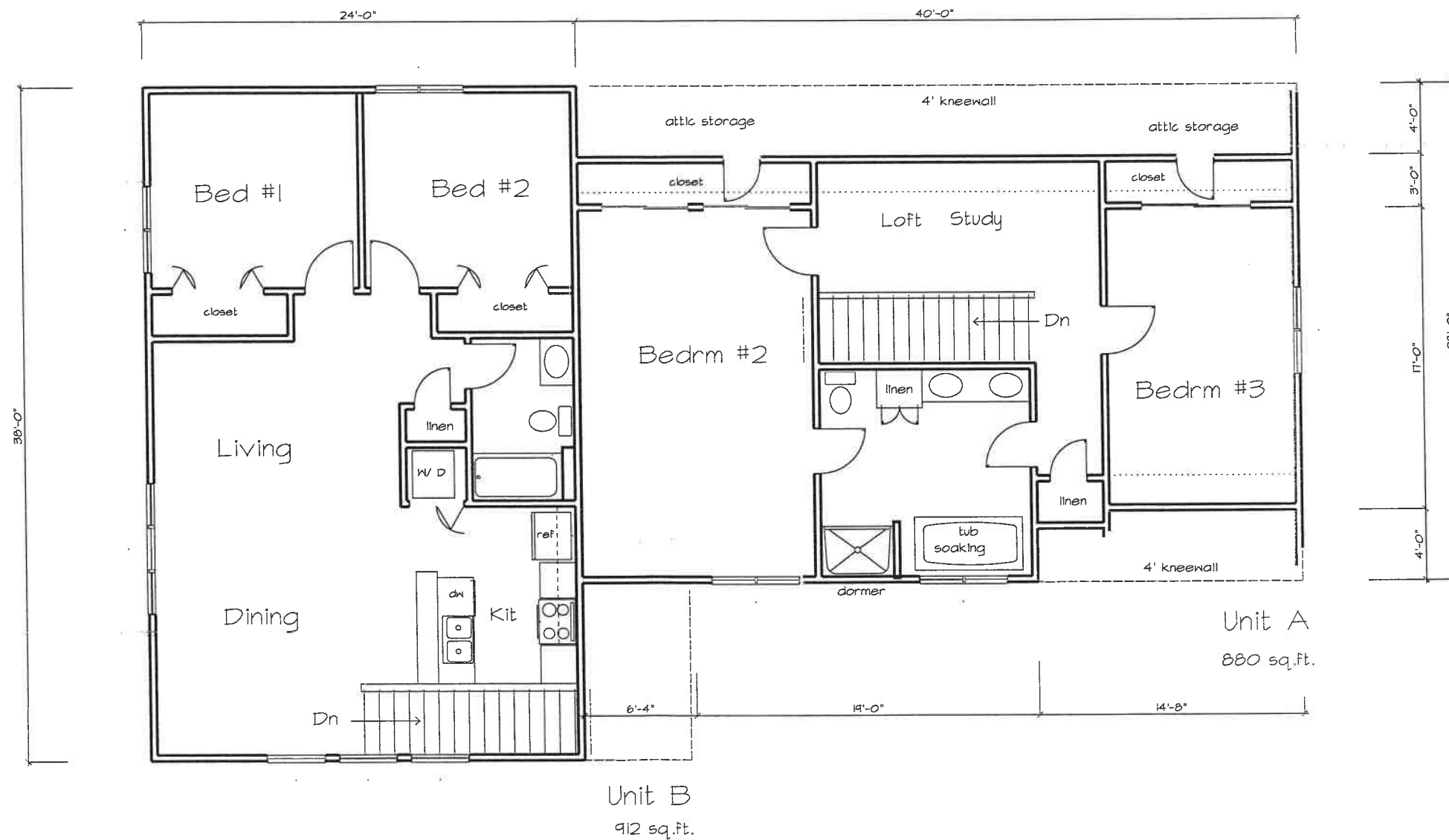
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FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

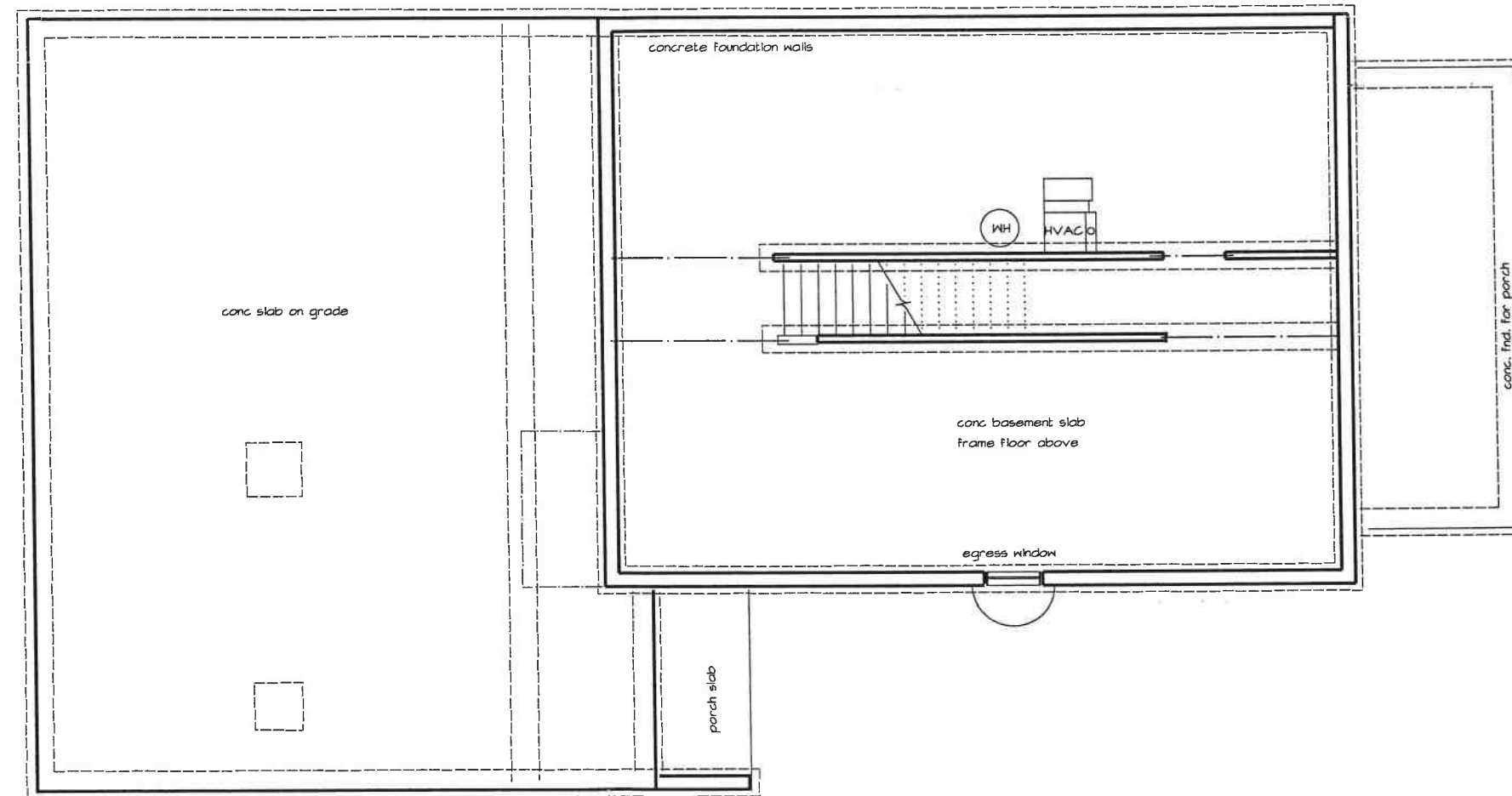


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SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



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BASEMENT PLAN
 SCALE: 1/8" = 1'-0"

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-16-00533 1321 Massachusetts Street; Exterior Rehabilitation; Certificate of Appropriateness

B. PROJECT DESCRIPTION

Exterior rehabilitation to restore the original fenestration pattern;

C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

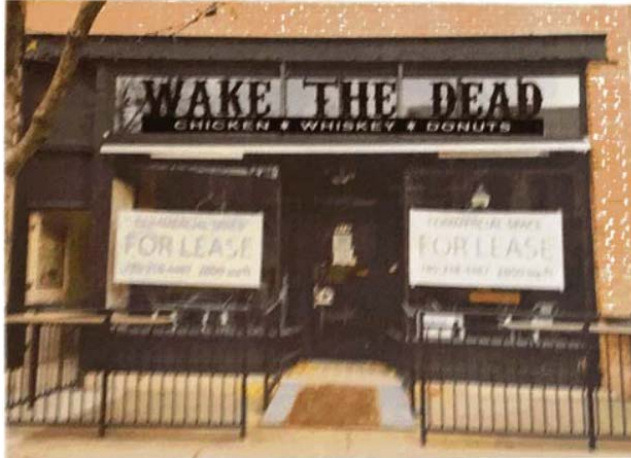
**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-16-00540 918 Massachusetts Street; Sign Permit; Downtown Design Guidelines, State Law Review and Certificate of Appropriateness

B. PROJECT DESCRIPTION

Sign Permit



C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-16-00542 806 Massachusetts Street; Rental License; State Law Review

B. PROJECT DESCRIPTION

Rental License application

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

D. STAFF DETERMINATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-16-00543 835 Maine Street; Residential Remodel; Certificate of Appropriateness

B. PROJECT DESCRIPTION

Foundation rehabilitation, addition for basement stairwell, deck addition

C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-16-00557 129 E. 10th Street; Sign Permit; Downtown Design Guidelines and Certificate of Appropriateness

B. PROJECT DESCRIPTION

Sign Permit



C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-16-00559 645 Massachusetts Street; Mechanical Permit; Downtown Design Guidelines Review

B. PROJECT DESCRIPTION

Mechanical Permit

C. STANDARDS FOR REVIEW

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

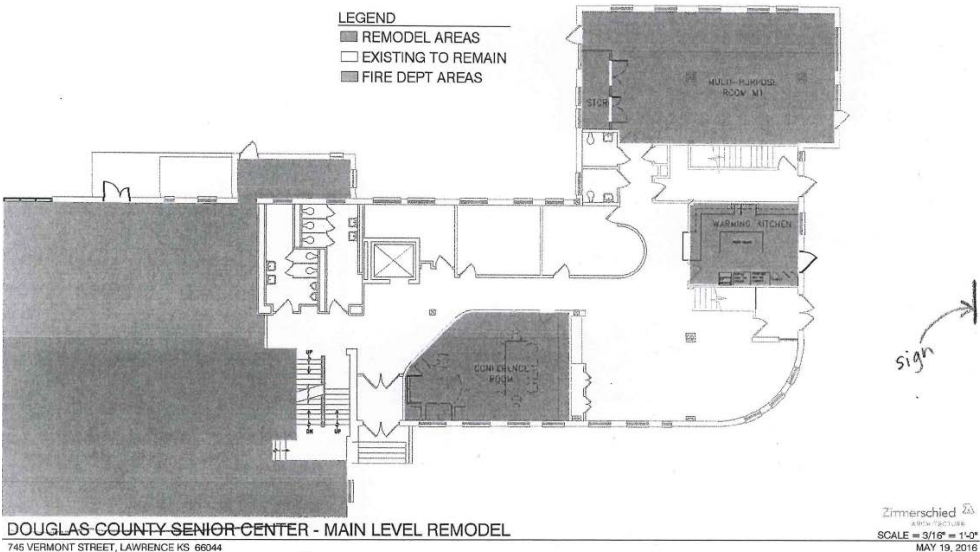
**LAWRENCE HISTORIC RESOURCES
ADMINISTRATIVE REVIEW
STAFF REPORT**

A. SUMMARY

DR-17-00006 745 Vermont Street; Sign Permit; State Law Review, Downtown Design Guidelines Review and Certificate of Appropriateness

B. PROJECT DESCRIPTION

Sign Permit



Senior Resource Center for Douglas County

*sidewalk
Vermont Street*

C. STANDARDS FOR REVIEW

Secretary of the Interior's Standards for Rehabilitation (State Preservation Law Review)

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

Downtown Design Guidelines (Downtown Urban Conservation Overlay District)

D. STAFF DETERMINATION

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff determined the proposed project will not significantly encroach on, damage, or destroy the landmarks or their environs and issued the Certificate of Appropriateness for the proposed project.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff approved the project and made the determination that the project does not damage or destroy any historic property included in the National Register of Historic Places or the State Register of Historic Places (Register of Historic Kansas Places).

LAWRENCE HISTORIC RESOURCES COMMISSION
ITEM NO. 4: DR-16-00534
STAFF REPORT

A. SUMMARY

DR-16-00534 909 Pennsylvania; New Residential Construction; Certificate of Appropriateness. The property is located in the environs of the Edmondson House (936 Pennsylvania Street), Lawrence Register of Historic Places. Submitted by Jason Romero on behalf of East Lawrence Partners, LLC, property owner of record.

B. PROJECT DESCRIPTION

The applicant proposes to construct a new residential single family structure on the vacant lot located at 909 Pennsylvania Street.



The proposed two-story structure will be located on Lot 43 of the Original Townsite. This is the northern most lot of three vacant lots located toward the north end of the west side of the 900 block of Pennsylvania Street. While the structure will be constructed on Lot 43, the current parcel includes both Lot 43 and Lot 45. The structure will be set back from the north lot line 7.5 feet; setback from the east (front) lot line by 20.00 feet; the south lot line by 7.5 feet and; 20 feet from the west (rear) lot line. It is 32.0 feet to the rear wall plane from the western lot line. The wood frame structure will be clad with 8" fiber-cement siding on all elevations. Trim will also be fiber-

cement. Porch surfaces will be cedar and the railings will be wood with wood spindles. Windows are listed as vinyl. Exterior doors are listed as fiberglass. The hip roof will be clad in composite shingles. A hipped roof also covers the single story front porch which expands across the entire east façade. A smaller hip roof also covers a portion of the rear deck. The remainder of the rear deck spans the entire western façade. The footprint of the structure will be approximately 2,275 square-feet.

The primary (east) elevation accommodates the entrance to the structure. The entrance is flanked by windows on each side of the door. The entrance is under a covered porch that spans the entire front façade and is covered by a hip roof. The main entrance porch is 7' X 35'. The upper story of the structure has three casement windows with a 12 part division pattern centered over the primary entrance porch and they are aligned with the entrance door and windows below. All trim work is approximately 4" in total width. The porch is raised approximately 42" above grade with an 11'-4" wide set of entry steps to the front door. The overall height of the structure is approximately 34'-6" at the rear grade.

The south elevation has fenestration that consists of casement windows and smaller windows in single window groupings. There is one pair of casement windows that is close to the center of the structure and midway between the first and second floor. This is the location of the interior stairway. There is an additional sliding window in the basement level that is just above grade. This window serves as an egress window to the bedroom in the basement.

The west elevation has a double garage door, basement entry door and large casement window on the lower level. The main level has two sets of large casement windows toward the north and south portions of the façade. There is a rear door that is aligned with the basement door on the lower level. The upper story has two smaller casement windows.

The north elevation has four tall casement windows spaced two at the east portion of the façade and two at the west portion of the façade. A pair of casement windows is located between them slightly off-center to the east. A smaller pair of casement windows is located on the upper story above the larger pairing on the lower level, though not completely aligned.

A driveway to accommodate the attached, two-car garage will be located off the alley.

C. STANDARDS FOR REVIEW

Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

22-505

(A) An application for a certificate of appropriateness shall be evaluated on a sliding scale, depending upon the designation of the building, structure, site or object in question. The certificate shall be evaluated on the following criteria:

- 1. Most careful scrutiny and consideration shall be given to applications for designated landmarks;*

2. Slightly less scrutiny shall be applied to properties designated as key contributory within an historic district;

3. Properties designated contributory or non-contributory within an historic district shall receive a decreasing scale of evaluation upon application;

4. The least stringent evaluation is applied to noncontributory properties and the environs area of a landmark or historic district. There shall be a presumption that a certificate of appropriateness shall be approved in this category unless the proposed construction or demolition would significantly encroach on, damage, or destroy the landmark or historic district. If the Commission denies a certificate of appropriateness in this category, and the owner(s) appeals to the City Commission, the burden to affirm the denial shall be upon the commission, the City or other interested persons.

(B) In considering an application for a certificate of appropriateness, the Commission shall be guided by the following general standards in addition to any design criteria in this Chapter and in the ordinance designating the landmark or historic district:

9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alteration and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environs.

Design Criteria 22-506

(C) In considering any application for a certificate of appropriateness and in reviewing and commenting on matters before other bodies, the Commission shall consider the standards for review listed above and the following:

- (1) Alterations. Specific design criteria for exterior alterations of landmarks and key contributing and contributing properties within historic districts shall be based on the U.S. Secretary of the Interior's Standards for Rehabilitation, as published in Section 36, Code of Federal Regulation, Part 67, and as revised from time to time; and by further reference to such specific design criteria as the Commission may require for the designation of the landmark or historic district.
- (2) New Construction and Additions to Existing Buildings.
 - (a) The design for new construction shall be sensitive to and take into account the special characteristics that the district is established to protect. Such consideration may include, but should not be limited to, building scale, height, orientation, site coverage, spatial separation from other buildings, facade and window patterns, entrance and porch size and general design, materials, textures, color, architectural details, roof forms, emphasis on horizontal or vertical elements, walls, fences, landscaping, and other features deemed appropriate by the Commission.
 - (b) New buildings need not duplicate older styles of architecture but must be compatible with the architecture within the district. Styles of architecture will be controlled only to insure that their exterior design, materials, and color are in harmony with neighboring structures.
 - (c) The following specific design criteria shall be used to review all applications for certificates of appropriateness for new construction or additions to existing buildings.

(3) Demolition, Relocation, and Land Surface Change.

(a) Demolition in whole or in part of individual landmarks or any key contributory or contributory structure within an historic district shall not be permitted. Exceptions are allowed only if a structure has been substantially damaged through fire or deterioration, and if there is reasonable proof that it would not be economically or physically feasible to rehabilitate. Other exceptions may be allowed if a structure does not possess the integrity, originality, craftsmanship, age or historical significance to merit preservation. However, demolition of past additions which have not gained historical significance and which have disguised or sheathed original elements or facades are encouraged, as long as the intention is to restore such elements or facades. Demolition under this chapter shall be subject to Ordinance 5810, as amended.

(b) Structures should not be removed from their original site. Exceptions will be allowed only if there is substantial evidence that it would not be practical or economical to utilize the building on its present site. If a structure lies in the path of a public improvement project, involving the city and if the building is worthy of preservation by virtue of its integrity, originality, craftsmanship, age, or historical significance relocation may be considered as an alternative.

(c) Major and substantial change of land surface within the boundaries of a landmark or historic district should not be permitted. Exceptions will be allowed only if there is substantial evidence that the change would not be detrimental to the historical and architectural character of surrounding structures or landscaping.

(4) Signage Guidelines. The Commission will receive copies of any appeal or request for variance regarding a sign located, or to be located, on a landmark or within an historic district, or the environs thereof. The Commission may review and comment upon such appeals or requests for variances subject to the following guidelines:

(a) Signs should be designed and placed so as to appear an integral part of the building design, in proportion to the structure and environment, and to respect neighboring properties within historic districts;

(b) Obscuring or disrupting important design elements is discouraged. Signs should be designed with appropriateness relative to the services of the establishment served;

(c) Signs should be maintained if they are determined to be an original part of the building or if they have acquired significance by virtue of their age, design, materials, craftsmanship, or historical significance;

(d) Illumination of signs should be properly shielded or diffused so as to eliminate glare and be of a low enough wattage to not detract from or set apart the structure;

(e) Descriptive signs as an integral part of the structure are encouraged. Such signs could include building dates, historic descriptions, commemorations, etc.;

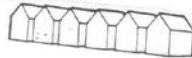
(f) Free-standing signs may be considered, if appropriate and necessary to preserve the character of the landmark or historic district.

(5) Accessory Structures and Landscaping.

(a) Existing characteristic features such as trees, walls, stairs, paving materials, fencing, walkways and other similar structures or site features that reflect the landmark or historic district's history and development shall be retained.

- (b) Landscaping should be appropriate to the scale and the unique features of the landmark or historic district.
- (c) Accessory structures within the boundaries of a designated landmark site shall be appropriate to and compatible with the architectural features of the primary landmark structure. Structures accessory to noncontributory buildings within a designated historic district shall be so designated as to not detract from the historical or architectural character of the district.

HEIGHT
Consider - Relating the overall height of new construction to that of adjacent structures. As a general rule, construct new buildings to a height roughly equal to the average height of existing buildings from the historic period on and across the street.



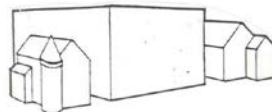
Avoid - New construction that greatly varies in height (too high or too low) from older buildings in the vicinity.



SCALE
Consider - Relating the size and proportions of new structures to the scale of adjacent buildings. Although much larger than its neighbors in terms of square footage, the building shown maintains the same scale and rhythm as the existing buildings.



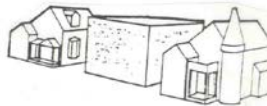
Avoid - Buildings that in height, width, or massing violate the existing scale of the area. The new building shown here disrupts the scale and rhythm of the streetscape, although it might be appropriate in a different location.



MASSING
Consider - Breaking up uninteresting boxlike forms into smaller, varied masses such as are common on most buildings from the historic period. Variety of form and massing are elements essential to the character of the streetscape in historic districts.



Avoid - Single, monolithic forms that are not relieved by variations in massing. Boxlike facades and forms are intrusive when placed in a streetscape of older buildings that have varied massing and facade articulation.



DIRECTIONAL EXPRESSION
Consider - Relating the vertical, horizontal, or nondirectional facade character of new buildings to the predominant directional expression of nearby buildings. Horizontal buildings can be made to relate to the more vertical adjacent structures by breaking the facade into smaller masses that conform to the primary expression of the streetscape.



Avoid - Strongly horizontal or vertical facade expressions unless compatible with the character of structures in the immediate area. The new building shown does not relate well to either its neighbors or to the rhythm of the streetscape because of its unbroken horizontal facade.



SETBACK

Consider - Maintaining the historic facade lines of streetscapes by locating front walls of new buildings in the same plane as the facades of adjacent buildings. If exceptions are made, buildings should be set back into the lot rather than closer to the street. If existing setbacks vary, new buildings should conform to historic siting patterns.



Avoid - Violating the existing setback pattern by placing new buildings in front of or behind the historic facade line. Avoid placing buildings at odd angles to the street, unless in an area where diverse siting already exists, even if proper setback is maintained.



PLATFORMS

Consider - The use of a raised platform is a traditional siting characteristic of some of the older buildings in Lawrence. This visual "pedestal" is created by retaining walls and stepped entries.



Avoid - Bringing walls of new buildings straight out of the ground without a sense of platform, i.e., without maintaining the same entry height as neighboring buildings. Such structures seem squat, visually incomplete, and do not relate well to their elevated neighbors. Also avoid leveling off terraced slopes or removing retained platforms.



RHYTHM OF OPENINGS

Consider - Respecting the recurrent alternation of wall areas with door and window elements in the facade. Also consider the width-to-height ratio of bays in the facade. The placement of openings with respect to the facade's overall composition, symmetry, or balanced asymmetry should be carefully studied.



Avoid - Introducing incompatible facade patterns that upset the rhythm of openings established in surrounding structures. Glass walls and window and door shapes and locations shown in the example are disrespectful to the adjoining buildings.

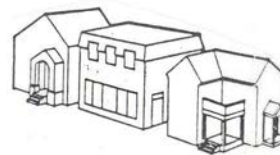


SENSE OF ENTRY

Consider - Articulating the main entrances to the building with covered porches, porticos, and other pronounced architectural forms. Entries were historically raised a few steps above the grade of the property and were a prominent visual feature of the street elevation of the building.



Avoid - Facades with no strong sense of entry. Side entries or entries not defined by a porch or similar transitional element result in an incompatible "flat" first-floor facade.

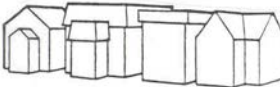


ROOF SHAPES

Consider - Relating the roof forms of the new buildings to those found in the area. Although not entirely necessary, duplication of the existing or traditional roof shapes, pitches, and materials on new construction is one way of making new structures more visually compatible.



Avoid - Introducing roof shapes, pitches, or materials not traditionally used in the area.



IMITATIONS

Consider - Accurate restoration of or visually compatible additions to existing buildings, and, for new construction, contemporary architecture that well represents our own time, yet enhances the nature and character of the historic district.



Avoid - Replicating or imitating the styles, motifs, or details of older periods. Such attempts are rarely successful and, even if done well, present a confusing picture of the true character of the historical area.

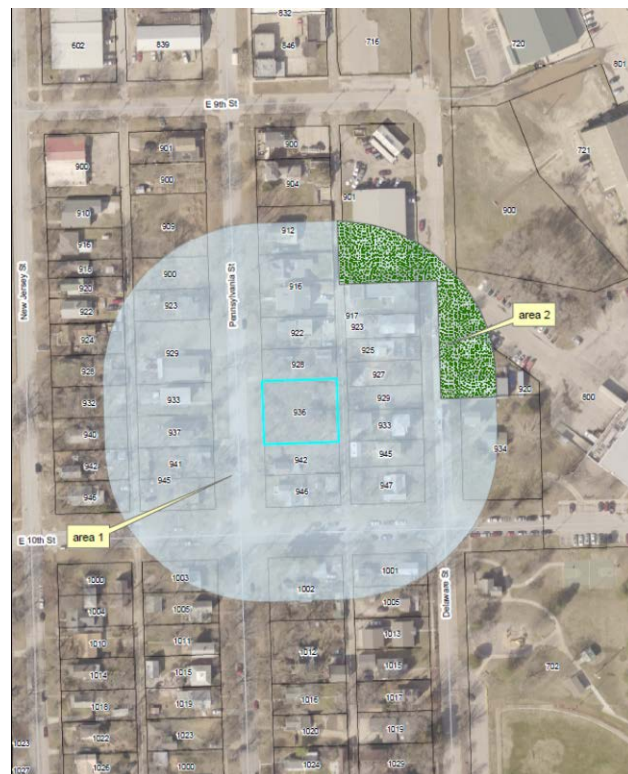


The Environs for the Edmondson House located at 936 Pennsylvania Street are divided into two areas and the subject lot is included in Area 1. The following standards are applied to Area 1:

Area 1 Maintaining the existing structures and visual appearance of the environs is the primary focus of review. Main structure demolitions would be approved only if documentation was provided that indicated that the structure was unsound and/or a certificate of economic hardship was approved.

Minor projects (minor additions, porch remodeling, window and door changes, demolition of outbuildings, etc.) will be approved administratively by the Historic Resources Administrator. All design elements are important. The proposed alteration or construction should meet the intent of the Secretary of the Interior Standards for Rehabilitation, the Standards and Guidelines for Evaluating the Effect on Project on Environs, and the Criteria set forth in 22-205.

Major projects (major additions, new infill construction, major alterations, etc.) would be reviewed by the Historic Resources Commission. All design elements are important. The proposed alteration or construction should meet the intent of the Secretary of the Interior Standards for Rehabilitation, the Standards and Guidelines for Evaluating the Effect on Project on Environs, and the Criteria set forth in 22-205.

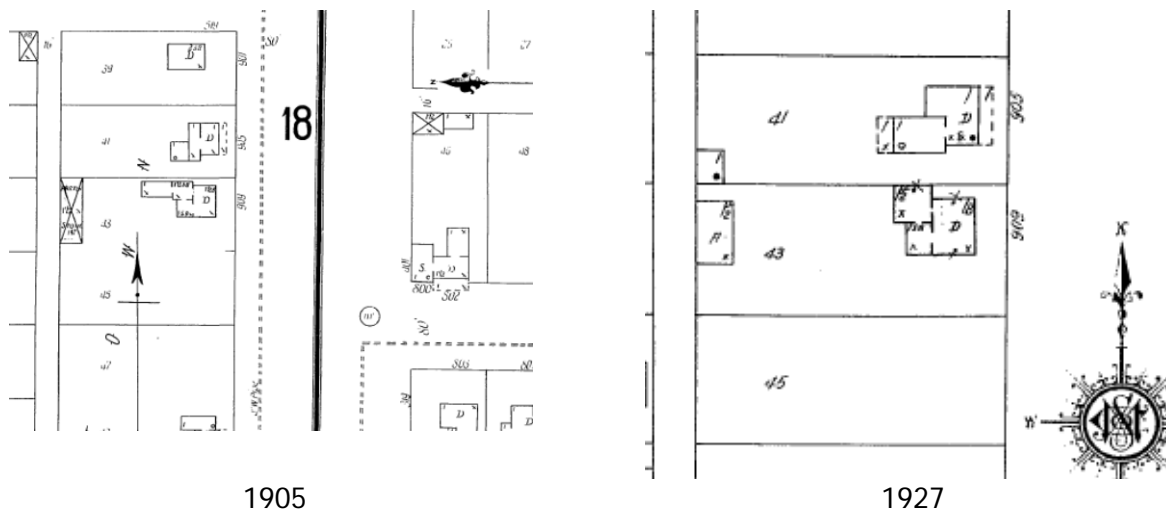


D. STAFF ANALYSIS

The vacant property now identified 909 Pennsylvania Street is Lot 43 of the Original Townsite of Lawrence. The lots in the original plat are 50' wide and 117' long to create a 5850 square foot lots. An alley separates the east and west halves of most of the blocks. The current vacant property is a result of the removal of the Murphy-Bromelsick house in the year 2000 to its current location at Hobbs Park. The Murphy-Bromelsick house was constructed c. 1866. After a succession of owners, the property was purchased by Val Romero in 1959. Mr. Romero wanted the land but not the house. The Free State Memorial Trust, the Hobbs Park Memorial Fund, and the Lawrence Preservation Alliance raised funds to save the house and move it to Hobbs Park.

Sanborn maps show that in addition to the Murphy-Bromelsick house, there was a barn/stable located on Lot 43 in 1905. The 1927 map shows that the footprint of the accessory structure is in a slightly different location and may have changed in size. It is no longer shown as a barn/stable but as an accessory structure. By 1995 the accessory structure was no longer on the property.

The lot has been vacant since 2002.



The primary structures in the area were constructed as early as 1863 and one as late as 2014. Nine of the houses in the area were constructed c. 1900 or before. The architectural styles in the block are vernacular and modern. The sizes of the primary structures in the area vary and living areas range from 800 square feet to 2,950 square feet. The average size in the area is 1,250 square feet. The heights of the structures also vary as do the setbacks for the primary structures. Most of the parcel sizes in the block are the size of the originally platted lots.

Project Review

Environs review for a Certificate of Appropriateness begins with a presumption that a Certificate of Appropriateness will be approved unless the proposed construction or demolition would significantly encroach on, damage, or destroy the landmark or historic district.

In addition to review by 22-505, the proposed alterations and new construction should be reviewed using the design criteria in 22-506 and 22-506.1. These design criteria help to promote the standards set forth in 22-505. Specifically, 22-506(c)(2) provides review criteria for new construction. Identified criteria for new construction includes but is not limited to building scale, height, orientation, site coverage, spatial separation from other buildings, facade and window patterns, entrance and porch size and general design, materials, textures, color, architectural details, roof forms, emphasis on horizontal or vertical elements, walls, fences, landscaping, and other features deemed appropriate by the Commission. New buildings should not duplicate older styles of architecture but should be compatible with the architecture within the district and according to Chapter 22, the exterior design, materials, and color should be in "harmony" with neighboring structures.

The proposed project is located in the environs of the Edmondson House.



Staff is of the opinion the proposed structure meets most of the guidelines for review and encompasses some of the patterns in the environs of the listed property. While the atypical height of the platform alters some of the visual characteristics for compatibility, the proposed structure, is sensitive to the characteristic massing as seen from the public right-of-way, scale from the public right-of-way, roof shapes, some materials, and directional expressions found in the environs. Concerns for staff are the attached garage, the use of vinyl windows and some of the atypical fenestration patterns.

Attached Garage

Attached garages are not typical in the environs of the listed property. Most of the structures in the environs and in the block have detached garages or storage buildings. Attached garages are a suburban form created after the increase in automobile ownership and use. This suburban form did not transfer to the majority of the structures in the historic areas of East Lawrence. While attached garages do exist in the historic area, they are primarily associated with new construction or dated post 1950.

Staff does not recommend attached garages in the environs of a listed property. Garages that are attached typically increase both the footprint of the primary structure and create a loss of rear yard green space thus disrupting the spatial relationships in the environs. This proposed project will maintain some, approximately 20 feet not counting the area that will be paved for a driveway, rear yard green space, but it is not typical of the spatial relationships within the environs. The attached garage for this project not only creates challenges for the spatial relationships of the structure/green space pattern, but it also causes the structure to increase in height on the western elevation to accommodate the attached garage.

Staff recommends that garages are placed in the typical location adjacent to the alley. In recent HRC approvals, this location has been approved with a type of breezeway to accommodate a covered path to the primary structure. It should be noted, however, that connections from the accessory structure to the primary structure will create the need for a zoning variance for the rear yard setback. Staff is sympathetic to the desire to have an attached garage for convenience. However, this is not considered in a historic review by staff. The commission has approved attached garages in the past when other options were not available, the line of sight to the listed property was minimal, or the location of the project was in the outer most portions of the environs. Recently, the HRC has approved an attached garage in the environs of a locally listed property when other alternatives were available. If a two car garage could be placed adjacent to the alley, this would remove additional green space from the rear yard. However, the reduction in green space in this manner would allow for a concentrated green space area that would increase the overall compatibility of the structure by creating a rear yard similar to the spatial pattern of the environs of the listed property.

Fenestration Patterns

Fenestration patterns are character defining for structures both historic and new construction. The east elevation is a good example for a fenestration pattern in the environs of the listed structure. The majority of the rear elevation is mostly compatible with the environs. Although the rear portion of the structure on the west elevation is not completely typical for the environs, it is at the rear of

the structure and will not be highly visible from the public right-of-way. The addition of the attached garage on this elevation contributes to the non-typical pattern.

The difficulty for staff is the fenestration pattern on the south elevation. While openings to the west along this elevation are not critical for compatibility, openings on the first 30 or so feet of the structure are important for compatibility. It would be preferable if the applicant can find a way to add the same spacing and window types to mirror the windows found on the north elevation. This adjustment to the plan would help to divide the overall blank space and create a pattern for this area of the structure. The addition of these windows will create a new exterior pattern that is more compatible with the environs of the listed property. This portion of the south elevation is visible from the listed property.

E. STAFF RECOMMENDATION

Staff recommends the commission refer the project to the Architectural Review Committee to discuss opportunities and challenges for the attached garage and the fenestration pattern for the south elevation.





**City of Lawrence
Douglas County**
PLANNING & DEVELOPMENT SERVICES

Pre-Application Meeting Required
Planner _____
Date _____
Date Received _____

6 East 6th St.
P.O. Box 708
Lawrence, KS 66044

www.lawrenceks.org/pds

Phone 785-832-3150
Tdd 785-832-3205
Fax 785-832-3160

DESIGN REVIEW APPLICATION

PROPERTY INFORMATION

Address of Property 909 Pennsylvania Street

Legal Description (*may be attached*) Lot 43, Pennsylvania Street

OWNER INFORMATION

Name(s) East Lawrence Partners, LLC

Contact Jason Romero

Address 2820 W. 50th Street

City Westwood State KS ZIP 66205

Phone (913) 209-2532

Fax () _____

E-mail Jason@RomeroBG.com

Cell Phone (913) 209-2532

APPLICANT/AGENT INFORMATION

Contact Jason Romero

Company East Lawrence Partners, LLC

Address 2820 W. 50th Street

City Westwood State KS ZIP 66205

Phone (913) 209-2532

Fax () _____

E-mail Jason@RomeroBG.com

Cell Phone (913) 209-2532

Existing Zoning Residential	Existing Land Use Vacant	Proposed Land Use Residential	# of Buildings 1
Total site area 50ft x 117ft	Existing Building Footprint N/A	Proposed Building Footprint 35ft x 58ft	Open Space Area Approx. 3,820 sqft
Existing Pavement Coverage N/A	Proposed Pavement Coverage Driveway/Patio - Apprx. 500sqft		
Are you also submitting any of the following applications?			
• Building Permit Yes	• Site Plan N/A	• Special Use Permit N/A	• Zoning Change N/A
• Variance N/A	• State or Federal Tax Credit Application N/A		Other (specify)

Property**Address:**909 Pennsylvania Street

Detailed Description of Proposed Project:**(Attach additional sheets if necessary)**

The house will be owned by East Lawrence Partners, LLC, a partnership consisting of Romero family members. The Romero family has owned and occupied multiple residential properties along the 900 Pennsylvania block since the early 1900s. The design of this house was influenced by other historic houses in East Lawrence and Old West Lawrence, and is intended to fit in with the neighborhood. This house will primarily be utilized by out-of-town family members, and is not planned to be a rental property.

Because of the way the lot is situated in relation to Pennsylvania Street and the alley to the rear, and due to the change in elevation between the alley and street, we situated the garage in the rear of the house (similar to other houses on the block). The house will have two stories and a walkout basement. Because of the existing elevations, after placing foundation walls, there will be a few steps up to the front porch from ground level.

There is an existing brick sidewalk, which we do not intend to disturb. We intend to use a similar brick or other stone walkway between the front porch and existing brick sidewalk.

Reason for Request:**(Attach additional sheets if necessary)**

Construction of a new house.

Architect/Engineer/Contractor Information: Please provide name and phone number of any persons associated with the project.

Contact Jason Romero

Company Romero Building Group, LLC

Address 2820 W. 50th Street

City Westwood State KS ZIP 66205

Phone (913) 209-2532 Fax ()

E-mail Jason@RomeroBG.com Cell (913) 209-2532

REQUIRED ATTACHMENTS:

- ☐ **Photographs of existing structure and site**
- ☐ **Scaled or dimensioned site plan with a graphic/bar scale**
- ☐ **Scaled elevation drawings with a graphic/bar scale**
- ☐ **Scaled or dimensioned floor plans with a graphic/bar scale**
- ☐ **Materials list**
- ☐ **Digital copy of application materials**

ADDITIONAL INFORMATION MAY BE REQUIRED BASED ON THE SCOPE OF THE PROJECT

SIGNATURE

I/We, the undersigned am/are the **(owner(s))**, **(duly authorized agent)**, **(Circle One)** of the
aforementioned property. By execution of my/our signature, I/we do hereby officially apply for
design review approval as indicated above.

Signature(s): _____ Date 12-11-16

_____ Date _____

Date _____

Note: If signing by agent submit Owner Authorization Form



City of Lawrence
Douglas County
PLANNING & DEVELOPMENT SERVICES

6 East 6th St.
P.O. Box 708
Lawrence, KS 66044

www.lawrenceks.org/pds

Phone 785-832-3150
Tdd 785-832-3205
Fax 785-832-3160

OWNER AUTHORIZATION

I/WE _____, hereby referred to as the "Undersigned", being of lawful age, do hereby on this _____ day of _____, 20 __, make the following statements to wit:

1. I/We the Undersigned, on the date first above written, am/are the lawful owner(s) in fee simple absolute of the following described real property:

See "Exhibit A, Legal Description" attached hereto and incorporated herein by reference.

2. I/We the undersigned, have previously authorized and hereby authorize _____ (Herein referred to as "Applicant"), to act on my/our behalf for the purpose of making application with the Planning Office of Lawrence/Douglas County, Kansas, regarding _____ (common address), the subject property, or portion thereof. Such authorization includes, but is not limited to, all acts or things whatsoever necessarily required of Applicant in the application process.

3. It is understood that in the event the Undersigned is a corporation or partnership then the individual whose signature appears below for and on behalf of the corporation or partnership has in fact the authority to so bind the corporation or partnership to the terms and statements contained within this instrument.

IN WITNESS THEREOF, I, the Undersigned, have set my hand and seal below.

Owner

Owner

STATE OF KANSAS
COUNTY OF DOUGLAS

The foregoing instrument was acknowledged before me on this _____ day of _____, 20 __,
by _____.

My Commission Expires:

Notary Public



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PERMISSION IN WRITING
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ARCHITECTS.

26555 W. VALLEY PARKWAY
SUITE 110
CLATHE, KS 66061-8429
PHONE: 913-390-4663
FAX: 913-390-4664
www.WebsterArchitects.com



909 PENNSYLVANIA STREET
LAWRENCE, KS

ROMERO BUILDING GROUP
2820 W. 50th ST.
WESTWOOD, KS 66205



DRAWN BY: SB
DATE: 12-5-16
PROJECT NO: 16-029-01

SHEET NO.
A0

FLOOR PLAN - SYMBOL LEGEND	
DESCRIPTION	SYMBOL
INTERIOR LOAD BEARING WALL	
STONE OR BRICK VENEER	
JOIST SIZE AND DIRECTION	
HEADER/ BEAM	SIZE OF MEMBER PER SCHEDULE
NUMBER OF PLYS	IF UPSET
CENTERLINE	
POINT LOAD	
APPROX. WINDOW FRAME SIZE IN INCHES (SEE GENERAL NOTES BELOW)	
SMOKE ALARM	
SMOKE & CARBON MONOXIDE ALARM	

HEADER / BEAM SCHEDULE			
MARK	LUMBER SIZE	MARK	L.V.L. SIZE
(A)	2 x 6	(E)	3/4" x 1 1/4"
(B)	2 x 8	(F)	3/4" x 3 1/2" (NOTE 3)
(C)	2 x 10	(G)	3/4" x 11 5/8"
(D)	2 x 12	(H)	3/4" x 14"
		(I)	3/4" x 16"
		(J)	3/4" x 18"

- ALL HEADERS IN EXTERIOR AND IN INTERIOR LOAD BEARING WALLS ARE TO BE TYPE "C" 2" UNO.
- HEADERS SHALL HAVE 1 KING AND 1 TRIMMER STUD UNO. BEAMS SHALL HAVE 2 BEARING STUDS BELOW EACH END UNO. SOLID BLOCKING BELOW.
- FOR L.V.L. BEAMS IN 2x10 FLOORS, USE 3 1/4" L.V.L.

FLOOR JOIST SCHEDULE					
MARK	TYPE	SUB-TYPE	SIZE	SPACING	MAX. SPAN
FJ-1	"I" JOIST (SEE NOTE)		9 1/2"	PER MANUFACTURER	
FJ-2	"I" JOIST (SEE NOTE)		11 7/8"	PER MANUFACTURER	
FJ-3	"I" JOIST (SEE NOTE)		14"	PER MANUFACTURER	
FJ-4	TRUSSED (SEE NOTES)		14"	PER MANUFACTURER	
FJ-5	TRUSSED (SEE NOTES)		16"	PER MANUFACTURER	
FJ-20	LUMBER	ACQ. TREATED	2x10	12" O.C.	16'-2"
FJ-21	LUMBER	ACQ. TREATED	2x10	16" O.C.	14'
FJ-22	LUMBER		2x8	12" O.C.	14'-2"
FJ-23	LUMBER		2x8	16" O.C.	12'-1"
FJ-24	LUMBER		2x10	12" O.C.	11'-9"
FJ-25	LUMBER		2x10	16" O.C.	15'-5"
FJ-26	LUMBER		2-2x10	16" O.C.	

NOTE: DESIGN I-JOISTS (LOADED W/ TOTAL LIVE AND DEAD LOAD) WITH A MAX. DEFLECTION OF L/360, EXCEPT BELOW BATHROOMS AND TILED AREAS WHERE THE DEFLECTION SHALL BE L/480 MAX.

CONCRETE WALL SCHEDULE				
MARK	CONCRETE WALL THICKNESS	REINFORCING HEIGHT	GRADE 40 VERTICAL	GRADE 40 HORIZONTAL
(A)	8"	4' OR LESS	#4's AT 36" O.C.	2 - #4's
(B)	8"	4' TO 6'	#4's AT 36" O.C.	3 - #4's
(C)	8"	6' TO 8'	#4's AT 16" O.C.	4 - #4's
(D)	8"	8'	#4's AT 16" O.C.	4 - #4's
(E)	8"	9'	#4's AT 12" O.C.	5 - #4's
(F)	10"	4'	#4's AT 36" O.C.	2 - #4's
(G)	10"	8'	#4's AT 36" O.C.	4 - #4's
(H)	10"	9'	#4's AT 16" O.C.	5 - #4's
(I)	10"	10'	#4's AT 12" O.C.	6 - #4's

COLUMN & PAD SCHEDULE				
MARK	PAD SIZE	#4 BARS REQ'D EACH WAY	COLUMN SIZE (SCHEDULE 40)	MAX. LOAD
(A)	36"x36"x12"	6	3"	13.5 K
(B)	48"x48"x16"	8	3"	24.0 K
(C)	60"x60"x18"	10	3.5"	37.5 K
(D)	72"x72"x18"	12	5"	54.0 K

PIER SCHEDULE			
MARK	PIER DIAMETER	POST (ACQ OR CEDAR UNO.)	MAX. LOAD
(F)	12"	6x6 UNO.	11 K
(G)	18"	6x6 UNO.	2.6 K
(H)	24"	6x6 UNO.	4.1 K

- PAD AND PIER SIZES ASSUME 1500 P.S.F. SOIL BEARING CAPACITY.
- 10' MAX. STEEL COLUMN HEIGHT FROM BASE PLATE TO TOP OF COLUMN. CONSULT ARCHITECT IF SITE CONDITIONS REQUIRE TALLER COLUMNS.

GENERAL NOTES:

A. WINDOW SIZES SHOWN ARE APPROXIMATE. THE BUILDER SHALL SELECT WINDOWS TO MEET BUILDING CODE REQUIREMENTS AND TO FIT IN THE AVAILABLE SPACE, WHICH MAY BE LIMITED BY SOFFITS, HEADERS, CLEARANCE FOR ADJACENT ROOF FLASHING, ETC. OVERALL ROUGH OPENINGS FOR MULLED UNITS WILL VARY BY WINDOW/ DOOR MANUFACTURER. SEE GENERAL NOTES ON SHEET G1 FOR ADDITIONAL WINDOW REQUIREMENTS.

B. EXTERIOR FRAMED WALLS ARE 2x6 STUDS AT 16" O.C. UNLESS NOTED OTHERWISE.

C. INSTALL 1/2" ANCHOR BOLTS WITH 1" MIN. EMBEDMENT AT 3'-0" O.C. MAX. WHERE THE CONC. WALL IS FULL HEIGHT AND 6'-0" O.C. MAX. WHERE THE WALL IS PARTIAL HEIGHT OR AT WALK-OUT CONDITIONS AND WITHIN 6"-12" OF THE END OF THE SILL PLATE.

FOUNDATION PLAN NOTES

1. 2" LEDGE FOR SLAB FLOOR - SEE DETAIL 3/G2, WHERE ALLOWED BY GOVERNING JURISDICTION, LEDGE MAY BE ELIMINATED AND SLAB MAY BE DOUELED TO WALL WITH #4 BARS AT 12" O.C.

2. CONCRETE PIER AND PAD - SEE DETAIL 3/G2

3. STEP FOUNDATION & FOOTING AS REQUIRED BY SITE

4. 16" WIDE X 8" DEEP CONCRETE FOOTING W/2-#4 BARS CONTINUOUS

5. 2x4 STUDS @ 16" O.C. WITH TREATED SILL PLATE.

6. 5 STUDS FOR BEARING. SOLID BLOCK BELOW

7. LEDGE OVER EXPOSED CONCRETE AND FINISH WALL

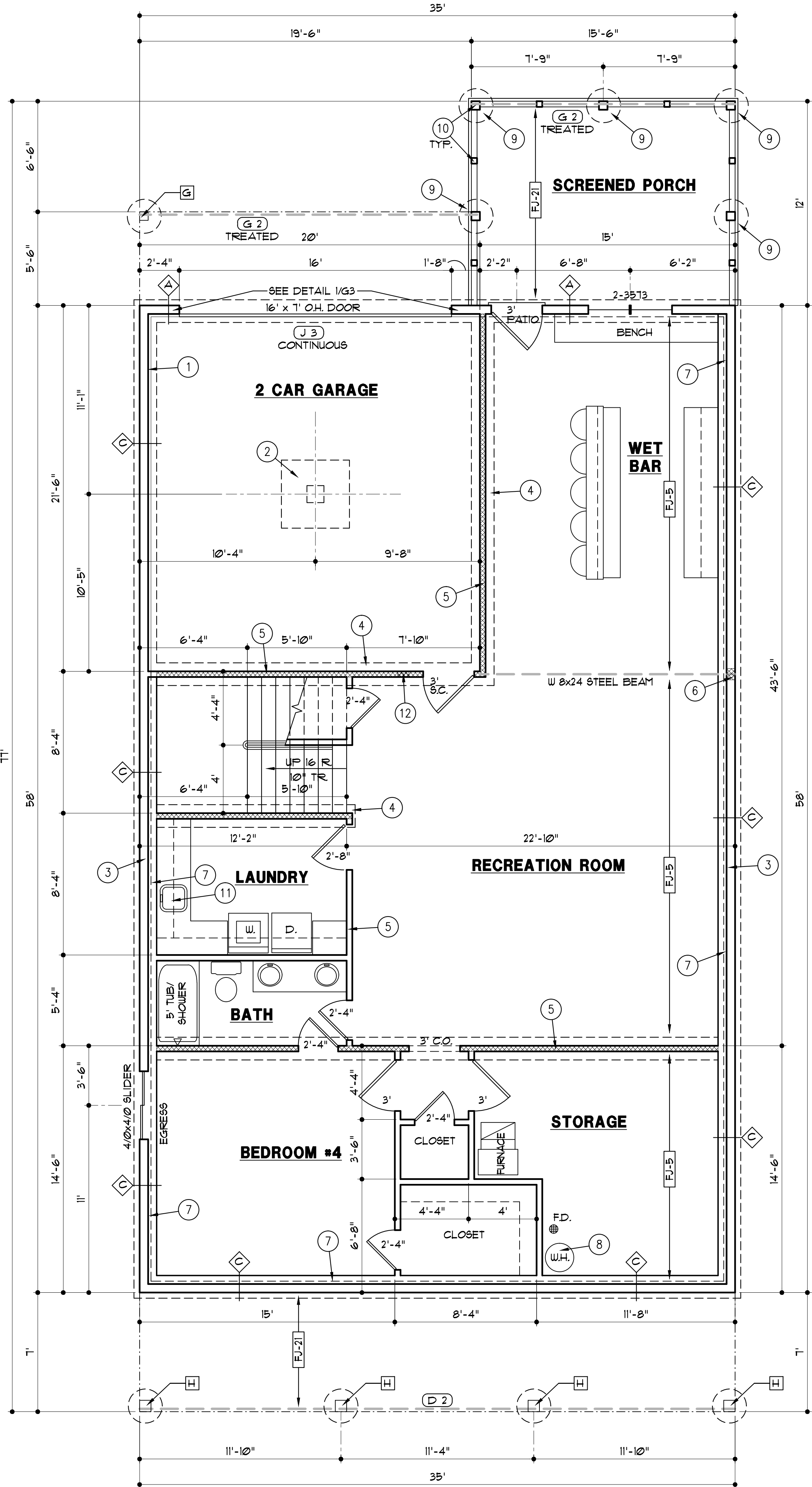
8. PROVIDE THERMAL EXPANSION CONTROL DEVICE.

9. 24" DIAMETER CONCRETE PIER, 3' DEEP

10. 6x6 POST WITH 4x4 POST FOR SCREEN PANEL FRAMING

11. DROP IN WASH SINK

12. 4 STUDS



FOUNDATION PLAN

1/4" = 1'-0"

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DANIEL J. WEBSTER
REGISTERED ARCHITECT
KANSAS
4006
12-8-16

DRAWN BY: SB
DATE: 12-5-16
PROJECT NO: 16-029-01

SHEET NO.
A1

THESE DRAWINGS TO BE USED FOR THIS ADDRESS ONLY AND THEY SHALL NOT BE USED AS MASTER PLAN

FLOOR PLAN - SYMBOL LEGEND	
DESCRIPTION	SYMBOL
INTERIOR LOAD BEARING WALL	
STONE OR BRICK VENEER	
JOIST SIZE AND DIRECTION	
HEADER/ BEAM	SIZE OF MEMBER PER SCHEDULE
NUMBER OF FLYS	"U" IF UPSET
CENTERLINE	
POINT LOAD	
APPROX. WINDOW FRAME SIZE IN INCHES (SEE GENERAL NOTES BELOW)	
SMOKE ALARM	
SMOKE & CARBON MONOXIDE ALARM	

HEADER / BEAM SCHEDULE		
MARK	LUMBER SIZE	MARK L.V.L. SIZE
(A)	2 x 6	(E) 3/4" x 1 1/4"
(B)	2 x 8	(F) 3/4" x 3 1/2" (NOTE 3)
(C)	2 x 10	(G) 3/4" x 11 5/8"
(D)	2 x 12	(H) 3/4" x 14"
		(I) 3/4" x 16"
		(J) 3/4" x 18"

- ALL HEADERS IN EXTERIOR AND IN INTERIOR LOAD BEARING WALLS ARE TO BE TYPE "C" 2" UNO.
- HEADERS SHALL HAVE 1 KING AND 1 TRIMMER STUD UNO. BEAMS SHALL HAVE 2 BEARING STUDS BELOW EACH END UNO. SOLID BLOCKING BELOW.
- FOR L.V.L. BEAMS IN 2x10 FLOORS, USE 3/4" L.V.L.

FLOOR JOIST SCHEDULE					
MARK	TYPE	SUB-TYPE	SIZE	SPACING	MAX SPAN
FJ-1	"I" JOIST (SEE NOTE)		3/4" x 12"	PER MANUFACTURER	
FJ-2	"I" JOIST (SEE NOTE)		11/8"	PER MANUFACTURER	
FJ-3	"I" JOIST (SEE NOTE)		14"	PER MANUFACTURER	
FJ-4	TRUSSED (SEE NOTES)		14"	PER MANUFACTURER	
FJ-5	TRUSSED (SEE NOTES)		16"	PER MANUFACTURER	
FJ-20	LUMBER	ACQ. TREATED	2x10	12" O.C.	16'-2"
FJ-21	LUMBER	ACQ. TREATED	2x10	16" O.C.	14'
FJ-22	LUMBER		2x8	12" O.C.	14'-2"
FJ-23	LUMBER		2x8	16" O.C.	12'-1"
FJ-24	LUMBER		2x10	12" O.C.	11'-9"
FJ-25	LUMBER		2x10	16" O.C.	15'-5"
FJ-26	LUMBER		2-2x10	16" O.C.	

NOTE: DESIGN I-JOISTS (LOADED W/ TOTAL LIVE AND DEAD LOAD) WITH A MAX. DEFLECTION OF L/360, EXCEPT BELOW BATHROOMS AND TILED AREAS WHERE THE DEFLECTION SHALL BE L/480 MAX.

CEILING JOISTS SCHEDULE - LIVE LOAD 10 P.S.F.				
MARK	SIZE	SPACING	MAXIMUM SPAN - DOUGLAS FIR #2	
CJ-1	2x6	12"	13'-6"	
CJ-2	2x6	16"	11'-8"	
CJ-3	2x8	12"	25'-8"	
CJ-4	2x8	16"	23'-0"	
CJ-5	2x10	12"	NA	
CJ-6	2x10	16"	NA	
CJ-7	2x4	24"	9'-10"	
CJ-8	2x6	24"	14'-10"	
CJ-9	2x8	24"	18'-9"	
CJ-10	2x10	24"	22'-11"	

SQUARE FOOTAGE TABLE	
LOCATION	AREA (S.F.)
FIRST FLOOR	2030
SECOND FLOOR	1723
BASEMENT (FINISHED)	1586
TOTAL	5339
GARAGE	444
SCREENED PORCH	168
FRONT PORCH	245
COVERED PORCH	168
DECK	105

GENERAL NOTES:

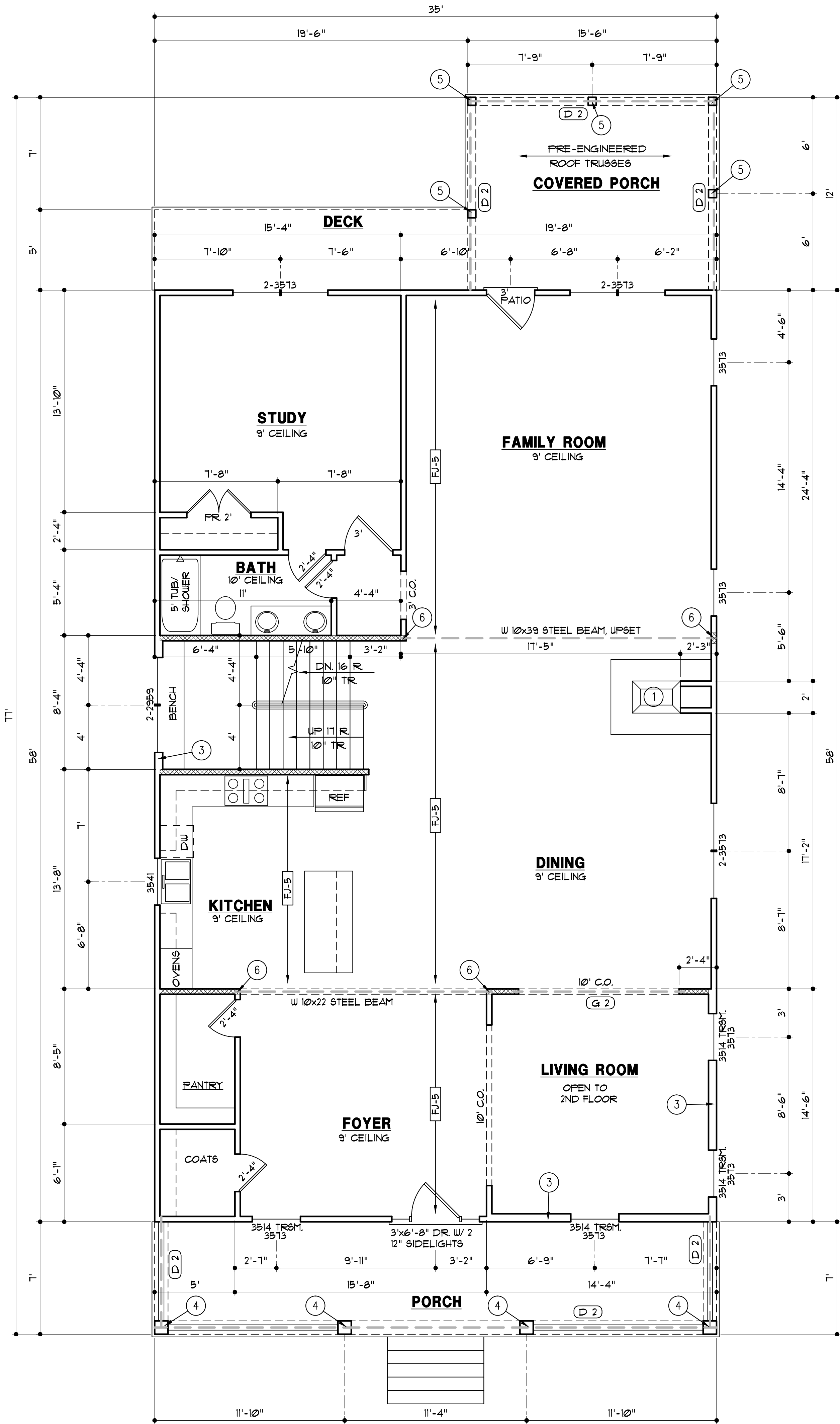
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B. EXTERIOR WALLS ARE 2x4 STUDS AT 16" O.C. UNLESS OTHERWISE NOTED.

C. 1/2" MIN. GYPSUM BOARD SHALL BE APPLIED TO THE GARAGE SIDE OF THE WALL SEPARATING THE GARAGE FROM ANY LIVING AREA'S

FLOOR PLAN NOTES

- 3-SIDED DIRECT VENT FIREPLACE WITH 16" DEEP HEARTH.
- 5 STUDS FOR BEARING. SOLID BLOCK BELOW
- 2x6 STUDS AT 16" O.C.
- 10" COLUMN
- 6x6 POST
- (4) 2x4 STUDS. SOLID BLOCK BELOW.



THESE DRAWINGS TO BE USED FOR THIS ADDRESS ONLY AND THEY SHALL NOT BE USED AS MASTER PLAN

FIRST FLOOR PLAN
1/4" = 1'-0"

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SHEET NO.
A2

FLOOR PLAN - SYMBOL LEGEND	
DESCRIPTION	SYMBOL
INTERIOR LOAD BEARING WALL	
STONE OR BRICK VENEER	
JOIST SIZE AND DIRECTION	
HEADER/ BEAM	SIZE OF MEMBER PER SCHEDULE
HEADER/ BEAM SCHEDULE	NUMBER OF FLYS
NUMBER OF FLYS	"U" IF UPSET
CENTERLINE	
POINT LOAD	
APPROX. WINDOW FRAME SIZE IN INCHES (SEE GENERAL NOTES BELOW)	
SMOKE ALARM	
SMOKE & CARBON MONOXIDE ALARM	

HEADER / BEAM SCHEDULE			
MARK	LUMBER SIZE	MARK	L.V.L. SIZE
(A)	2 x 6	(E)	3/4" x 1 1/4"
(B)	2 x 8	(F)	3/4" x 3 1/2" (NOTE 3)
(C)	2 x 10	(G)	3/4" x 11 5/8"
(D)	2 x 12	(H)	3/4" x 14"
		(I)	3/4" x 16"
		(J)	3/4" x 18"

1. ALL HEADERS IN EXTERIOR AND IN INTERIOR LOAD BEARING WALLS ARE TO BE TYPE "C 2" UNO.
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3. FOR L.V.L. BEAMS IN 2x10 FLOORS, USE 3 1/4" L.V.L.

CEILING JOISTS SCHEDULE - LIVE LOAD 10 P.S.F.			
MARK	SIZE	SPACING	MAXIMUM SPAN - DOUGLAS FIR #2
CJ-1	2x6	12"	19'-6"
CJ-2	2x6	16"	11'-8"
CJ-3	2x8	12"	25'-8"
CJ-4	2x8	16"	23'-0"
CJ-5	2x10	12"	NA
CJ-6	2x10	16"	NA
CJ-7	2x4	24"	9'-10"
CJ-8	2x6	24"	14'-10"
CJ-9	2x8	24"	18'-9"
CJ-10	2x10	24"	22'-11"

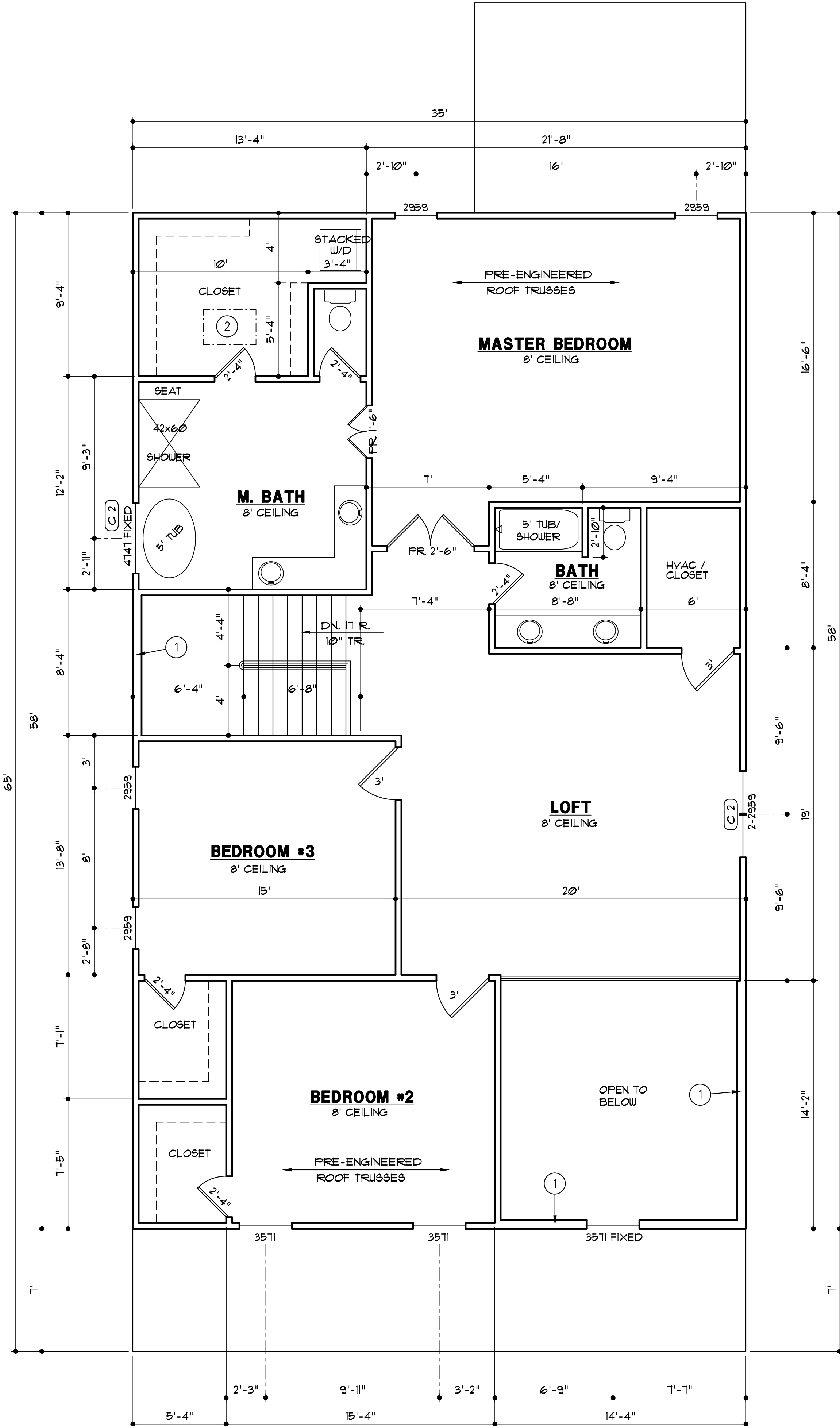
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B. EXTERIOR WALLS ARE 2x4 STUDS AT 16" O.C. UNLESS OTHERWISE NOTED.

FLOOR PLAN NOTES

1. 2x6 STUDS AT 16" O.C.
2. 1'-10"x3' ATTIC ACCESS



SECOND FLOOR PLAN

1/4" = 1'-0"

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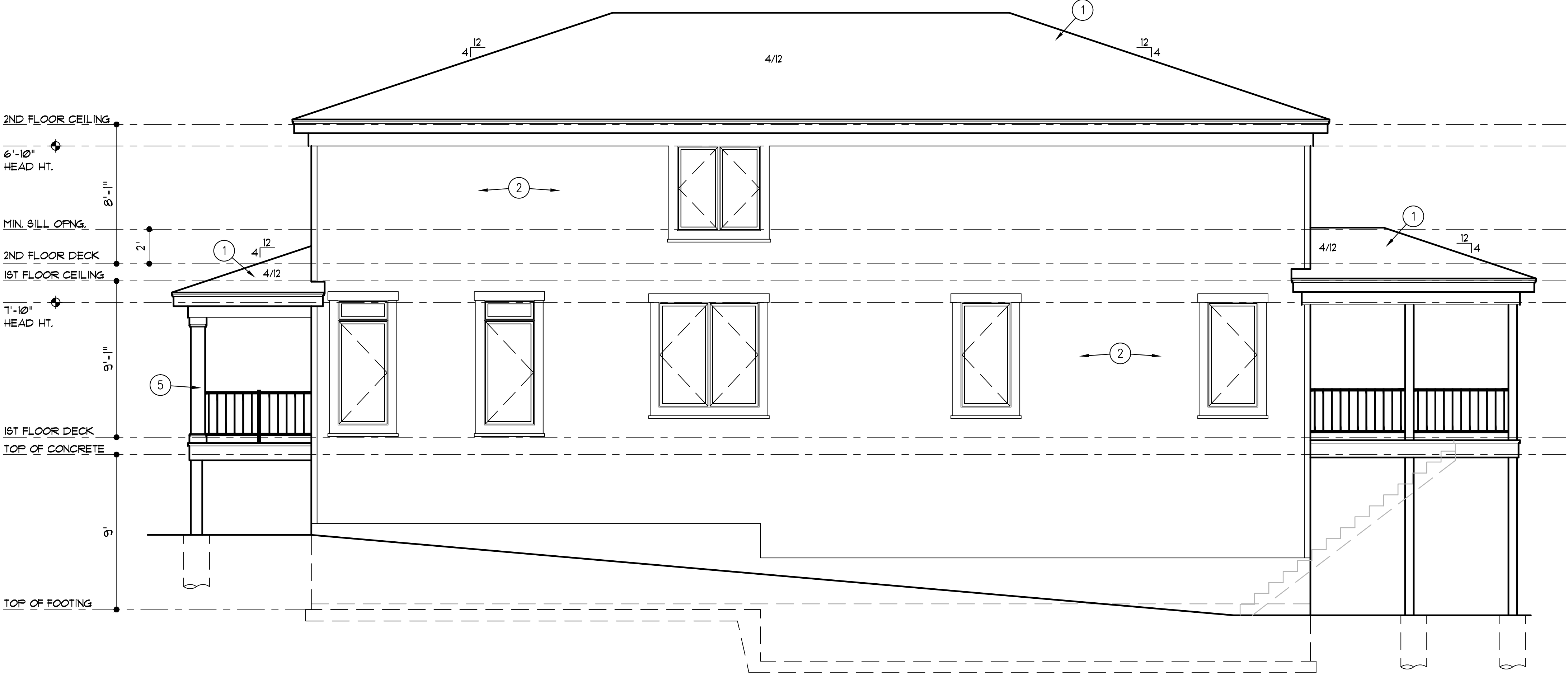
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12-8-16

DRAWN BY: SB
DATE: 12-5-16
PROJECT NO: 16-029-01

SHEET NO.
A3

ELEVATION NOTES

1. ROOFING TO BE COMPOSITION ON 30" FELT ON 1/16" O.S.B. SHEATHING
2. "HARDIPLANK LAP SIDING BY JAMES HARDIE SIDING PRODUCTS. USE SELECT CEDARMILL STYLE WITH 6" EXPOSURE. TRIM AT CORNERS, WINDOWS AND DOORS TO BE 4" SELECT CEDARMILL HARDITRIM, UNLESS NOTED OTHERWISE.
3. WOOD CORBEL
4. MAXIMUM 44" FROM FINISH FLOOR TO OPERABLE PORTION OF EGRESS WINDOW
5. 6x6 POST INSIDE 10" SQUARE COLUMN



RIGHT SIDE ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

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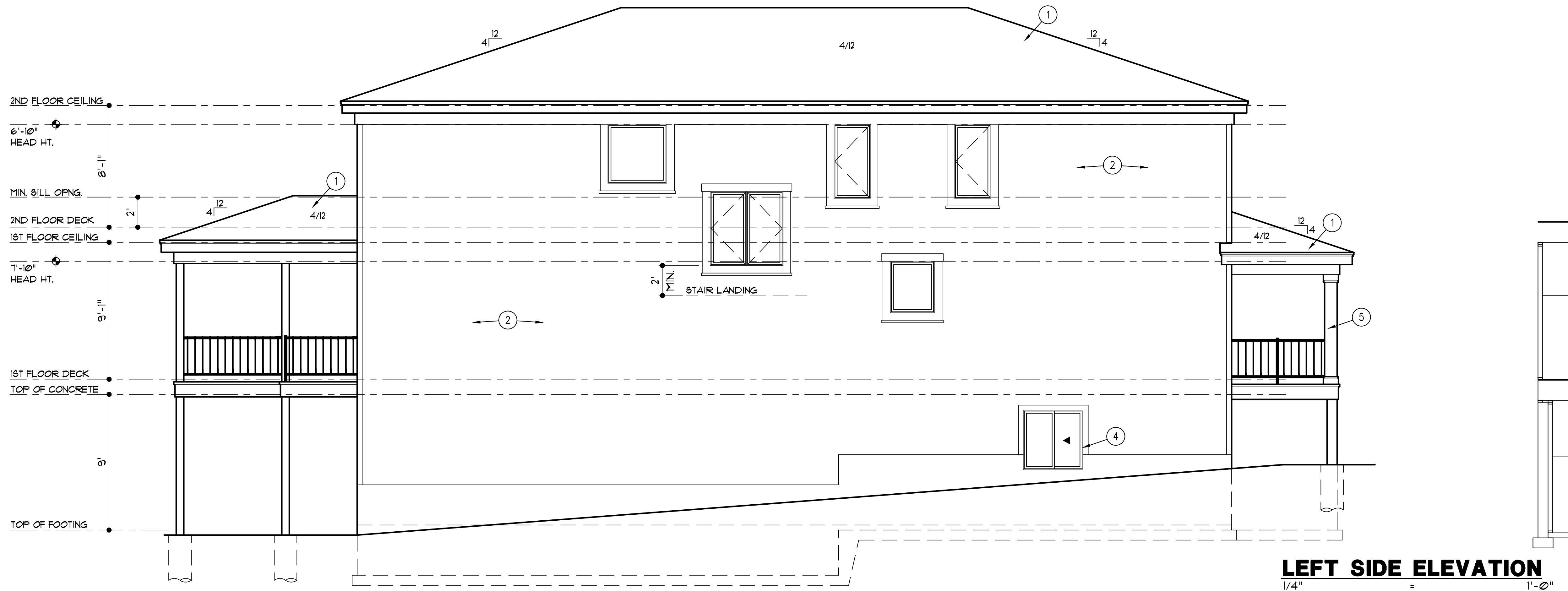
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12-8-16

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PROJECT NO: 16-029-01

SHEET NO.
A5

ELEVATION NOTES

1. ROOFING TO BE COMPOSITION ON 30" FELT ON 1/16" O.S.B. SHEATHING
2. "HARDIPLANK LAP SIDING BY JAMES HARDIE SIDING PRODUCTS. USE SELECT CEDARMILL STYLE WITH 6" EXPOSURE. TRIM AT CORNERS, WINDOWS AND DOORS TO BE 4" SELECT CEDARMILL HARDITRIM, UNLESS NOTED OTHERWISE.
3. WOOD CORBEL
4. MAXIMUM 44" FROM FINISH FLOOR TO OPERABLE PORTION OF EGRESS WINDOW
5. 6x6 POST INSIDE 10" SQUARE COLUMN



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SHEET NO.
A6

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ABBREVIATIONS

AFF.	ABOVE FINISH FLOOR
C.C.A.	CHROMATED COPPER ARSENATE
C.J.	CONTROL JOINT
C.G.	CEILING
C.O.	CASED OPENING
D.	DRYER
D.H.	DOUBLE HUNG
DIA.	DIAMETER
DN.	DOWN
D.W.	DISHWASHER
E.J.	EXPANSION JOINT
E.Q.	EQUAL
F.D.	FLOOR DRAIN
G.A.	GAUGE OR GAGE
GFI	GROUND FAULT CIRCUIT INTERRUPTER
H.B.	HOSE BIB
HT.	HEIGHT
K.S.	KNEE SPACE
L.B. (*)	FOUND
L.V.L.	LAMINATED VENEER LUMBER
MAX.	MAXIMUM
MIN.	MINIMUM
MICRO.	MICROVAIVE OVEN
O.C.	ON CENTER
O.H.	OVERHEAD/ OVERHANG
FR	FAIR
R.	RISER
REF.	REFRIGERATOR
R.F.	ROOM
R.O.	ROUGH OPENING
S.F.	SQUARE FEET
SIM.	SIMILAR
S.Q.	SQUARE
T.	TREAD
T.C.	TRASH COMPACTOR
T.V.	TELEVISION
TYP.	TYPICAL
W.	WASHER
W/	WITH
W.I.C.	WALK IN CLOSET
W.H.	WATER HEATER
W.U.F.	WELDED WIRE FABRIC

LOAD AND DEFLECTION LIMITATIONS

AREA	CONDITION	MIN. LOADS (PSF)	
		LIVE	DEAD
DECKS	-	40	10
CEILING JOISTS	NO STORAGE	10	10
CEILING JOISTS	STORAGE ALLOWED	20	10
FLOORS	NON-SLEEPING	40	10 (20 FOR TILED FLRS)
	SLEEPING AREAS	30	10 (20 FOR TILED FLRS)
ROOFS	WOOD OR COMPOSIT.	20	10 (20 IN LEAWOOD)
	TILE OR CONCRETE	20	20
STAIRS	-	40	10
HANDRAIL GUARDRAIL	-	200#	IN ANY DIRECTION

NOTE:
• WIND SPEED 90 MPH (CATAGORY AS DEFINED BY R302.1.4)
• TILE FLOOR LOAD BASED ON THINSET METHOD.

BUILDING INSULATION SCHEDULE

OPENING MAXIMUM U-VALUE	
WINDOWS	.35
OPAQUE DOORS	.35
GLASS DOORS	.40
SKYLIGHT	.6
BUILDING COMPONENT MINIMUM R-VALUE	
CEILING	
	WITH ATTIC
	CATHEDRAL
WALL	
	EXTERIOR 2x4 or 2x6
	BASEMENT (CAVITY or CONTINUOUS)
	CRAWL SPACE
FLOORS	
	TRENCH FOOTINGS - HEATED SLAB
	TRENCH FOOTINGS
	OVER UNHEATED SPACES
	OVER OUTSIDE AIR
DUCTS IN UNHEATED SPACES - SUPPLY AND RETURN	
DUCTS IN UNHEATED SPACES - IN FLOOR AND CEILING ASSEMBLY	
HOT WATER SYSTEM PIPING	
FURNACE (AFUE)	
AIR CONDITIONING (SEER)	
	1" OF INSULATION
	80% MINIMUM
	13 MINIMUM

CODE COMPLIANCE

A. BUILDING CONSTRUCTION: REGARDLESS OF WHAT IS SHOWN ON THE PLANS, THE BUILDING SHALL COMPLY WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE AND ANY OTHER CITY REQUIREMENTS.

B. FOUNDATION WALLS ARE DESIGNED TO COMPLY WITH THE JOHNSON COUNTY FOUNDATION GUIDELINES.

C. BUILDING DESIGNED FOR SEVERE CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA OF WEATHERING CONDITIONS, MODERATE DECAY CONDITIONS, 6 DEGREES FAHRENHEIT, AND 5333 HEATING DEGREE DAYS WINTER DESIGN TEMPERATURE CONDITIONS, 36 INCHES FROST LINE DEPTH CONDITIONS, AND FLOOD HAZARDS BASED UPON THE LATEST ADOPTED FIRM. ARTICLE 4-309.

GENERAL NOTES

A. GLASS: PROVIDE SAFETY GLAZING WHERE REQUIRED BY IRC E3302.12 AND THE FOLLOWING: 1. STORM DOORS, 2. INDIVIDUAL FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS WITHIN 60" OF THE FLOOR, 3. WALLS ENCLOSING STAIRWAYS AND LANDINGS WHERE THE GLAZING IS WITHIN 60" OF THE TOP OR BOTTOM OF THE STAIR, 4. ENCLOSURES FOR HOT TUBS, SAUNAS, STEAM ROOMS, SPAS, BATH TUBS, SHOWERS AND WHIRLPools, 5. FIXED OR OPERABLE PANELS EXCEEDING 9 SQUARE FOOT AND WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR AND WALKING SURFACE WITHIN 36"

B. EXTERIOR WINDOWS AND DOORS SHALL BE DESIGNED TO RESIST WIND LOADS SPECIFIED IN IRC TABLE R302.1(4)A. EXTERIOR OVERHEAD DOORS SHALL MEET D.A.S.M.A. 90 MPH REQUIREMENTS.

C. BEDROOM EGRESS: AT LEAST ONE WINDOW FROM EACH BEDROOM AND FROM THE BASEMENT SHALL HAVE AN OPERABLE AREA OF 5.7 SQUARE FEET WITH A MINIMUM OPERABLE HEIGHT OF 24" AND A WIDTH OF 21" AND WITH THE BOTTOM OF THE OPERABLE PORTION NO MORE THAN 44" AFF. WINDOWS WHOSE SILL IS 12" OR MORE ABOVE FINISHED GRADE AND WHOSE SILL IS LESS THAN 24" ABOVE FINISHED FLOOR SHALL HAVE WINDOW GUARDS OR OPENING CONTROL DEVICES WHICH RESTRICT A 4" SPHERE FROM PASSING THRU.

D. STAIRWAYS: MAXIMUM RISE 7¼", MINIMUM RUN 10", MINIMUM HEADROOM 6'-8", MINIMUM WIDTH 36". HANDRAILS ARE REQUIRED WHEN STAIRS HAVE 4 OR MORE RISERS. HANDRAIL TO HAVE ENDS RETURNED OR TERMINATED IN A NEWEL POST OR SAFETY TERMINAL AND PLACED MINIMUM 34", MAXIMUM 38" ABOVE TREAD NOSING. THE HAND GRIP PORTION OF HANDRAIL SHALL BE NOT LESS THAN 1-1/4" NOR MORE THAN 2 5/8" IN CROSS SECTION DIMENSION. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL. EXTEND ONE HANDRAIL 12" BEYOND THE TOP & BOTTOM RISER. INSTALL FIRE BLOCKING AT TOP AND BOTTOM OF STAIR RUN. THE CEILING AND WALLS OF USABLE SPACE UNDER STAIRS SHALL BE SURFACED WITH 1/2" GYPSUM BOARD, TAPED AND FINISHED.

E. GUARDRAILS: ALL UNENCLOSED FLOOR AREAS, STAIRS AND EXTERIOR DECKS OVER 30" ABOVE GRADE SHALL HAVE 36" HIGH GUARDRAILS WITH A MAXIMUM OPENING OF 4" BETWEEN BALLUSTERS. BALLUSTERS SHALL NOT CREATE A LADDER.

F. DOOR BETWEEN THE GARAGE AND DWELLING SHALL BE 1 3/8" THICK SOLID WOOD, 1 3/8" THICK MINIMUM SOLID CORE OR HONEY COMBED STEEL DOOR OR 10-MINUTE FIRE RATED, EQUIPPED WITH A SELF-CLOSING DEVICE.

G. ATTACHED GARAGE: CEILINGS AND BEAMS WITHIN THE GARAGE WILL BE COVERED WITH 5/8" TYPE "X" GYPSUM BOARD, IF SPACE ABOVE GARAGE IS LIVING SPACE.

H. BUILDER TO PROVIDE DECK OR LANDING PRIOR TO OWNER OCCUPANCY.

J. CRAWL SPACE: THE MINIMUM NET AREA OF VENTILATION OPENINGS WILL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR AREA. ONE SUCH VENTILATING OPENING WILL BE WITHIN 3 FEET OF EACH CORNER. AN 18"x24" MINIMUM ACCESS OPENING SHALL BE PROVIDED TO CRAWL SPACE.

K. ALL EXTERIOR DOORS, INCLUDING THE DOOR BETWEEN THE GARAGE AND THE HOUSE, SHALL INCORPORATE THE PHYSICAL SECURITY PROVISIONS OF SECTION MUNICIPAL CODE OF THE CITY IN WHICH THIS PROJECT IS LOCATED. FOR CITY OF RAYMORE SEE SECTION R324 "PHYSICAL SECURITY" OF MUNICIPAL CODE.

MECHANICAL ELECTRICAL NOTES

A. SMOKE DETECTORS: INSTALL ONE IN EACH BEDROOM, OUTSIDE OF EACH BEDROOM AREA, AT LEAST ONE ON EACH STORY INCLUDING THE BASEMENT. ALL ALARMS ARE TO BE INTERCONNECTED SO THAT ACTIVATING ONE ALARM ACTIVATES THEM ALL.

B. CARBON MONOXIDE ALARMS: IN DWELLING UNITS USING FUEL-FIRED APPLIANCES OR IN DWELLING UNITS WITH ATTACHED GARAGES, INSTALL CARBON MONOXIDE ALARMS OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.

C. GROUND FAULT CIRCUIT INTERRUPTER PROTECTION (GFCI) SHALL BE INSTALLED IN RECEPTACLES IN BATHROOMS, KITCHENS, GARAGES, UNFINISHED BASEMENTS, OUTDOORS, CRAWL SPACES, AND WITHIN 6' OF ANY SINK. BATHROOM RECEPTACLES REQUIRE SEPARATE 20-AMP CIRCUIT. PROVIDE ARC-FAULT CIRCUIT INTERRUPTERS AS REQUIRED BY IRC E3302.12 OR AS REQUIRED BY MUNICIPALITY.

D. FIREPLACE: FACTORY-BUILT FIREPLACE WILL BE EQUIPPED WITH LISTED COMPONENT FOR OUTSIDE COMBUSTION AIR PER IRC I2005 AND SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS

E. ALL BATHROOMS TO RECEIVE EXHAUST FANS-- 50 CFM DIRECTLY TO OUTSIDE. POINT OF DISCHARGE MIN. 3' FROM ANY OPENING.

MECHANICAL ELECTRICAL NOTES CONT.

F. HEAT PUMP THERMOSTATS MUST PREVENT BACK-UP ELECTRIC RESISTANCE HEAT WHEN THE HEAT PUMP CAN MEET THE LOAD.

G. DUCT SEALING MUST MEET THE REQUIREMENTS OF M 1601.31

H. ELECTRICAL CONDUCTORS SHALL BE COPPER AND THE PANEL BOX SHOULD BE 200 AMP

I. ANY DUCT PENETRATIONS OF THE WALLS OR CEILING SEPERATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF 26 GAUGE SHEET METAL WITH NO OPENINGS IN THE GARAGE.

CONCRETE NOTES

A. CONCRETE: ALL CONCRETE SHALL BE 5-7% AIR-ENTRAINED AND HAVE A MINIMUM COMPRESSIVE STRENGTH AS LISTED BELOW AT 28 DAYS:
1. BASEMENT AND INTERIOR FLOOR SLABS: 3,000 PSI (7,500 IN LEXENX)
2. BASEMENT AND FOUNDATION WALLS: 3,000 PSI
3. PORCHES, CARPORT AND GARAGE FLOOR SLABS: 3,500 PSI

B. REINFORCING SHALL BE GRADE 40. SPLICES SHALL LAP 24" MIN. UNLESS NOTED OTHERWISE.

C. FOOTINGS: FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND EXTEND A MINIMUM OF 36" BELOW FINISHED GRADE. FOOTINGS UNDER FOUNDATION WALLS SHALL HAVE A MINIMUM WIDTH OF 16" AND A MINIMUM DEPTH OF 8" AND SHALL HAVE 2 #4 BARS CONTINUOUS. TRENCH FOOTINGS SUPPORTING MORE THAN ONE FLOOR SHALL BE A MINIMUM OF 16" WIDE. FOOTINGS SHALL BE CONTINUOUS AROUND THE STRUCTURE AND FROM ONE LEVEL TO THE NEXT. MAXIMUM HORIZONTAL JUMPS FOR FOOTINGS SHALL BE 1'.

D. WALLS: HORIZONTAL BARS SHALL BE PLACED WITH THE TOP BAR WITHIN 8 INCHES OF THE TOP OF THE WALL AND OTHER BARS EQUALLY SPACED. BARS SHALL LAP A MINIMUM 18 INCHES AT ENDS, SPLICES AND AROUND CORNERS. REINFORCEMENT SHALL BE CONTINUOUS AROUND WINDOWS, DOORS AND OTHER OPENINGS WITH SPLICES AS NOTED ABOVE TO MINIMIZE CRACKING AT CORNERS OF THE OPENINGS. BARS SHALL BE PLACED 2" FROM THE INSIDE FACE OF THE WALL.

E. DAMPPROOFING: DAMPPROOFING REQUIRED FOR WALLS ENCLOSING BASEMENTS OR OTHER HABITABLE SPACE. A MINIMUM OF ONE COAT OF DAMPPROOFING SHALL BE APPLIED TO EXTERIOR WALL SURFACES BELOW GRADE. SEAL TIE HOLES, VOIDS AND HONEYCOMBED AREAS WITH SEALANT BEFORE DAMPPROOFING.

F. WATERPROOFING: WATERPROOFING REQUIRED IN LIEU OF DAMPPROOFING UNDER A HIGH WATER TABLE OR OTHER SEVERE WATER CONDITIONS EXIST.

G. DRAIN TILE: INSTALL CONTINUOUS 4" DRAIN TILE AROUND THE PERIMETER OF ALL FOUNDATIONS ENCLOSING HABITABLE SPACES LOCATED BELOW GRADE. INSTALL VERTICAL DRAINS TO THE PERIMETER DRAIN TILE AT ALL WINDOW WELLS. SET DRAIN TILE ON A 2" DEEP BY 12" WIDE GRAVEL BED AND COVER TILE WITH AT LEAST 6" OF COARSE, CLEAN ROCK AND A FILTER MEMBRANE MATERIAL. CONNECT THE DRAINS TO A 20-GALLON SUMP PIT OR DRAIN BY GRAVITY TO AN OUTLET WELL AWAY FROM THE HOUSE.

H. FOUNDATION ANCHORAGE: BASEMENT FOUNDATION SILL PLATES SHALL BE BOLTED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS EMBEDDED AT LEAST 1 INCHES INTO THE CONCRETE AND SPACED NOT MORE THAN 3 FEET ON CENTER AND WITHIN 12 INCHES OF THE END OF EACH PIECE.

I. BEAM POCKETS: RECESSED 4" INTO THE WALL. THE DEPTH AND WIDTH SHALL BE SIZED TO ACCOMMODATE THE DESIGNATED BEAM.

J. FLOOR SLABS: BASEMENT FLOOR SLABS SHALL BE A MINIMUM 4 INCHES THICK AND PLACED ON A 4-INCH GRAVEL BASE. THE BASEMENT FLOOR SHALL BE ISOLATED FROM COLUMN PADS, INTERIOR COLUMNS AND INTERIOR BEARING WALLS. INTERIOR COLUMNS AND BEARING WALLS SHALL BE SUPPORTED ON A SEPARATE INTERIOR FOOTING (NOT ON TOP OF THE FLOOR SLAB). THE GARAGE FLOOR SHALL SLOPE TOWARDS THE GARAGE DOORWAYS OR SLOPE TO A TRENCH OR UN-TRAPPED DRAIN THAT DISCHARGES DIRECTLY TO THE EXTERIOR ABOVE GRADE. OPTIONAL EXISTIT IN LEAWOOD 6 MIL. POLY VAPOR BARRIER SHOULD BE INSTALLED UNDER THE FLOOR SLAB.

GENERAL FRAMING NOTES

A. LUMBER: LUMBER IS #2 OR BETTER DOUGLAS FIR LARCH, EXCEPT FOR DECAY RESISTANT LUMBER WHICH IS SOUTHERN YELLOW PINE #2.

B. ALL EXTERIOR FRAMING LUMBER OR LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE DECAY RESISTANT

C. L.V.L. HEADERS & BEAMS ARE TO HAVE A MIN. MODULUS OF ELASTICITY OF 13 x 10⁶ PSI.

D. FLOOR, CEILING AND ROOF OPENINGS: TRIMMER JOISTS SHALL BE DOUBLED WHEN THE HEADER IS SUPPORTED MORE THAN 3 FEET FROM THE TRIMMER JOIST BEARING. TRIMMER AND HEADER JOISTS SHALL BE DOUBLED WHEN THE SPAN OF THE HEADER EXCEEDS 4 FEET. THE ENDS OF HEADER RAFTERS MORE THAN 6 FEET LONG SHALL BE SUPPORTED BY FRAMING ANCHORS OR RAFTER HANGERS UNLESS BEARING ON A BEAM, PARTITION OR WALL.

E. FRAMING AROUND OPENINGS: TRIMMER AND HEADER JOISTS SHALL BE DOUBLED WHEN THE SPAN OF THE HEADER EXCEEDS 4' THE ENDS OF HEADER JOISTS MORE THAN 6 FEET LONG SHALL BE SUPPORTED BY FRAMING ANCHORS OR JOIST HANGERS UNLESS BEARING ON A BEAM, PARTITION, OR WALL.

FRAMING NOTES- FLOORS

A. BEARING: THE ENDS OF EACH JOIST SHALL NOT HAVE LESS THAN 1-1/2 INCHES OF BEARING ON WOOD OR METAL. JOISTS FRAMING INTO BEAMS SHALL BE SUPPORTED BY METAL JOIST HANGERS. JOIST FRAMING FROM OPPOSITE SIDES OF A BEAM, GIRDER OR PARTITION SHALL BE LAPPED AT LEAST 3 INCHES OR STRAPPED TOGETHER. JOISTS UNDER AND PARALLEL TO BEARING PARTITIONS SHALL BE DOUBLED.

B. LATERAL SUPPORT: JOISTS AT SUPPORTS SHALL BE SUPPORTED Laterally AT THE ENDS BY FULL-DEPTH SOLID BLOCKING NOT LESS THAN 2" NOMINAL THICKNESS OR BY ATTACHMENT TO A HEADER, BAND OR RIM JOIST OR TO AN ADJOINING STUD OR OTHERWISE PROVIDED WITH LATERAL SUPPORT TO PREVENT ROTATION. WHERE JOISTS ARE PERPENDICULAR TO BRACED WALL LINES, PROVIDE BLOCKING UNDER AND IN-LINE WITH THE BRACED WALL PANEL.

C. DECKING TO BE ¾" (MIN) PLYWOOD OR ORIENTED STRAND BOARD INSTALLED PERPENDICULAR TO JOISTS.

D. TOP OF WALL SUPPORT CONNECTIONS: WHERE JOISTS RUN PARALLEL TO FOUNDATION WALLS, SOLID BLOCKING FOR A MINIMUM OF 2 JOIST SPACES SHALL BE PROVIDED AT A MAXIMUM OF 4 FEET CENTERS, AND SHALL BE SECURELY NAILED TO THE JOISTS AND FLOORING. IF DUCTS ARE INSTALLED IN THE FIRST JOIST SPACE(S), NAIL 2 BY 4'S FLAT AT 4-FOOT CENTERS WITHIN THE JOIST SPACE(S) AND THEN PROVIDE THE SOLID BLOCKING. SECURE EACH 2 BY 4 TO THE SILL PLATE WITH FOUR 10D NAILS.

E. 1" JOISTS (IF USED) SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS.

F. PROVIDE BLOCKING OR BRIDGING AT CANTILEVERS.

G. IF REQUIRED BY CITY, PROVIDE 1/2" DRYWALL ON CEILING OF UNFINISHED SPACES FOR FLOOR FRAMING USING 1" JOISTS OR TRUSSES.

FRAMING NOTES - WALLS

A. SIZE, HEIGHT AND SPACING: UNLESS OTHERWISE NOTED, STUDS SHALL BE 2 X 4'S SPACED AT 16" O.C.

FOR EXTERIOR WALLS SUPPORTING A ROOF ONLY, 2 X 6 STUDS SPACED 16" O.C SHOULD BE USED FOR ALL WALLS 14' TO 18' TALL AND 2 X 6 STUDS SPACED 12" O.C SHOULD BE USED FOR WALLS 18' TO 20' TALL.

FOR WALLS SUPPORTING A ROOF AND A FLOOR 2 X 6 STUDS SPACED 16" O.C SHOULD BE USED FOR WALLS 12' TO 18' TALL.

STUDS SHALL BE CONTINUOUS FROM SOLE PLATE TO TOP PLATE OR CEILING DIAPHRAGM, EXCEPT FOR JACK STUDS, TRIMMER OR CRIPLE STUDS.

B. ANGLES: ANGLED WALLS ARE ASSUMED TO BE 45° UNLESS OTHERWISE NOTED.

C. FRAMING DETAILS: BEARING AND EXTERIOR WALL STUDS SHALL BE CAPPED WITH DOUBLE TOP PLATES INSTALLED TO PROVIDE OVER-LAPPING AT CORNERS AND AT INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 48 INCHES.

D. OPENINGS: UNLESS OTHERWISE NOTED, ALL HEADERS ARE TO BE TYPE "A" PER THE HEADER SCHEDULE. EACH END OF A HEADER SHALL HAVE A BEARING LENGTH OF NOT LESS THAN 1-1/2 INCHES FOR THE FULL WIDTH OF THE LINTEL. PROVIDE SOLID BLOCKING BELOW ALL STUDS SUPPORTING HEADERS AND BEAMS.

- UNLESS OTHERWISE DIMENSIONED, INTERIOR DOORS AND CASED OPENINGS ARE TO BE CENTERED IN THE WALL OR 3" FROM CORNERS AS INDICATED ON THE DRAWINGS.

E. FIRE BLOCKING OF NON-COMBUSTIBLE MATERIAL SHALL BE PROVIDED IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES, AND LAUNDRY CHUTES AT CEILING AND FLOOR LEVELS.

F. CRIPPLE WALLS: FOUNDATION CRIPPLE WALLS SHALL BE FRAMED WITH 2 X 4 STUDS WITH A MINIMUM LENGTH OF 14" OR SHALL BE FRAMED OF SOLID BLOCKING. WHEN EXCEEDING 4' IN HEIGHT ON 2 STORY STRUCTURES, WALLS SHALL BE 2 X 6 STUDS AT 16" O.C.

G. BASEMENT NONBEARING WALLS: NON-LOAD BEARING STUD WALLS EXTENDING FROM THE FLOOR SLAB TO THE STRUCTURE ABOVE SHALL BE PROVIDED WITH A MINIMUM 1-INCH EXPANSION JOINT.

H. GARAGE DOORS AND FRAMES SHALL BE DESIGNED AND INSTALLED TO MEET A 90 mph WIND LOAD. THE H-FRAME FOR ATTACHMENT OF TRACK AND COUNTER BALANCE SHALL CONSIST OF THE FOLLOWING: 2x6 VERTICAL JAMBS RUNNING FROM FLOOR TO CEILING ATTACHES WITH 3-1/4"x120 NAILS @ 1" O.C. STAGGERED WITH 1) 3-1/4"x120 NAILS THRU JAMB INTO HEADER, MINIMUM 2x8 HEADER FOR ATTACHMENT OF COUNTER BALANCE SYSTEM.

FRAMING NOTES- DECKS

A. FOR DECK LEDGER ATTACHMENT AND DECK CONSTRUCTION REFER TO IRC SECTION 501.

FRAMING NOTES: CEILING

A. BLOCKING: ROOF RAFTERS AND CEILING JOISTS SHALL BE SUPPORTED Laterally TO PREVENT ROTATION AND LATERAL DISPLACEMENT.

B. JOISTS FRAMING INTO BEAMS SHALL BE SUPPORTED BY METAL JOIST HANGERS.

FRAMING NOTES- ROOF

A. FRAMING: RAFTERS SHALL BE FRAMED DIRECTLY OPPOSITE EACH OTHER AT THE RIDGE. THERE SHALL BE A RIDGE BOARD AT LEAST 1-INCH NOMINAL THICKNESS AT ALL RIDGES AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. AT ALL VALLEYS AND HIPS THERE SHALL BE A SINGLE VALLEY OR HIP RAFTER NOT LESS THAN 2-INCH NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER.

B. BRACING: ALL FURLINS AND HIPS, RIDGES, AND VALLEYS SHOWN TO BE SUPPORTED SHALL BE BRACED WITH A STRUT DOWN TO A BEARING WALL (WALLS LOCATED DIRECTLY ABOVE A BEAM LINE OR CONTINUOUS FOOTING). THE MINIMUM SLOPE OF THE STRUTS SHALL NOT BE LESS THAN 45° FROM THE HORIZONTAL.

C. RAFTER TIES: RAFTERS SHALL BE NAILED TO ADJACENT CEILING JOISTS TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHEN SUCH JOISTS ARE PARALLEL TO THE RAFTERS. WHEN NOT PARALLEL, RAFTERS SHALL BE TIED TO 2"x4" MINIMUM CROSSIES AT EACH RAFTER AND LOCATED AS CLOSE TO THE CEILING JOISTS AS POSSIBLE (REF: DETAIL 10, 11, & 12/G2).

D. RAFTER COLLAR TIES: PROVIDE 1x4 MIN. COLLAR TIES AT 48" O.C. (REF: DETAIL 10, 11, & 12/G2). AT CATHEDRAL CEILINGS PROVIDE RIDGE STRAPS.

E. VAULTED CEILINGS: FOR RAFTERS SMALLER THAN A 2 X 10, FURRING MUST BE ADDED TO THE BOTTOM OF THE RAFTER TO OBTAIN A 9 1/4" MINIMUM DEPTH.

F. FLASH AND COUNTERFLASH ROOF RIDGES AND VALLEYS, ROOF PENETRATIONS, CHANGES IN ROOF PITCHES, RAKES, CHIMNEY BASES, WINDOW AND DOOR HEADS, ETC. TO PREVENT LEAKAGE THROUGH JOINTS, ALL EXPOSED FLASHING TO BE 26 GAUGE ALUMINUM. COUNTERFLASHING SHALL BE FABRICATED FROM 40# TERNE METAL.

G. ATTIC VENTILATION: THE NET FREE VENTILATION AREA SHALL BE NOT LESS THAN 1/50 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/300, PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED, AT LEAST 3 FEET ABOVE EAVES OR CORNICE VENTS, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. RAFTERS SPACES ENCLOSED BY CEILINGS DIRECTLY APPLIED TO UNDERSIDE OF RAFTERS SHALL BE SIZED TO ALLOW A MINIMUM 1 INCH CLEAR VENTED AIR SPACE ABOVE THE INSULATION AND EACH SPACE BETWEEN JOISTS SHALL BE VENTED.

H. ROOF SHEATHING: SHALL BE INSTALLED PERPENDICULAR TO THE ROOF JOISTS AND THE ENDS SHALL BE STAGGERED.

PREFABRICATED WOOD TRUSSES (IF USED)

A. ROOF AND FLOOR TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH TRUSS PLATE INSTITUTE (TPI) DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES AND THE NATIONAL DESIGN SPECIFICATION FOR ANSIFORMA WOOD CONSTRUCTION. PROVIDE TEMPORARY AND PERMANENT BRACING ON ALL TRUSSES, AS REQUIRED TO PROVIDE MEMBER AND TRUSS STABILITY.

B. ROOF TRUSSES SHALL BE DESIGNED AND CONSTRUCTED FOR A MAXIMUM TOTAL LOAD DEFLECTION OF L/240, AND TO SAFELY SUPPORT THE FOLLOWING LOADS:

1. TOP CHORD:
 - a. LIVE LOAD SEE GENERAL NOTES
 - b. DEAD LOAD 15 PSF
2. BOTTOM CHORD:
 - a. LIVE LOAD 10 PSF
 - b. DEAD LOAD 10 PSF
3. WIND LOADS IN ACCORDANCE WITH THE APPROPRIATE BUILDING CODE. GABLED END TRUSSES SHALL HAVE VERTICAL MEMBERS SPACED AT 16" ON CENTER MAXIMUM.
4. TRUSSES SHALL ALSO BE DESIGNED TO SUPPORT ADDITIONAL OVERBUILD FRAMING TO FORM VALLEYS AND HIPS ON ROOFS.
5. TRUSSES SHALL BE DESIGNED TO SUPPORT DRIFTED SNOW LOADS IN ACCORDANCE WITH THE APPROPRIATE BUILDING CODE.
6. TRUSSES SHALL BE ATTACHED TO WALL ASSEMBLIES BY CONNECTIONS CAPABLE OF RESISTING UPLIFT FORCES AS SPECIFIED ON THE TRUSS DESIGN DRAWINGS PER IRC TABLE R802.11.

ENERGY REQUIREMENTS

A. THE BUILDING THERMAL ENVELOPE IS REQUIRED TO BE SEALED (IRC N102.4.1)

B. RECESSED LIGHTING SHALL BE SEALED TO PREVENT LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES

C. DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED (IRC SECTION N103.2)

D. PENETRATIONS IN AIR BARRIERS (HOUSE WRAP) SHALL BE TAPED AND SEALED AS REQUIRED BY AIR BARRIER MANUFACTURER, WINDOW/DOOR MANUFACTURER AND ENERGY CODE.

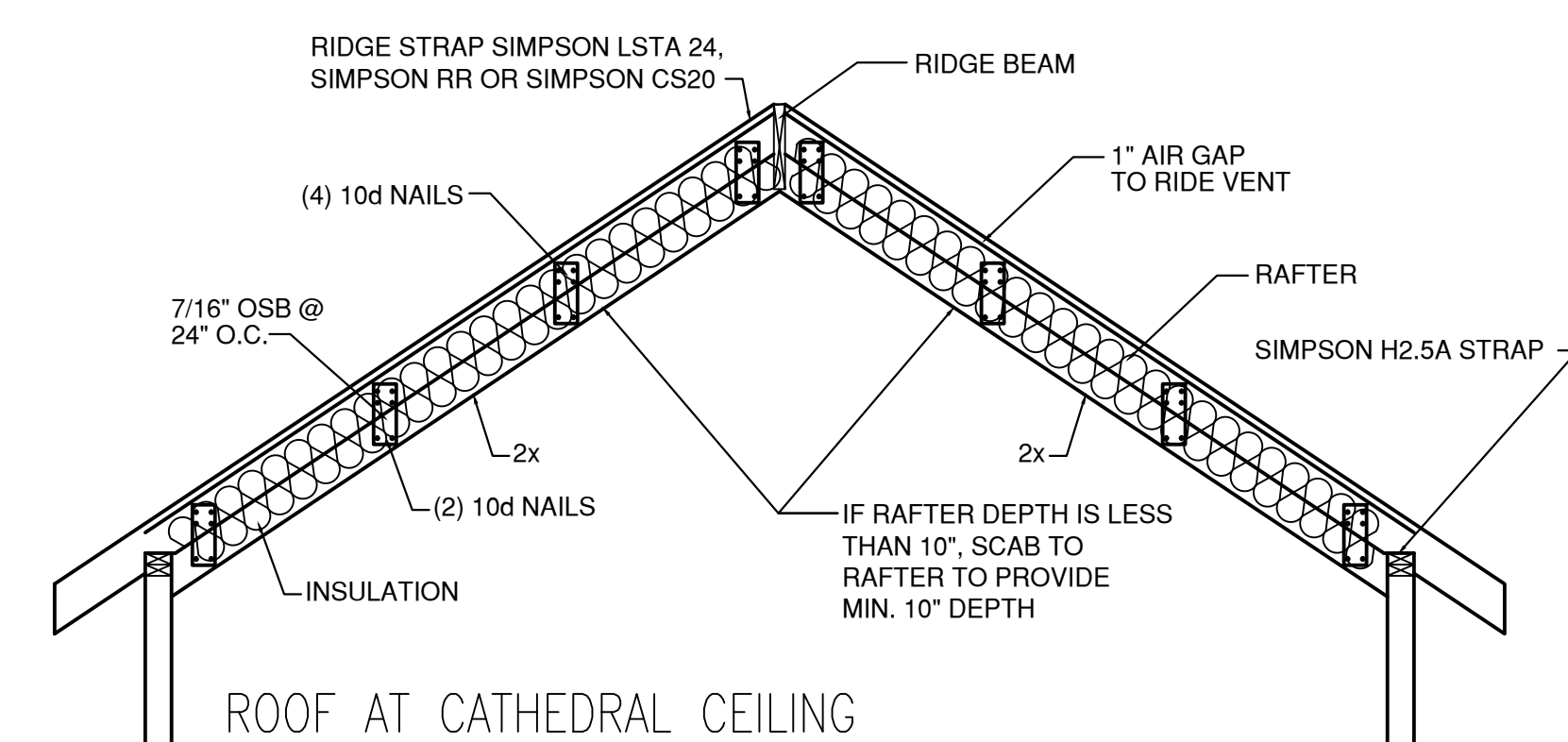
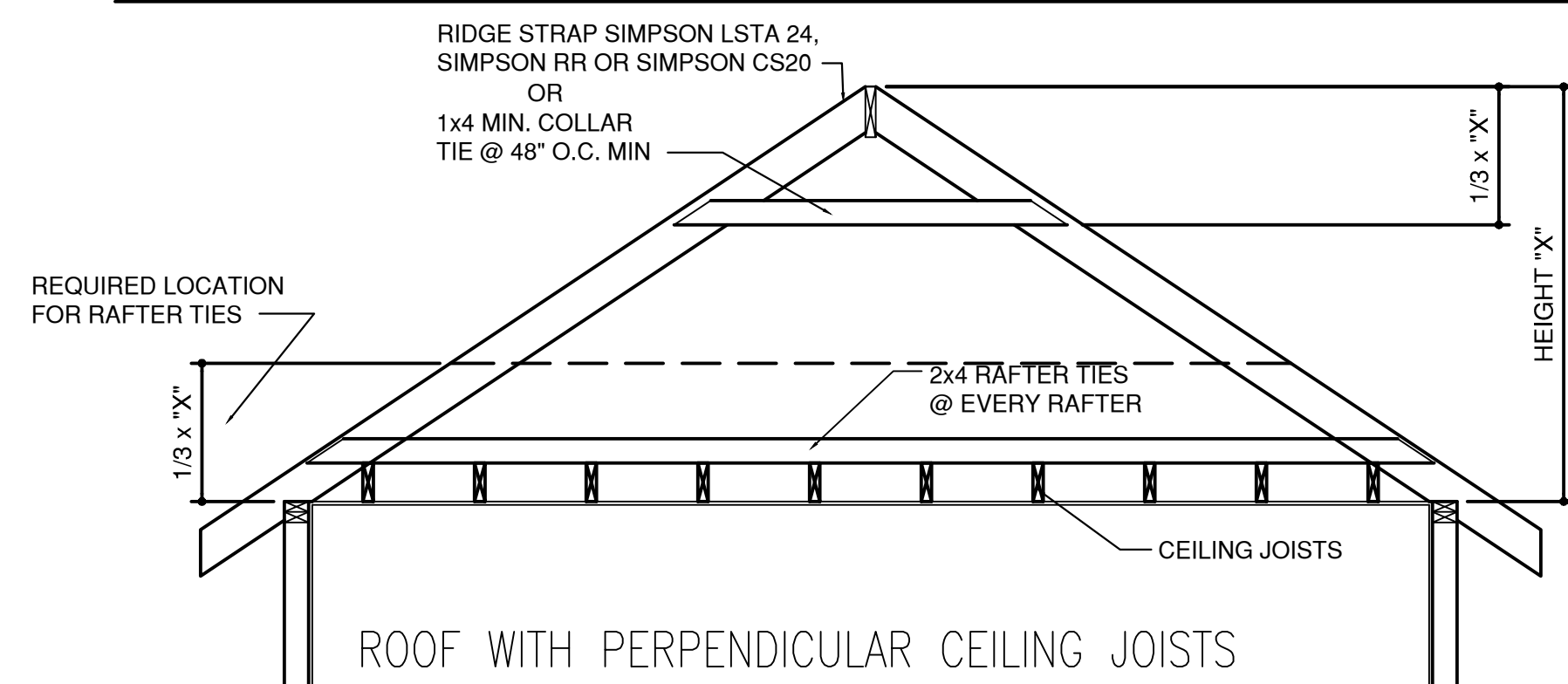
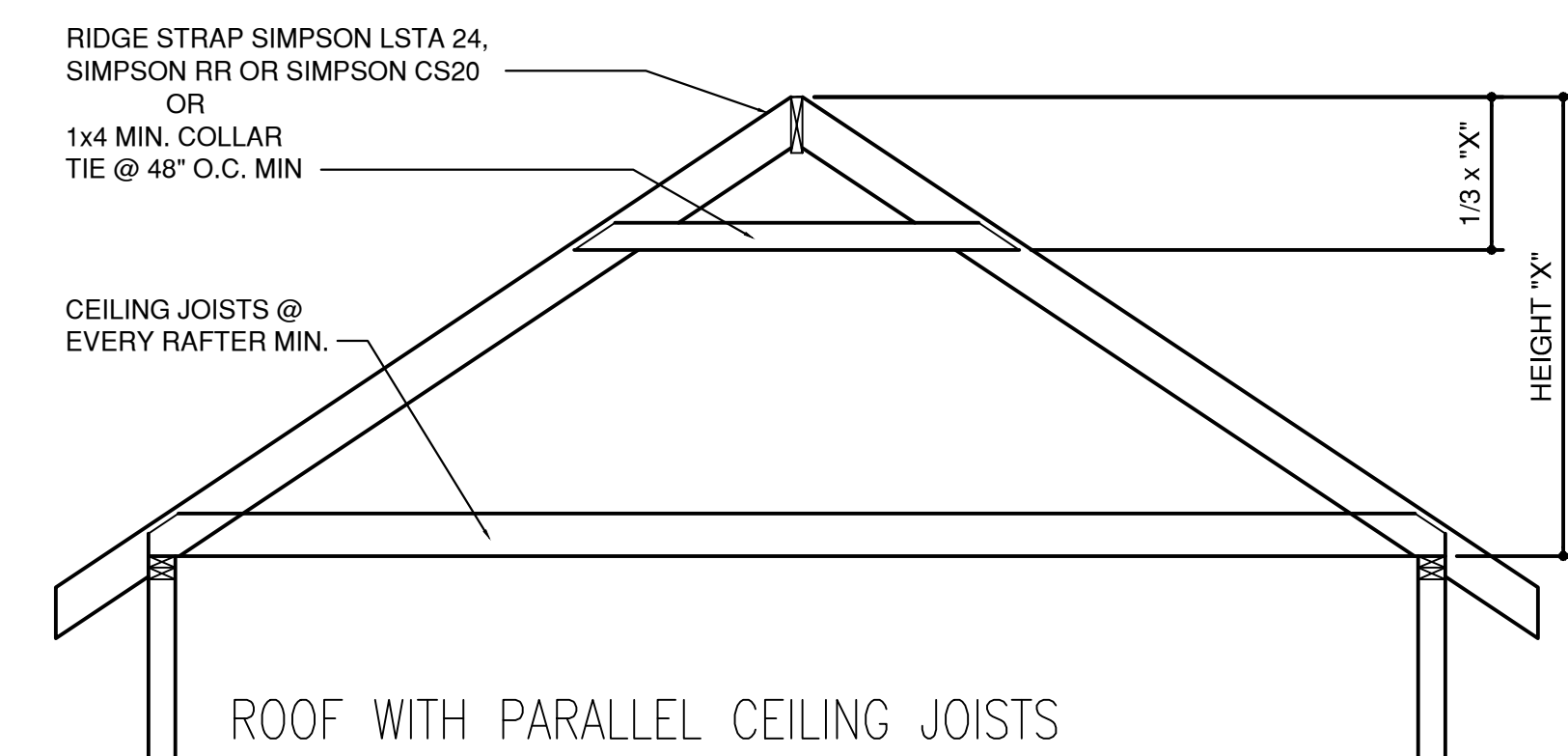
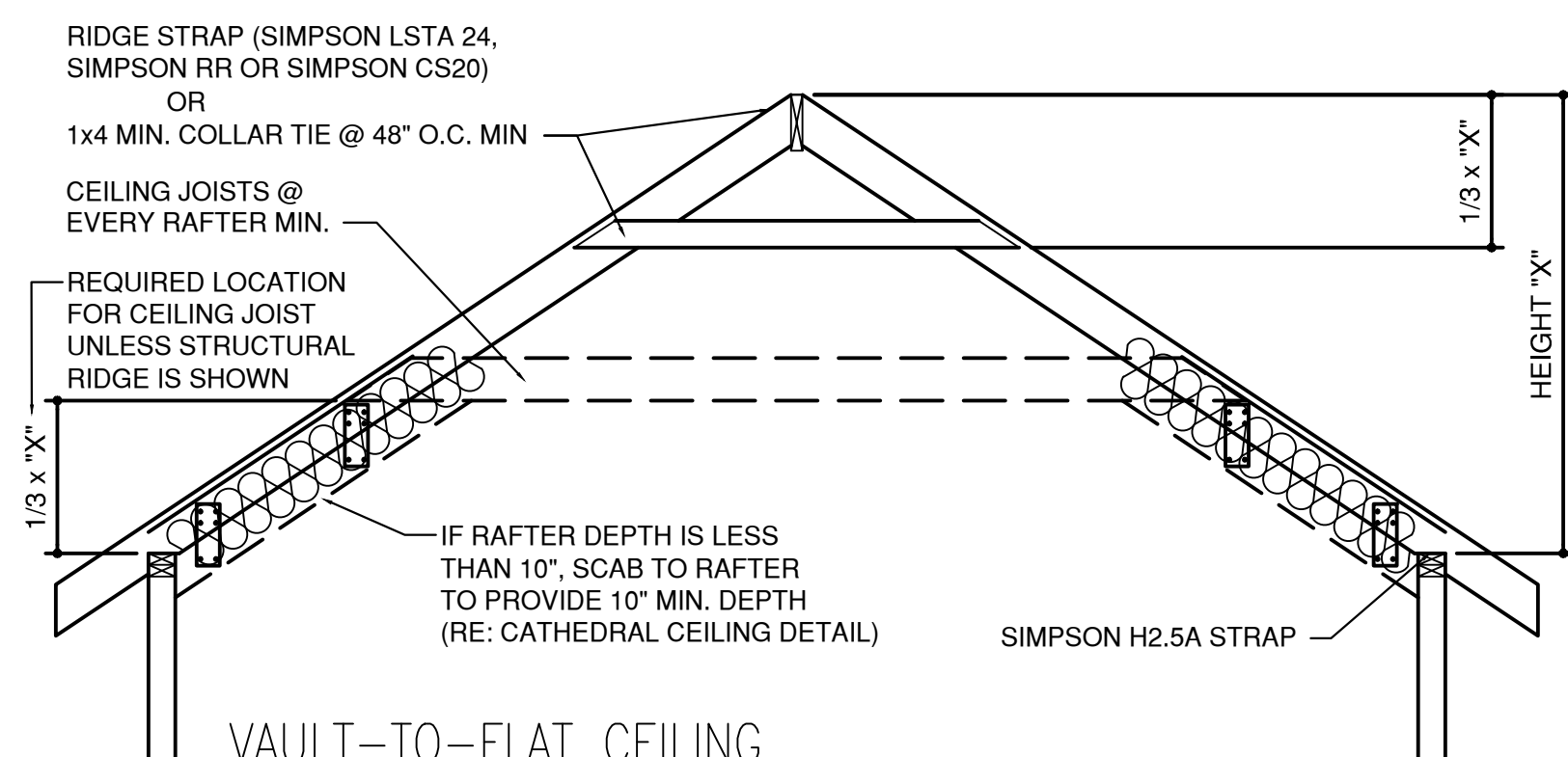
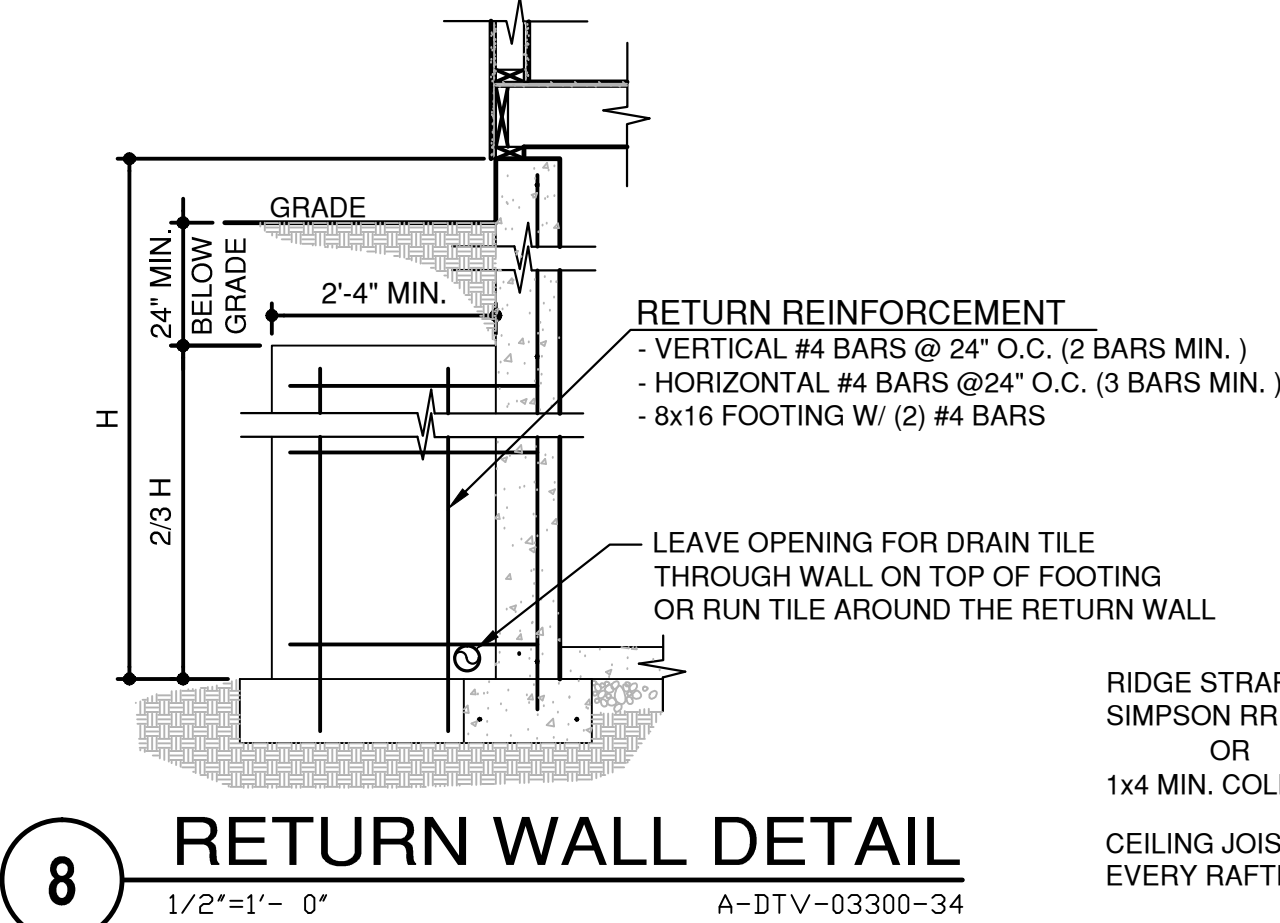
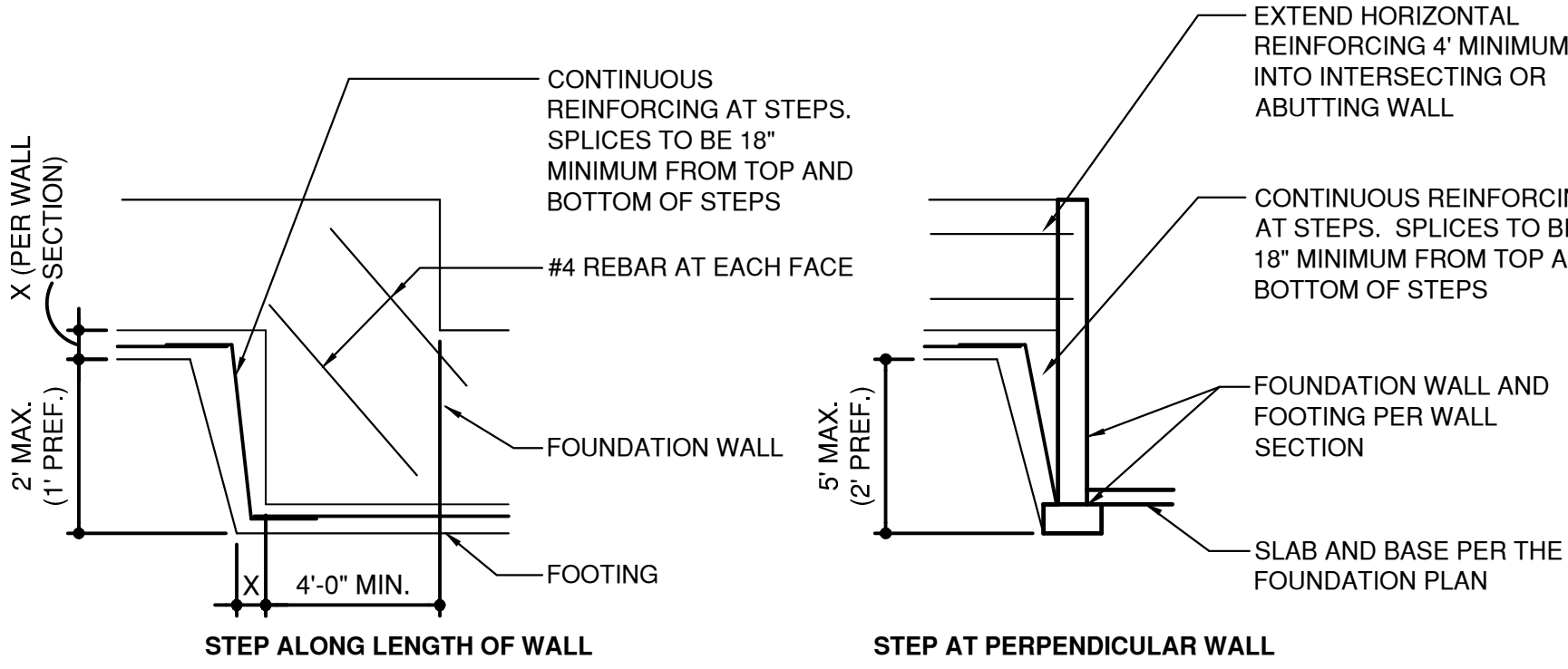
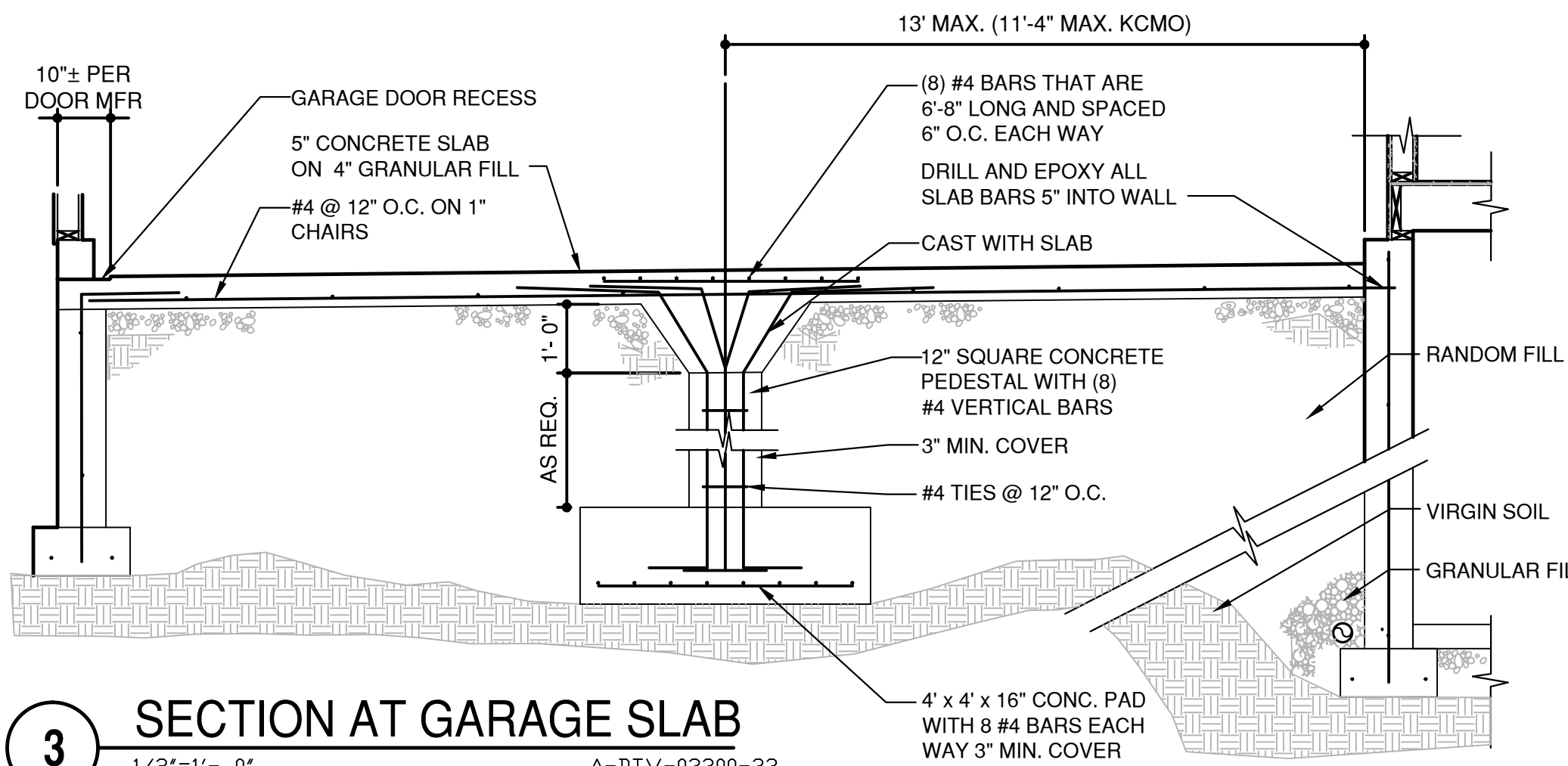
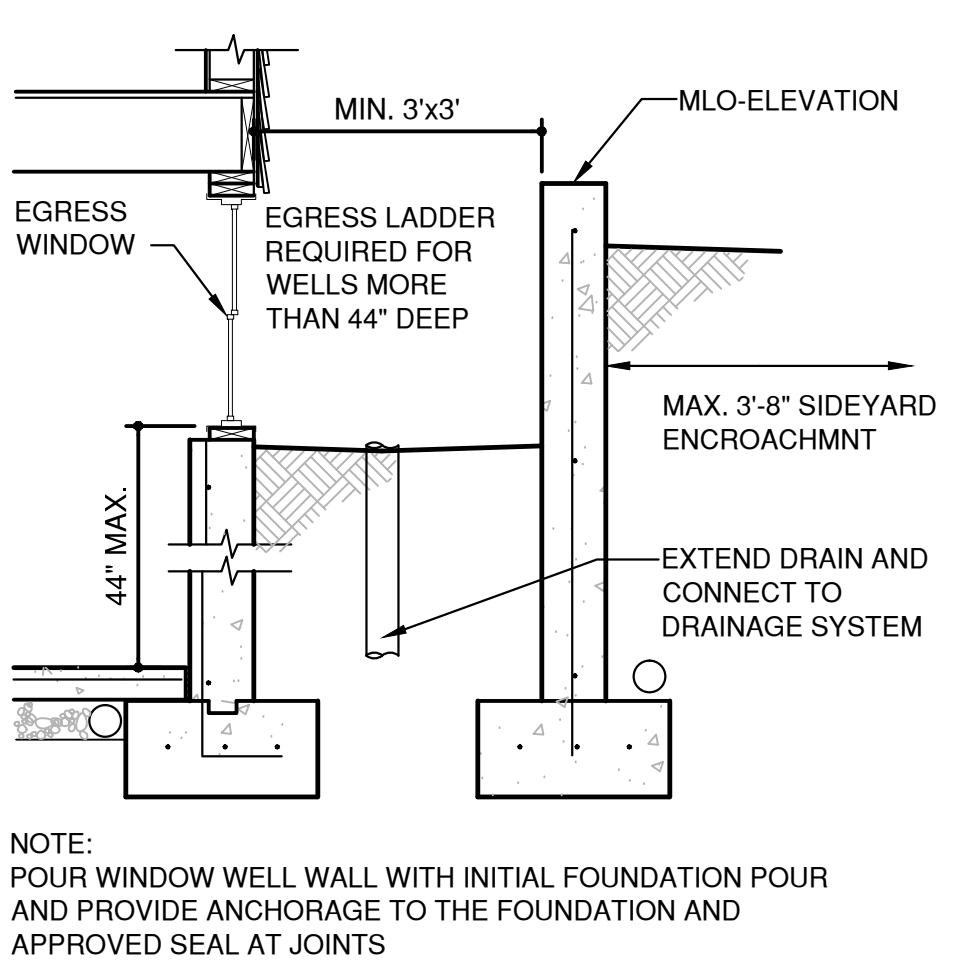
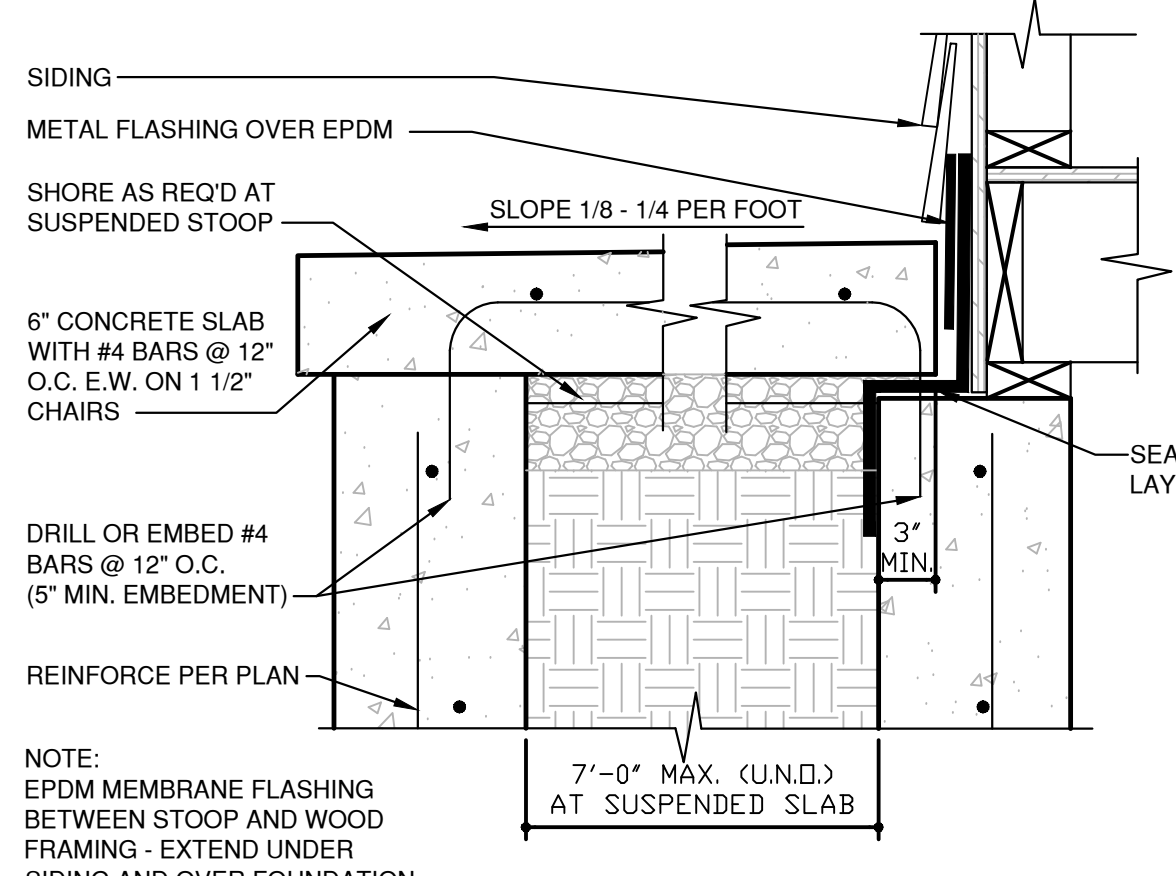
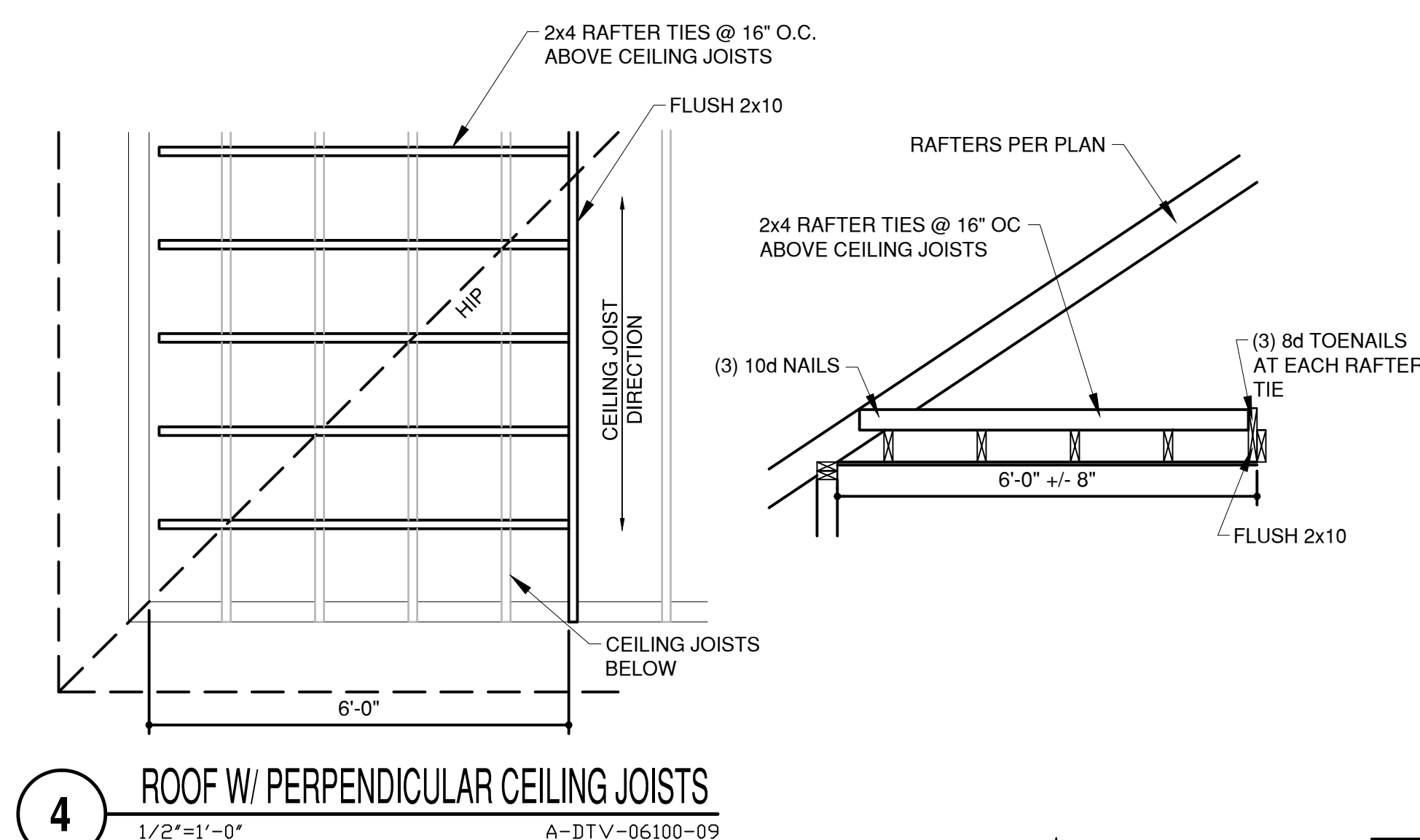
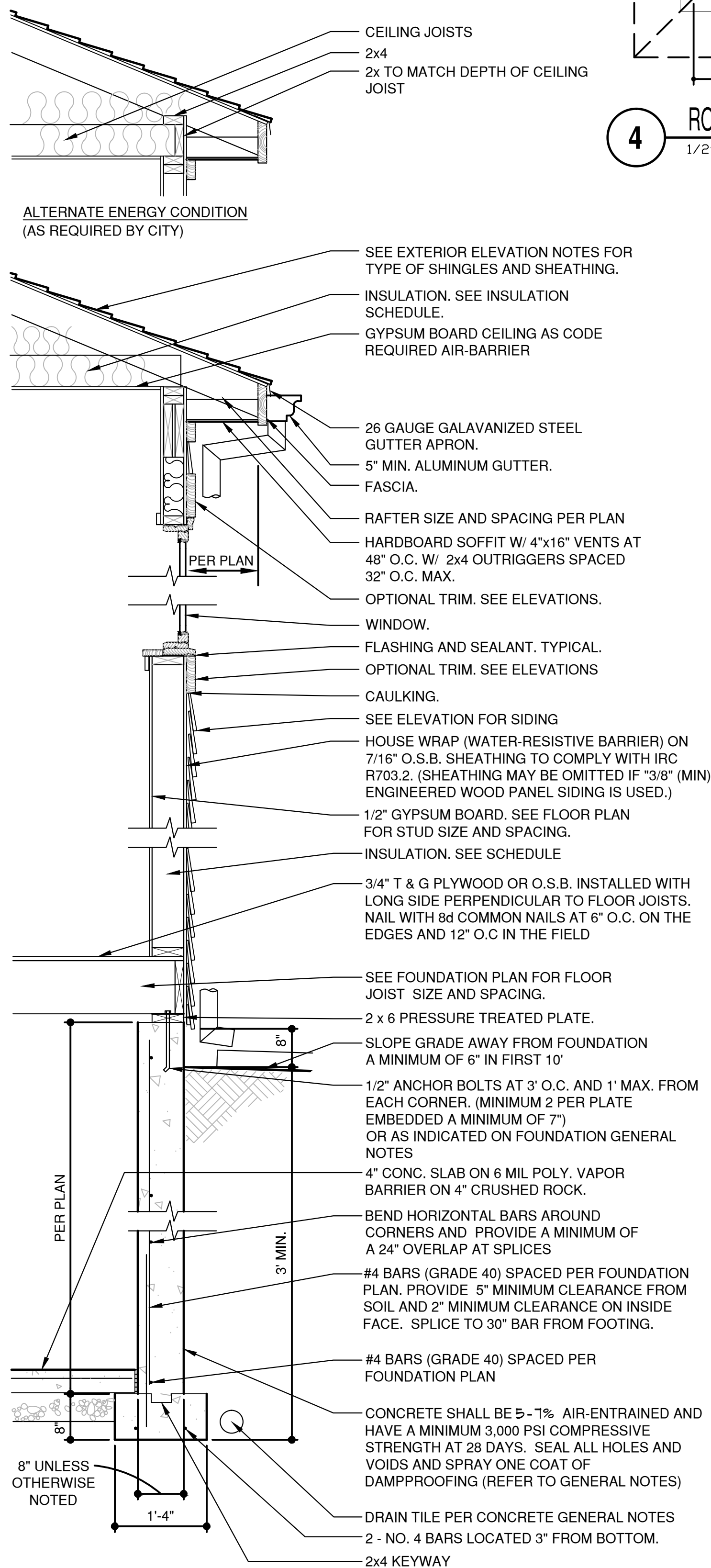
D. FOR CITY OF OLATHE (BUILDER CHECK ONE)

☐ THE ENERGY AUDIT METHOD OF COMPLIANCE FOR THE 2009 ENERGY CODE SHALL BE FOLLOWED.

☐ THE PRESCRIPTIVE METHOD FOR COMPLIANCE WITH THE 2012 ENERGY CODE SHALL BE FOLLOWED.

FASTENING SCHEDULE

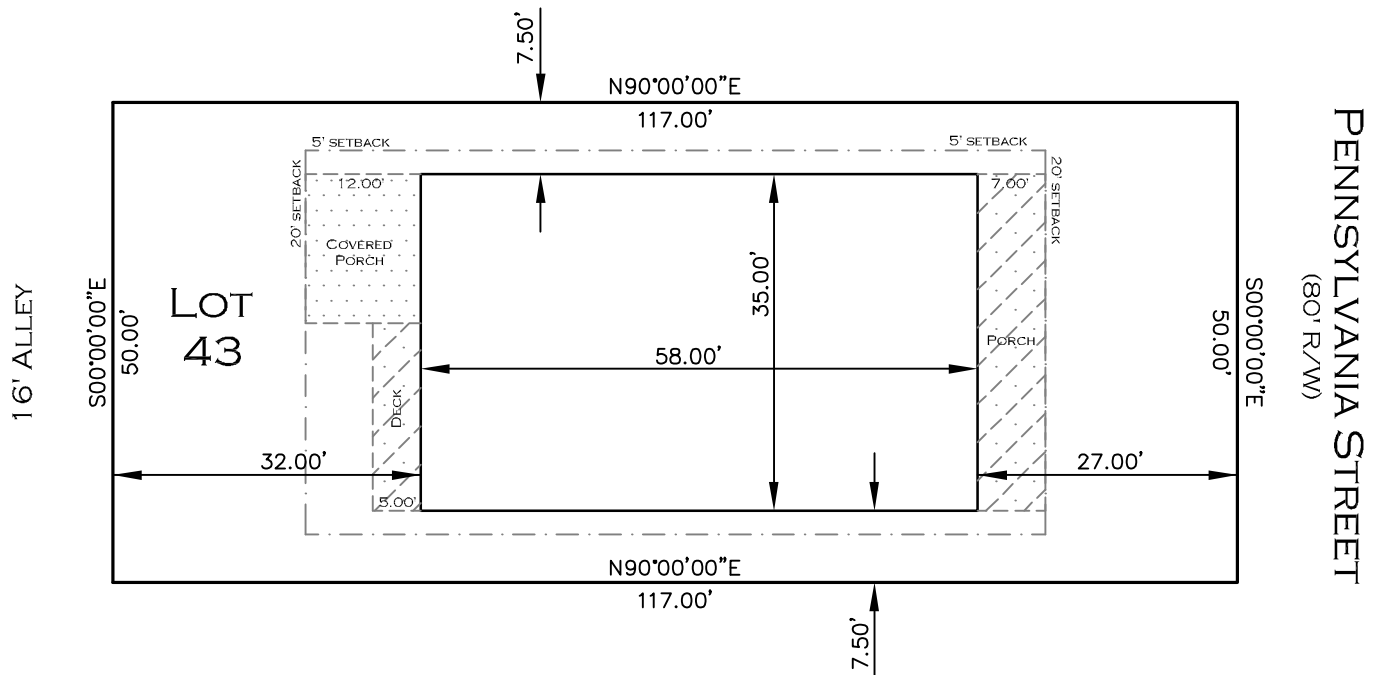
CONNECTION	NAILS	LOCATION
JOIST TO SILL OR GIRDER	3-8d 3 - 3" x Ø131"	TOENAIL
BRIDGING TO JOIST	2-8d 2 - 3" x Ø131"	TOENAIL
SOLE PLATE TO JOIST OR BLOCKING	6d at 16" o.c. 3-3" x Ø131 at 8" o.c.	FACE NAIL
SOLE PLATE TO JOIST / BLOCKING AT BRACED WALL PANELS	3-16d at 16" o.c. 4 - 3" x Ø131 at 16" o.c.	FACE NAIL
TOP PLATE TO STUD	2-16d 3 - 3" x Ø131"	END NAIL
STUD TO SOLE PLATE	4 - 3" x Ø131"	4-8d TOENAIL
	2-16d 3 - 3" x Ø131"	FACE NAIL
DOUBLE STUDS	16d at 24" o.c. 3" x Ø131 at 8" o.c.	FACE NAIL
DOUBLE TOP PLATES	16d at 24" o.c. 3" x Ø131 at 12" o.c.	FACE NAIL
	8-16d 12- 3" x Ø131	LAP SPLICE
BLOCKING BETWEEN JOISTS AND RAFTERS TO TOP PLATE	3-8d 3-3" x Ø131 at 12" o.c.	TOENAIL
RIM JOIST TO TOP PLATE	8d at 6" o.c. 3" x Ø131 at 6" o.c.	TOENAIL
TOP PLATE, LAPS AND INTERSECTIONS	2 - 16d 3 - 3" x Ø131"	FACE NAIL
CONTINUOUS HEADER, 2 PIECES	16d at 16" o.c. 3" x Ø131 at 12" o.c.	FACE NAIL
CEILING JOISTS TO TOP PLATE	3-8d 5 - 3" x Ø131	TOENAIL
CONTINUOUS HEADER TO STUD	4-8d 6 - 3" x Ø131	TOENAIL
CEILING JOISTS, LAPS OVER PARTITIONS	3-16d 4 - 3" x Ø131	FACE NAIL
CEILING JOISTS TO PARALLEL RAFTERS/ RAFTER TIES TO RAFTERS	REF: IRC TABLE R802.5.1 (3)	FACE NAIL
RAFTER TO PLATE	3-8d 2 - 3" x Ø131"	TOENAIL
1" DIAGONAL BRACE TO EACH STUD AND PLATE	2-8d 2 - 3" x Ø131"	FACE NAIL
BUILT UP CORNER STUDS	16d at 24" o.c. 3" x Ø131 at 16" o.c.	FACE NAIL
BUILT UP BEAMS, STAGGER NAILS ON OPPOSITE SIDES	2-16d at 32" o.c. 3" x Ø131 at 24" o.c.	FACE NAIL
BUILT UP BEAMS AT ENDS AND SPLICES	2-20d 3 - 3" x Ø131"	FACE NAIL
COLLAR TIE TO RAFTER	3-10d 4 - 3" x Ø131"	FACE NAIL
JACK RAFTER TO HIP	3-10d 4 - 3" x Ø131"	TOE NAIL
	2-16d 3 - 3" x Ø131"	FACE NAIL
ROOF RAFTER TO 2 x RIDGE BEAM	2-16d 3 - 3" x Ø131"	TOE NAIL FACE NAIL
JOIST TO BAND JOIST	3-16d 4 - 3" x Ø131"	FACE NAIL
LEDGER STRIP	3-16d 4 - 3" x Ø131"	FACE NAIL
3/4" OR LESS WOOD STRUCTURAL PANEL WALL, SUBFLOOR, 4 ROOF SHEATHING	6d at 12" o.c. 6d at 6" o.c. 23 Ø3" x Ø13 at 8" o.c. 23 Ø3" x Ø13 at 4" o.c.	INTERMED- EDGES INTERMED- EDGES
7/8" TO 1" WOOD STRUCTURAL PANEL WALL, SUBFLOOR, 4 ROOF SHEATHING	10d at 12" o.c. 8d at 6" o.c. 21 Ø3" x Ø13 at 8" o.c. 23 Ø3" x Ø13 at 4" o.c.	INTERMED- EDGES INTERMED- EDGES
1 1/8" TO 1 1/4" WOOD STRUCTURAL PANEL WALL, SUBFLOOR, 4 ROOF SHEATHING	8d at 12" o.c. 10d at 6" o.c. 3" x Ø48 at 8" o.c. 3" x Ø48 at 4" o.c.	INTERMED- EDGES INTERMED- EDGES
HARDBOARD SIDING	8d at 6" o.c. 8d at 12" o.c.	INTERMED- EDGES
1/2" GYPSUM SHEATHING	6d at 8" o.c. 6d at 4" o.c.	INTERMED- EDGES
5/8" GYPSUM SHEATHING	8d at 8" o.c. 8d at 4" o.c.	INTERMED- EDGES
WOOD 1 JOISTS AT EACH END AND BEARING POINT	8d each side	FACE NAIL





RESIDENTIAL SITEPLAN

PENNSYLVANIA STREET - LOT 43



SCALE:
1" = 20'

LEGAL DESCRIPTION:

LOT 43, ON PENNSYLVANIA STREET IN THE CITY
OF LAWRENCE, DOUGLAS COUNTY, KANSAS.

APPLICANT:

ROMERO BUILDING GROUP, LLC
2820 WEST 50TH STREET
WESTWOOD, KS 66205
(785) 861-5478

DATE:
12-13-16

JOB #:
16-087

ALL POINTS SURVEYING, LLP
PROFESSIONAL LAND SURVEYING SERVICES
P.O. BOX 4444 - LAWRENCE, KANSAS - 66046 - TEL. (785) 832-2121 - FAX (785) 832-2122

DRAWN BY:
SEL

CHECKED BY:
SDW

909 Pennsylvania Street - Materials List

Jason Romero

913-209-2532

The proposed house will include the following exterior materials:

- **JamesHardie ColorPlus 8" lap siding.** James Hardie siding is a long-lasting, durable fiber-cement product that mimics the look of natural cedarmill wood. The ColorPlus technology is a baked-on bond that resists chipping, peeling, and cracking. It also resists fading from the sun and other elements for a longer lasting and consistent aesthetic appeal.
- **JamesHardie trim.** The James Hardie trim product maintains the same natural cedarmill wood appearance as the 8" lap siding.
- **Gerkin windows and doors.** Gerkin manufactures higher quality vinyl windows and fiberglass doors. On the front of the house, the windows will have a darker finish to mimic the appearance of wood framed windows.
- **Cedar decking.** The front and back porch will primarily consist of natural cedar. The railings will be wood, with wood spindles.
- **Roof.** Composite shingles.

LAWRENCE HISTORIC RESOURCES COMMISSION
ITEM NO. 5: L-16-00535
STAFF REPORT

A. SUMMARY

L-16-00535 Public hearing for consideration of placing the property located at 323 Illinois Street, the Issac N. Van Hoesen Residence, on the Lawrence Register of Historic Places. Submitted by Lawrence Preservation Alliance on behalf of Brian W. Perkins, the property owner of record. Adopt Resolution 2017-01, if appropriate.

B. HISTORIC REGISTER STATUS

323 Illinois Street is not listed on any historic register.

C. REVIEW CONSIDERATIONS

(Information in the below summaries includes information from the application that was written by Dale Nimz.)

1) History Summary

323 Illinois Street (legally described as WEST LAWRENCE BLK 20 LTS 79 THRU 87 INCLUSIVE), the Issac N. Van Hoesen Residence, is not listed on any historic register. The home was built c. 1873 on property that was a combination of several lots on Illinois Street and Alabama Street. Staff research indicates that the lots were part of the 1854 A. D. Searl survey although this area does not show on the 1850's Wheeler plat that has portraits. In the 1869 West Lawrence subdivision Wheeler map (identified as the 1920 West Lawrence subdivision), the lots, surveyed by H. Hill, show the block is divided into 9 lots of 50' X 125' facing Illinois Street and Alabama Street and 5 lots of 50' X 150' facing Elliott (4th) Street on the south end of the block. The 1873 Atlas of Douglas County shows a structure with the same footprint of the existing structure in a similar location although the atlas shows the structure on Lot 83 and today's mapping shows the structure across the lot line of Lots 81 and 83. The 1873 map indicates that the entire block between Illinois and Alabama and Elliott (3rd) and Reed (4th) Streets was owned by S. S. Horton. Horton was a prominent citizen of Lawrence who served as Register of Deeds.

By 1878, Issac Van Hoesen owned the property. Van Hoesen moved to Lawrence in 1872 and built a warehouse where he managed the business of C.H. and L.J. McCormick in the state of Kansas until 1882. Van Hoesen was elected mayor of Lawrence in 1878 and also served as president of the Chamber of Commerce. By 1883 Issac Van Hoesen was vice president of the Leis Chemical Manufacturing Company in Lawrence. Van Hoesen died January 6, 1897 and Zarilla Bagby Van Hoesen, Van Hoesen's widow, moved to Atchison to be with her daughters. Ms. Van Hoesen rented the house to Eli Wilson, a widower from Midland, Kansas, who came to Lawrence about 1901. Wilson later bought the house and lived there with his daughters.

2) Architectural Integrity Summary

The Issac N. Van Hoesen house is an example of vernacular architecture in the National Folk style of a gable-front and wing with a cross gable roof. Vernacular architecture in Lawrence often included some decorative elements from popular "high" style architecture of the time period. The Van Hoesen house is referred to in KHRI (Kansas Historic Resources Inventory) as *Folk Victorian* likely due to the wrap around porch and some of the decorative details that existed in the 1997 survey. The historic photographs included in the application indicate that the 1890s structure had Gothic Revival details.

The house is oriented east-west with the entrance facing Illinois Street to the east. It is a detached two-story single-family residence on a large tract in a residential neighborhood. The structure has a cruciform plan with a recessed side entrance in the east elevation of the north wing. The house is wood-frame construction with weatherboard on a rubble limestone foundation laid in an ashlar pattern. The intersecting gable roof is covered with composition shingle roofing. Because of the plan, the house has several entrances sheltered by four small porches. The front entrance has an enclosed entry and a shed-roofed porch supported on two slender ornamental wooden posts. There is a hipped porch in the southeast ell. The southwest porch wraps around the rear forming an ell with a hipped roof. This porch is partially enclosed with wooden lattice. Windows are 1/1 double-hung sash. The wooden entrance doors appear to be original. There are two brick chimneys in the central roof ridge. Decorative elements include paired windows in the front wing with slightly projecting peaked window hoods. Other windows also have the ornamental hoods. The front porch has ornamental brackets and posts.

There are four outbuildings on the property. A historic outbuilding is located at the rear of the house. The rectangular structure is oriented north-south with a side entrance facing south. It is wood-frame construction covered with weatherboard. The gable roof is covered with composition shingle roofing. There are 4/4 wooden double-hung windows in the east and north facades as well as a high circular window in the north. A wood-frame chicken house with a shed roof extends west beside this structure. A wood-frame playhouse is located southwest of the house. It has a T-plan with an intersecting gable roof. It has vertical board sheathing with ornamental details. This structure appears to be an imitation of the historic playhouse which is now exhibited in the Watkins Community Museum. Northwest of the house, there is a shed-roofed wood frame garage with two open bays to the east and another carport bay attached to the north façade.

The principal structure has evolved over time due to a fire in the 1920s or 1930s (according to the current owner) and to accommodate the needs of the owners, but the primary materials and form of the structure have remained. The majority of the changes to the structure have achieved historic significance in their own right. A portion of the front porch (not original but shown in the 1894 photo) was removed sometime after 1997.

Although the structure has been altered over time, it continues to maintain integrity of location and design that make it worthy of preservation.

Accessory structures on the property are not included as contributing at this time pending additional research and information.

3) Context Description

This area of the Pinckney neighborhood illustrates typical residential land use from the last quarter of the nineteenth century and the first quarter of the twentieth century as building patterns in Lawrence followed local population, social, economic, and architectural trends described in the contexts for Lawrence history.

The Issac N. Van Hoesen house is a good example of the housing that was constructed in Lawrence during the "City Building (1864-1873)" context as defined by the Historic Resources of Lawrence, Douglas County, Kansas Multiple Property Documentation Form (MPDF). This MPDF notes that during the brief period from 1864 to 1873, many modest wood-frame houses were built in Lawrence. The Van Hoesen house was built at the very end of this period and had detailing that was not typical for the houses built in Lawrence at this time.

The area around the Van Hoesen house was anticipated to be a residential neighborhood. While the house is a vernacular form of architecture from 1873, the area around the property is currently a mix of residences to the north, south and east, and a medical office complex to the west. The range of construction dates for structures in the 300 block of Illinois Street is 1860 to 2008 with ten of the structures built in or before 1950. All of the structures in the 300 block of Alabama Street were constructed after 1998. The houses on the south end of the block facing 4th Street were constructed between 1940-1949. Most of these structures have a primary entrance that faces the street with the exception of the three structures on the north end of Alabama Street. Outdoor open spaces are primarily limited to the portions of the individual lots that are not encompassed with structure. The street development and residential patterns were established with the subdivision plat and have not been significantly altered.

The cohesive streetscapes of the area create a distinct sense of neighborhood and a strong residential boundary, contrasting dramatically with the medical office area to the west. Grass strips with shade trees separate the streets from the sidewalk on the west side of Illinois Street. Houses are typically situated near the center of their lots but setbacks, both front and side yard, do vary in the area.

4) Planning and Zoning Considerations

323 Illinois Street is zoned RS5, Single-Dwelling Residential District as are the properties to the north, east and south. The primary purpose of the RS Districts is to accommodate predominantly single detached dwelling units on individual lots. The zoning district is intended to create, maintain and promote housing opportunities for individual households, although it does permit nonresidential uses that are compatible with residential neighborhoods. The block to the west of the Van Hoesen house is zoned RSO, Single-Dwelling Residential-Office District. The RSO District is to accommodate low to medium-intensity administrative and professional offices that are compatible with the character of low and medium-density residential neighborhoods. The district is also intended to be used as a transitional zoning district between higher intensity commercial areas and residential neighborhoods.

323 Illinois Street is located on 9 original platted lots of the West Lawrence subdivision., Each lot contains 6250 sf and measures 50' X 125' for a property that is now 200' on the west property line, 250' on the east property line X 250' on the north property line and 125' on the south property line for over an acre of total property size. This property meets the density and dimensional standards for lots in the RS5 district.

There was no zoning in the area at the time of construction. With the 1929 and 1935 zoning, the property was zoned for single family dwelling units. In 1966, the property was zoned for multi-family use. The property was rezoned for single-family use in 1979 following the completion of the Pinckney Neighborhood Plan. The property was rezoned to the current RS5 district with the adoption of the Land Development Code in July 2006.

5) Fiscal Comments

There are no monetary benefits directly associated with nomination of a structure to the Lawrence Register of Historic Places.

However, listing on the local Register does help preserve built resources important to Lawrence's history and helps to maintain streetscapes in older neighborhoods through environs reviews.

The original information submitted with nominations for properties to the Lawrence Register is kept on file in the City Planning office for public review and consultation with regard to development projects within the notification area. It is the intent of the city to place the nomination material on the city's website in the near future.

6) Positive/Negative Effects of the Designation

The positive effect of designation is the creation of a permanent record of the historical significance of an individual property, for its architectural quality or its association with a significant local individual or event. This provides the local Historic Resources Commission, an advisory board, with pertinent historical data which can help to provide an 'historic' perspective to property owners when they desire to improve, add on, or redevelop a property within an older section of the City.

The public accessibility of this information is also a resource as it can be used by realtors, builders/developers, and others in the community prior to a property's resale, redevelopment or rehabilitation. In a more general sense, this information can be used by the Chamber of Commerce and existing businesses and industries to 'identify' one of the facets that makes up Lawrence's *Quality of Living*.

Additional effects of designation are the creation of an arbitrary, 250' environs notification and review area. Within this 250' circle, projects which require city permits, e.g., demolition, redevelopment, renovation or modification, require review by Historic Resources staff or the Commission. These environs reviews permit analysis of proposed development/redevelopment by individuals sensitive to historic preservation.

A *Certificate of Appropriateness* or a *Certificate of Economic Hardship* is required to be issued by the Historic Resources Commission before a City permit can be issued for the proposed project. If the Historic Resources Commission denies a *Certificate of Appropriateness* or a *Certificate of Economic Hardship*, the property owner can appeal to the City Commission for a new hearing. The City Commission can uphold the decision of the HRC or it can grant the proposed development.

Examples of projects which would require review and approval are: projects involving the exterior building which are considered 'structural' changes, demolitions or partial demolitions, rezonings, replats, site plans, variance requests or other items which require a city permit or are the direct result of an action of the City Commission. Minor changes which require a city permit can be administratively approved by the Historic Resources Administrator.

7) Summary of Applicable Designation Criteria

Chapter 22, of the City Code is the *Conservation of Historic Resources Code* for the City of Lawrence. Section 22-403 of this code establishes criteria for the evaluation of an application for nomination to the Local Register of Historic Places.

D. CRITERIA FOR EVALUATION AND DESIGNATION - Section 22-403

Nine criteria are provided within this section for review and determination of qualification as a Landmark or Historic District. These criteria are set forth below with staff's recommendations as to which this application qualifies for:

(1) Its character, interest, or value as part of the development, heritage or cultural characteristics of the community, county, state, or nation;

The property is significant as an example of a large tract of land that was developed over time into smaller lots and eventually a residential subdivision as identified in National Register of Historic Places Criterion A and based on Dale Nimz's Living with History and the Multiple Property Documentation Form for the City of Lawrence.

(2) Its location as a site of a significant local, county, state, or national event;

(3) Its identification with a person or persons who significantly contributed to the development of the community, county, state, or nation;

(4) Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or use of indigenous materials;

(5) Its identification as a work of a master builder, designer, architect, or landscape architect whose individual work has influenced the development of the community, county, state or nation;

(6) Its embodiment of elements of design, detailing, materials, or craftsmanship that render it architecturally significant;

323 Illinois Street is a 2-story National Folk style of a gable-front and wing with a cross gable roof. Vernacular architecture is important to the understanding of the growth and development of the community as a whole.

(7) Its embodiment of design elements that make it structurally or architecturally innovative;

(8) Its unique location or singular physical characteristics that make it an established or familiar visual feature;

(9) Its character as a particularly fine or unique example of a utilitarian structure; including, but not limited to farmhouses, gas stations, or other commercial structures, with a high level of integrity or architectural significance.

The HISTORIC RESOURCES CODE establishes a procedure to follow in the forwarding of a recommendation to the City Commission on applications for listing on the local register.

"Following the hearing the commission shall adopt by resolution a recommendation to be submitted to the city commission for either (a) designation as a landmark or historic district; (b) not to designate as a landmark or historic district; or, (c) not to make a recommendation. The resolution shall be accompanied by a report to the city commission containing the following information:

The Historic Resources Commission needs to formulate its recommendation in response to the following subsections section 22-404.2 (b):

- (1) Explanation of the significance or lack of significance of the nominated landmark or historic district as it relates to the criteria for designation as set forth in section 22-403;*
- (2) Explanation of the integrity or lack of integrity of the nominated landmark or historic district;*
- (3) In the case of a nominated landmark found to meet the criteria for designation:
 - (A) The significant exterior architectural features of the nominated landmark that should be protected; and,*
 - (B) The types of construction, alteration, demolition, and removal, other than those requiring a building or demolition permit, that cannot be undertaken without obtaining a certificate of appropriateness.**

- (4) In the case of a nominated historic district found to meet the criteria for designation:
 - (A) The types of significant exterior architectural features of the structures within the nominated historic district that should be protected;*
 - (B) The types of construction, alteration, demolition, and removal, other than those requiring a building or demolition permit, that cannot be undertaken without obtaining a certificate of appropriateness.*
 - (C) A list of all key contributing, contributing and noncontributing sites, structures and objects within the historic district.**
- (5) Proposed design guidelines for applying the criteria for review of certificates of appropriateness to the nominated landmark or historic district.*
- (6) The relationship of the nominated landmark or historic district to the on-going effort of the commission to identify and nominate all potential areas and structures that meet the criteria for designation.*
- (7) A map showing the location of the nominated landmark or the boundaries of the nominated historic district.*

E. RECOMMENDATION:

Staff recommends the Issac N. Van Hoesen Residence, located at 323 Illinois Street, for designation as a Landmark on the Lawrence Register of Historic Places pursuant to Criterion #1 and #6 as described in Section 22-403.

If the Historic Resources Commission recommends this property for local nomination, the Commission should adopt a resolution for recommendation to be submitted to the City Commission for designation as a landmark. In addition to the resolution, the Commission should direct staff to prepare a report to accompany the resolution including the information set forth in Section 22-404.2(1)-(7) and the environs definition.

Staff recommends the following for the report to the City Commission:

- (1) Explanation of the significance or lack of significance of the nominated landmark or historic district as it relates to the criteria for designation as set forth in section 22-403;*

The Issac N. Van Hoesen Residence is significant for its vernacular architecture and its value as part of the development of Lawrence.

- (2) Explanation of the integrity or lack of integrity of the nominated landmark or historic district;*

The structure maintains sufficient integrity of location and design that make it worthy of preservation.

(3) *In the case of a nominated landmark found to meet the criteria for designation:*

(A) *The significant exterior architectural features of the nominated landmark that should be protected; and,*

Historic form, fenestration pattern, roof shapes and associated eaves, decorative wood window surrounds, wood siding, front entry and porch configuration, porch detailing, and stone foundation.

(B) *The types of construction, alteration, demolition, and removal, other than those requiring a building or demolition permit that cannot be undertaken without obtaining a certificate of appropriateness.*

Alterations to the historic form, fenestration pattern, roof shapes and associated eaves, decorative wood window surrounds, wood siding, front entry and porch configuration, porch detailing, and stone foundation.

(5) *Proposed design guidelines for applying the criteria for review of certificates of appropriateness to the nominated landmark or historic district.*

U.S. Secretary of the Interior's Standards for Rehabilitation, published in 1990, and any future amendments, in addition to any criteria specified by Chapter 22 of the Code of the City of Lawrence, Kansas.

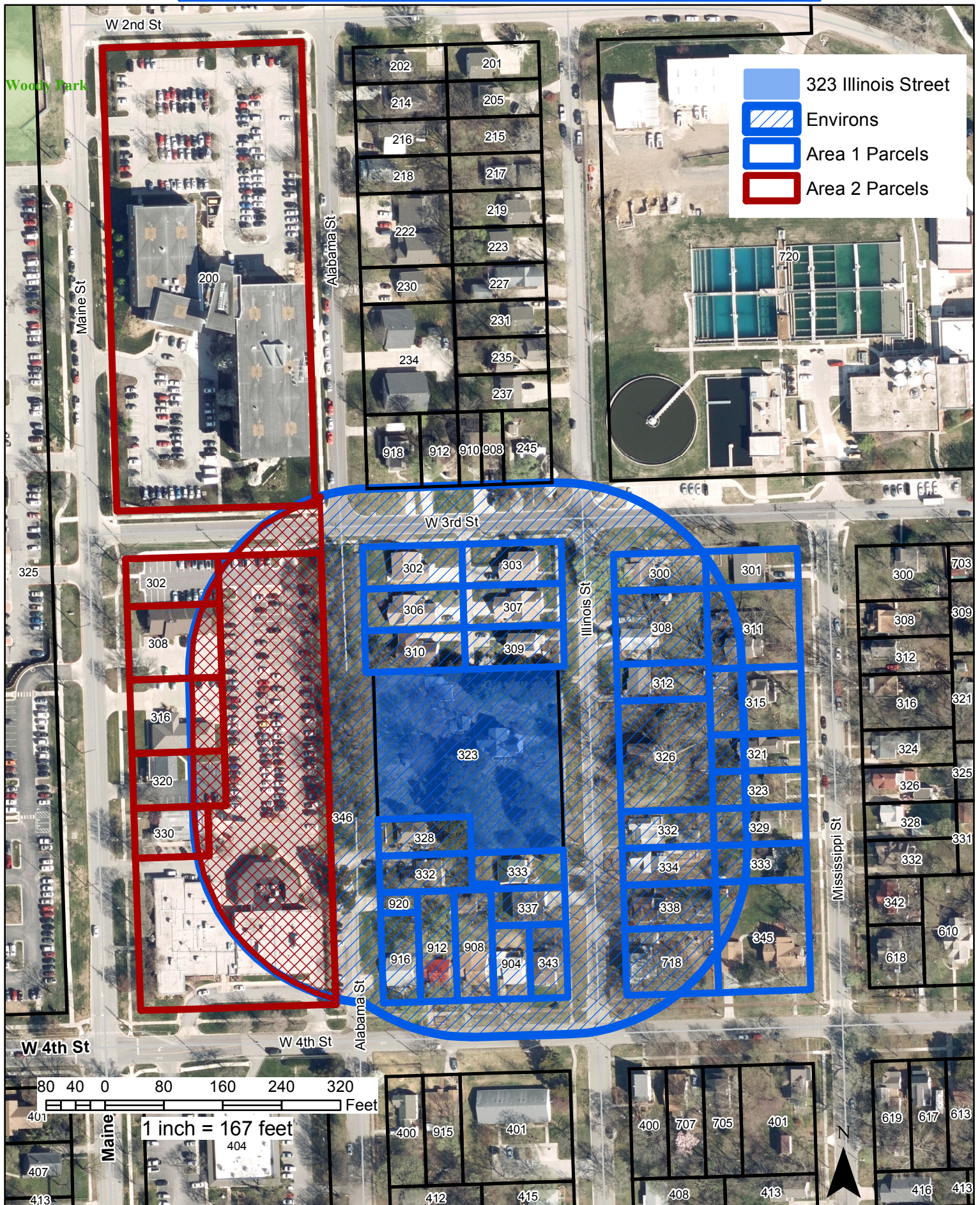
The HRC may also adopt ***An Analysis of the Environs for 323 Illinois Street*** and delineate how environs review will be conducted in relation to the listed property.

(6) *The relationship of the nominated landmark or historic district to the on-going effort of the commission to identify and nominate all potential areas and structures that meet the criteria for designation.*

A primary goal of the HRC is to build a Register of properties which show the diversity and growth of Lawrence since its inception. The nomination of this property is another step toward registering a wide variety of historic properties which together present a visual history of Lawrence's past. The goal of the Lawrence Register of Historic Places is to represent all socioeconomic strata; residences, businesses, and industries which illustrate the diversity that has been prevalent in Lawrence since its inception.

(7) *A map showing the location of the nominated landmark. (Attached)*

323 Illinois Street



Analysis of Environs of 323 Illinois Street, Issac N. Van Hoesen Residence

Step One

Historical Significance and Context

323 Illinois Street was constructed in 1873. The property is being nominated to the Lawrence Register of Historic Places under local criteria (1) and (6). Local criterion (1) is *the character, interest, or value as part of the development, heritage or cultural characteristics of the community, county, state, or nation*. Local criterion (6) is *embodiment of elements of design, detailing, materials, or craftsmanship that render it architecturally significant*.

The importance of the structure's visual and physical characteristics influences the environs definition process. 323 Illinois Street is a good example of vernacular architecture whose stylistic decorative details have changed over time. The structure maintains integrity in location and design.

Step Two

Historical Character of the Area Surrounding the Property

Historical character is the primary issue considered in this section. Historic photographs, Sanborn Fire Insurance Maps, *the nomination information, 1873 Douglas County Atlas, Living with History: A Historic Preservation Plan for Lawrence, Kansas*, by Dale Nimz, and Historic Resources of Lawrence, Douglas County, Kansas Multiple Property Documentation Form (MPDF) are the primary sources used to identify the historic character of the area.

Natural Features The environs consisted of fairly flat ground associated with the proximity to the Kansas River.

Property Boundaries and Ownership Patterns Property boundaries in this area of Lawrence were typically associated with the West Lawrence Plat. Lots in this area were part of the 1854 A. D. Searl survey although this area does not show on the 1850's Wheeler plat that has portraits. In the 1869 West Lawrence subdivision Wheeler map (identified as the 1920 West Lawrence subdivision), the lots, surveyed by H. Hill, show the block is divided into 9 lots of 50' X 125' facing Illinois Street and Alabama Street and 5 lots of 50' X 150' facing Elliott (4th) Street on the south end of the block. The 1873 Atlas of Douglas County shows a structure with the same footprint of the proposed landmark in a similar location and the map indicates that the entire block between Illinois and Alabama and Elliott (3rd) and Reed (4th) Streets was owned by S. S. Horton.

Land Use Patterns and Zoning Prior to and at the time of construction of the Issac Van Hoesen Residence, the land use in the area was mainly open fields with uses and patterns associated with a rural farmstead adjacent to the city. Some of the area had started to be divided according to the plat and larger land holdings with multiple platted lots began to sell individual lots. During the historic period, a residential area developed around the Van Hoesen Residence with the exception

of the water treatment plant (1917) to the northeast. The nominated property's construction predated the first zoning in the city in 1929. In 1935, the zoning for the area was U-1 (Dwelling House District). By 1949, the nominated property was zoned for second dwellings and with the 1966 zoning code the property maintained this designation. The property was rezoned for single-family use in 1979 following the completion of the Pinckney Neighborhood Plan. The property was rezoned to the current RS5 district with the adoption of the Land Development Code in July 2006.

Circulation Patterns At the time of construction, there were no dedicated circulation patterns although the original survey of the area showed the typical grid pattern of circulation and primitive streets were in the approximate location of the survey and platted streets. When the area developed, it was with the street grid pattern that was associated with the original townsite.

Planned Vegetation Patterns Vegetation around the nominated property was typical of farmsteads adjacent to the city in 1873. As the property was divided and sold, historic vegetation patterns on properties was consistent with the settlement of the area and the construction of the houses. In some areas, trees and shrubs were planted and kitchen gardens may have existed.

Signs and Pedestrian Amenities At the time of construction, there were no signs or pedestrian amenities. Some non-improved pedestrian paths may have existed.

Primary Structures The area and primary structures developed and changed over time as the land around the proposed landmark was divided and sold. Most structures were modest in size and were wood frame or brick. Directly across from the Issac Van Hoesen Residence was a c. 1860 brick house.

Secondary Structures The secondary structures in the area were typically barns, sheds or storage structures. As development of the residential structures in the area occurred, there was a decrease in the number of accessory structures constructed.

Outdoor Activity Spaces Most of the dedicated outdoor activity spaces were limited to the portions of the individual lots that were not encompassed with structure. Clinton Park to the south and the land adjacent to the Kansas River were likely used as recreational spaces.

Utilities and Mechanical Equipment City utilities and mechanical equipment did not exist in the area at the time of construction.

Views The views to and from the nominated property located at 323 Illinois Street were likely expansive due to the lack of structures in the area and likely minimal vegetation to block view sheds. As the area developed as a residential area, the views were reduced to typical views of lots in a developed subdivision.

Step Three

Present Character of the Area Surrounding the Property

The primary source of information on this section is personal observation, city zoning maps, and recent aerial photographs.

Natural Features The environs consist of flat ground associated with the proximity to the Kansas River.

Property Boundaries and Ownership Patterns Property boundaries in this area are primarily consistent with platted residential lots. Ownership patterns of the individual lots are typically individual owners for each lot.

Land Use Patterns and Zoning The land use patterns for the area are consistent with the ownership patterns. The zoning now supports the residential *detached dwelling* (single dwelling) uses. There are two nonconforming duplex residences at the south end of the block, as well as conforming multi-family residences to the north of the environs on the north side of 3rd Street.

Circulation Patterns Vehicular traffic in the area is primarily local traffic on the improved streets. The primary users of the area street are the occupants of the residential structures. Illinois Street is classified as a local street. Pedestrian access in the area is primarily sidewalks in the public right-of-way that are not consistent on both sides of the streets. There is a sidewalk on the west side of Illinois Street in front of the proposed landmark.

Planned Vegetation Patterns The landscape in the area is mature and typical for a subdivision of this age. The planned vegetation in the front yards consists of mature trees and plant beds with both annual and perennial plantings.

Signs and Pedestrian Amenities Signs in the area vary, but typically they are road signs with street names and traffic signs. There are no pedestrian amenities other than the existing sidewalks.

Primary Structures The area is comprised primarily of residential structures except for the water treatment plant and the medical offices to the west. The range of construction dates for structures in the 300 block of Illinois Street is 1860 to 2008 with ten of the structures built in or before 1950. All of the structures in the 300 block of Alabama Street were constructed after 1998. The houses on the south end of the block facing 4th Street were constructed between 1940-1949. Structures vary in size and architectural detailing. The majority of structures are vernacular forms, some with architectural elements of Queen Anne and Colonial Revival.

Secondary Structures Some houses include detached garages located at the rear of the property or on an alley. Several of the modern infill structures have front facing garages.

Outdoor Activity Spaces Modest open space exists on individual lots typical of historic platted lots. In addition, Clinton Park is a neighborhood park and Burcham Park provides a large open space not only for the area, but for the community at large.

Utilities and Mechanical Equipment There are storm sewer inlets, traffic signs and some street lighting along streets in the area. Water meter and manhole covers are typical through the area. Fire hydrants are located along the streets. City water lines are primarily in the streets and sanitary sewer lines are to the rear of the properties. Mechanical equipment consists primarily of HVAC units that are located on the ground adjacent to the primary structures and behind the front building plane. Electrical and telephone lines exist in the area.

Views Views to and from the nominated property are typical for residential areas that were platted and developed according to early plats. The nominated property has a large parcel that allows greater views of the structure from the public right-of-way.

Step Four

Comparison of the Historic and Present Character of the Area Surrounding the Property.

Natural Features The natural features remain the same.

Property Boundaries and Ownership Patterns The typical property boundaries and ownership patterns of the area are similar today to what they were in the historic period.

Land Use Patterns and Zoning The majority of the land use patterns – single structures on individual lots – and zoning for the environs are consistent with the historic patterns and zoning of the area. The medical office buildings, while primarily zoned appropriate for the existing uses, contain lot consolidations to provide for the existing land use of the area.

Circulation Patterns The main street grid pattern is still intact in this area.

Primary Structures The majority of primary structures in the area continue to be residential structures.

Secondary Structures There has been a reduction in secondary structures in the area due to the new demands for modern garages that will house modern size vehicles. Some front-facing attached garages exist in the area. In addition, small sheds rather than accessory structures are found in rear yards.

Outdoor Activity Spaces Outdoor activity space has increased with the development of the City parks.

Utilities and Mechanical Equipment Utilities and mechanical equipment have significantly changed since the construction of the Van Hoesen House. Most of these changes, however, were prior to 1967.

Views The views in the area have changed since the construction of the Van Hoesen House and due to the changes in the growth of landscape features including trees and large shrubs.

Conclusion

The Environs for 323 Illinois Street, the Issac N. Van Hoesen House have changed since the construction of the structure in 1873. However, the overall residential character of the environs remains the same with the exception of the medical office complex to the west.

The environs should be divided into two areas and reviewed in the following manner.

Area One

The area consists of residential structures. The residential character of the environs in this area is important. The area should maintain the overall residential character of the historic environs and the following should apply:

Any proposed alteration or construction should meet the intent of the Criteria set forth in 22-505. Important design elements include scale, massing, site placement, height, directional expression, percentage of building coverage to site, setback, roof shapes, rhythm of openings, and sense of entry. Demolition of properties shall be approved if a compatible structure is proposed on the site. Maintaining views to the listed property and maintaining the rhythm and pattern within the environs are the primary focus of review.

All projects except for demolition of main structures, new infill construction, and additions larger than 25% of the existing footprint will be reviewed administratively by the Historic Resources Administrator. The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505. The main issues in the review are the continuation of the residential character of the area and whether the project will encroach upon, damage or destroy the environs of the listed property. If the project does not meet the Criteria set forth in 22-505, the project will be forwarded to the Historic Resources Commission for review.

Major projects (demolition of main structures, new infill construction, and additions larger than 25% of the existing footprint) will be reviewed by the Historic Resources Commission. The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505. The main issues in the review are the continuation of the residential character of the area and whether the project will encroach upon, damage or destroy the environs of the listed property.

Area Two

The area consists of medical offices buildings and associated uses as well as a large parking area. This area no longer reflects the residential environment associated with the Issac N. Van Hoesen House. The properties have no connection to the residential neighborhood. The properties may be redeveloped in the future. The primary focus of review should be the screening of development from the development site to the Issac N. Van Hoesen House and maintaining the land buffer that was originally designated as Alabama Street. The following should apply for the review in this area of the environs:

All projects, except for demolition of main structures and new infill construction of buildings or large structures, will be reviewed administratively by the Historic Resources

Administrator. The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505. The main issues in the review are the line of site to the nominated property and a transition area with a landscape buffer area between the development area and the residential properties to the east. If the project does not meet the Criteria set forth in 22-505, the project will be forwarded to the Historic Resources Commission for review.

Major projects (demolition of main structures and new infill construction) will be reviewed by the Historic Resources Commission. The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505. The main issues in the review are the inclusion of a transition area with a landscape buffer area between the development area and the residential properties to the east. Projects without these elements will likely encroach upon, damage or destroy the environs of the listed property.



LANDMARK APPLICATION

Pre-Application Meeting **Required**
Planner _____
Date _____

PLEASE BE ADVISED: THIS APPLICATION WILL NOT BE SCHEDULED FOR A PUBLIC HEARING UNTIL THE HISTORIC RESOURCES ADMINISTRATOR HAS DETERMINED THAT THE APPLICATION HAS BEEN COMPLETED. (City Code 22-105(Y))

PROPERTY INFORMATION

Name of Historic Property Issac N. Van Hoesen House
Address of Property 323 Illinois Street
Legal Description of Property West Lawrence, Block 20, Lots 79-87 Inclusive

OWNER INFORMATION

Name(s) Brian W. Perkins
Contact Brian W. Perkins
Address 323 Illinois Street
City Lawrence State KS ZIP 66044
Phone (785) 842-6140 E-mail _____

Is this an owner initiated nomination? ☒ Yes ☐ No

If not, has the owner been notified of this nomination? ☐ Yes ☐ No

APPLICANT/AGENT INFORMATION

Contact Dennis Brown, President, Lawrence Preservation Alliance
Company _____
Address P.O. Box 1073
City Lawrence State Kansas ZIP 66044
Phone (785) 841-2460 E-mail djbrown806@gmail.com



DESCRIPTION OF PROPERTY

Number of structures, objects, or landscape features located on the property 5

Historic Use(s) Residence

Present Use(s) Residence

Date of Original Construction c. 1873

Architect and/or Builder (if known) Unknown

Date(s) of Known Alterations c. 1930

Describe any known alterations including additions to the property. (Add additional sheets if needed)

According to the present owner, after a fire in the 1920s or 1930s, the second story of the house was rebuilt. See historic photographs, house at 323 Illinois. (June, 1892; July 5, 1894). The original structure was one-and-a-half stories with Gothic Revival features and ornamentation. The present structure is a full two stories in height and lacks the ornamentation.

REGISTER STATUS

- ☐ Property is listed in the National Register of Historic Places
- ☐ Property is listed in the Register of Historic Kansas Places

HISTORIC SIGNIFICANCE OF THE PROPERTY

Why do you think this property is significant? Please check all that apply.

- ☐ Location of a significant event
Event
- ☐ Association with a significant person
Person
- ☒ Architectural significance (Please attach an architectural description of the property)
- ☐ Other



HISTORY OF THE PROPERTY (Add additional sheets if needed)

See attached appendix.

DESCRIBE THE DEVELOPMENT OF THE AREA SURROUNDING THE PROPERTY AT THE TIME OF CONSTRUCTION.

What year was the property platted? July 12, 1920

What is the name of the subdivision? West Lawrence

What was the zoning? Unknown

What were the land uses? Residential

What size and types of buildings existed in the area? Scattered residences

Did the area have paved streets, sidewalks, gas service or electrical service? Please describe.

At the time of construction, the area did not have paved streets, sidewalks, gas or electric service. These were introduced in Lawrence during the early twentieth century.

ATTACH COPIES OF ANY HISTORIC PHOTOGRAPHS OR DOCUMENTATION INCLUDING CITATIONS FOR THIS PROPERTY.



City of Lawrence
Douglas County
PLANNING & DEVELOPMENT SERVICES

**Lawrence Douglas County
Metropolitan Planning Office**
6 East 6th Street, P.O. Box 708, Lawrence, KS 66044
(785) 832-3150 Fax (785) 832-3160
<http://www.lawrenceks.org/pds/>

SIGNATURE

I/We, the undersigned am/are the **(owner(s))**, **(duly authorized agent)**, **(Circle One)** of the
aforementioned property. By execution of my/our signature, I/we do hereby officially apply for
landmark designation as indicated above.

Signature(s): _____ Date _____

_____ Date _____

_____ Date _____

OWNER AUTHORIZATION

I/WE _____, hereby referred to as the "Undersigned", being of lawful age, do hereby on this _____ day of _____, 20 __, make the following statements to wit:

1. I/We the Undersigned, on the date first above written, am/are the lawful owner(s) in fee simple absolute of the following described real property:

See "Exhibit A, Legal Description" attached hereto and incorporated herein by reference.

2. I/We the undersigned, have previously authorized and hereby authorize _____ (Herein referred to as "Applicant"), to act on my/our behalf for the purpose of making application with the Planning Office of _____ Lawrence/Douglas County, _____ Kansas, regarding _____ (common address), the subject property, or portion thereof. Such authorization includes, but is not limited to, all acts or things whatsoever necessarily required of Applicant in the application process.

3. It is understood that in the event the Undersigned is a corporation or partnership then the individual whose signature appears below for and on behalf of the corporation or partnership has in fact the authority to so bind the corporation or partnership to the terms and statements contained within this instrument.

IN WITNESS THEREOF, I, the Undersigned, have set my hand and seal below.

Owner

Owner

STATE OF KANSAS
COUNTY OF DOUGLAS

The foregoing instrument was acknowledged before me on this _____ day of _____, 20 __,

by _____.

My Commission Expires:

Notary Public



**City of Lawrence
Douglas County**
PLANNING & DEVELOPMENT SERVICES

6 East 6th St.
P.O. Box 708
Lawrence, KS 66044

www.lawrenceks.org/pds

Phone 785-832-3150
Tdd 785-832-3205
Fax 785-832-3160

**REQUIRED INFORMATION TO BE SUBMITTED WITH AN APPLICATION FOR NOMINATION
TO THE LAWRENCE REGISTER OF HISTORIC PLACES**

- ☐ Completed Application Form (If the property is nominated for architectural significance, include an architectural description of the structure.)
- ☐ Certified property owner list from the Douglas County Clerk's office for properties within 250' of the nominated property.
- ☐ At least one photograph of each elevation of the structure(s) and streetscape views.
- ☐ Legal description of nominated property.
- ☐ If the property is listed on the State and/or National Registers of Historic Places, copies of the resource materials submitted with the application.
- ☐ Any additional documentation you believe is relevant to this nomination which you would like considered in the review process.
- ☐ The fee for application processing is \$10.00 for landmark nominations and \$50.00 for district nominations.

Research Resources

- Lawrence Public Library (707 Vermont Street, Lawrence)
<http://www.lawrence.lib.ks.us/research-resources/genealogy-and-local-history/>
- Watkins Museum of History (1047 Massachusetts Street, Lawrence)
<http://www.watkinsmuseum.org/index.php>
- Kenneth Spencer Research Library at the University of Kansas (1450 Poplar Lane, Lawrence)
<https://spencer.lib.ku.edu/>
- Kansas State Historical Society (6425 SW 6th Ave., Topeka, Kansas)
<http://www.kshs.org/>
- City of Lawrence Interactive map
<http://gis.lawrenceks.org/flexviewers/lawrence/>

PLEASE BE ADVISED: This application will not be scheduled for a Public hearing until the Historic Resources Administrator has determined that the application has been completed. (City Code 22-105(Y))



We are committed to providing excellent city services that enhance the quality of life for the Lawrence Community

Appendix – Issac N. VanHoesen, Local Landmark

Architectural significance of the property

The Issac N. Van Hoesen House is an example in Lawrence of a particular house form in the National Folk style. According to the Field Guide to American Houses, “in this form, an additional side-gabled wing was added at right angles to the gable-front plan to give a compound, gable-front-and wing shape.”¹ Commonly, the entire form was built as a unit with a roof ridge of uniform height. This house form is more common in rural than urban areas.² Van Hoesen may have chosen the form because, in the nineteenth century, his house stood on a large lot in an area with only scattered houses in the vicinity.

The Van Hoesen house reflects the dramatic change in American folk housing in the decades from 1850 to 1890. As the railroad network spread across the United States, lumber from distant sawmills was inexpensive and easily available. Wooden dwellings constructed with light balloon or braced framing covered by wooden sheathing became common wherever the railroad reached.³

Description

The Van Hoesen House is oriented east-west with the entrance facing Illinois Street to the east. It is a detached two-story single-family residence on a large tract in a residential neighborhood. The structure has a cruciform plan with a recessed side entrance in the east elevation of the north wing. The house is wood-frame construction with weatherboard on a rubble limestone foundation laid in an ashlar pattern. The intersecting gable roof is covered with composition shingle roofing. Because of the plan, the house has several entrances sheltered by four small porches. The front entrance has an enclosed entry and a shed-roofed porch supported on two slender ornamental wooden posts. There is a hipped porch in the southeast ell. The southwest porch wraps around the rear forming an ell with a hipped roof. This porch is partially enclosed with wooden lattice. Windows are 1/1 double-hung sash. The wooden entrance doors appear to be original. There are two brick chimneys in the central roof ridge. Decorative elements include paired windows in the front wing with slightly projecting peaked window hoods. Other windows also have the ornamental hoods. The front porch has ornamental brackets and posts.

There are four outbuildings on the property. A historic outbuilding is located at the rear of the house. The rectangular structure is oriented north-south with a side entrance facing south. It is wood-frame construction covered with weatherboard. The gable roof is covered with composition shingle roofing. There are 4/4 wooden double-hung windows in the east and north facades as well as a high circular window in the north. A wood-frame chicken house with a shed roof extends west beside this structure. A wood-frame playhouse is located southwest of the house. It has a T-plan with an intersecting gable roof. It has vertical board sheathing with ornamental details. This structure appears to be an imitation of the historic playhouse which is now exhibited in the Watkins Community Museum. Northwest of the house, there is a shed-roofed wood frame garage with two open bays to the east and another carport bay attached to the north façade.

Historic significance of the property

The Issac N. Van Hoesen House is eligible for listing as a local landmark under Criteria 1 because of its character and value as part of the development and heritage of Lawrence and Douglas County, Kansas. Also, the house is eligible for listing under Criteria 6 for its embodiment of popular elements of design, detailing, materials, and craftsmanship that render it architecturally significant.

Chronology

Reportedly, this house was constructed in 1873 and a cruciform outline on Block 20, Lot 83 that conforms to an aerial view of the present structure was shown on page 10 of the Atlas of Douglas County published in 1873.⁴ The owner at that time was S. S. Horton. Horton was a prominent citizen of Lawrence who served as Register of Deeds. There

¹ Virginia S. McAlester, A Field Guide to American Houses (New York, NY: Alfred A. Knopf, 2015), 138.

² McAlester, Field Guide, 138.

³ McAlester, Field Guide, 135.

⁴ Atlas of Douglas County (New York, NY: F.W. Beers & Company, 1873), “Part of City of Lawrence, 1st-4th-5th-6th Wards,” 27-29.

were no adjacent houses to the south, west, or north and only one house on the east side of Illinois Street facing this building recorded in the 1873 Atlas.

By 1878, Issac Van Hoesen owned the property. In that year, he had the Van Hoesen playhouse constructed next to the house at 323 Illinois Street for his two daughters, Rilla and Lucy Van Hoesen. Mr. Van Hoesen died January 6, 1897. He was found suffocated by gas from a coal oil stove in his downtown office.⁵ By 1900 both Rilla and Lucy Van Hoesen had married men from Atchison and moved away from Lawrence. Zarilla Bagby Van Hoesen, Van Hoesen's widow, joined her daughters in Atchison and rented the house to Eli Wilson, a widower from Midland, Kansas, who came to Lawrence about 1901. Wilson later bought the house and lived there with his five daughters: Katheryne, Lilian, Alberta, twins Hazel and Helen, and the girls' grandparents. Wilson sold the playhouse about 1905 and it was moved to 603 Ohio Street behind the Max Wilhelmi residence. In 1975 the playhouse was dismantled and moved to the Watkins Museum of History in downtown Lawrence.⁶

Issac Newton Van Hoesen

I.N. Van Housen came to Lawrence in the 1870s and became a successful businessman and leading citizen. After serving in the Union Army, Van Hoesen came to Kansas in 1866 after serving in the Union Army. He located first at Manhattan, then resided in Leavenworth from 1869 to 1871. Van Hoesen moved to Lawrence in 1872 and built a warehouse where he managed the business of C.H. and L.J. McCormick in the state of Kansas until 1882.⁷

Apparently, he was a distributor of the McCormick mechanical reaper, a widely successful invention produced by Cyrus McCormick and his brother Leander. The McCormick brothers established a factory in Chicago in 1847 and by 1856 they produced and sold four thousand reapers annually. Although the factory burned in the Great Chicago Fire in 1871, it reopened in 1873. Leander McCormick changed the name to the McCormick Harvesting Machine Company in 1879. I.N. Van Hoesen was elected mayor of Lawrence in 1878 and also served as president of the Chamber of Commerce. By 1883 Issac Van Hoesen was vice president of the Leis Chemical Manufacturing Company in Lawrence.⁸

Van Hoesen was born in Kinderhook, New York, on December 25, 1841. His father moved from Hudson, New York to Mount Vernon, Ohio, in 1854, and then in 1856, the family settled in McDonough County, Illinois. Issac was studying dentistry when the Civil War broke out. He enlisted in August, 1861 and his volunteer company was incorporated into the Tenth Regiment Missouri Volunteer Infantry. The regiment in April, 1862 was sent to Cape Girardeau and then Pittsburgh Landing. Van Hoesen was promoted to Second Lieutenant on January 2, 1863. He was mustered out at St. Louis on August 24, 1864. During his service, Van Hoesen participated in the battles of Iuka, Raymond, Jackson, Champion Hills, Black River, Vicksburg, Chattanooga, and Mission Ridge.⁹

HISTORY OF THE AREA

The historic context for construction of this property is outlined in the National Register multiple property listing "Historic Resources of Lawrence, Douglas County, Kansas," (1998). In Lawrence, "rebuilding the town after Quantrill's raid, the completion of a transcontinental railroad branch to Lawrence, and the end of the Civil War contributed to a notable, but short-lived, boom in Lawrence. An influx of settlers increased the town's population to 8,320 in 1870."¹⁰ During this town-building period, Lawrence was second in commercial importance only to Leavenworth among Kansas towns until Kansas City rose to regional dominance with a population of 32,000 residents in 1870 and more than 56,000 in 1880.¹¹

⁵ State Ledger 15 January 1897. Accessed online 12/05/16 at: <http://genealogytrails.com/kan/douglas/obits1.html>

⁶ Michael G. Braa, "The Van Hoesen Playhouse: One Hundred Years of Pleasing Its Tenants," Kanhistique (September 1978), 6.

⁷ "Issac N. Van Hoesen," Douglas County biographical sketches in William G. Cutler, History of the State of Kansas (Chicago, IL: A. T. Andreas, 1883), Part 26. Accessed online 11/16/2016 at www.kancoll.org/books/cutler/

⁸ Cutler, History, 26.

⁹ Cutler, History, 26.

¹⁰ Deon Wolfenbarger and Dale Nimz, "Historic Resources of Lawrence, Douglas County, Kansas," E-7. See at <https://assets.lawrenceks.org/assets/pds/planning/documents/lawrencethematicnr.pdf> Accessed 14 November 2016.

¹¹ Wolfenbarger and Nimz, "Historic Resources of Lawrence," E-10

However, the Issac Van Hoesen House was built at the end of this boom. Town-building in Lawrence came to an abrupt pause after the nation-wide financial panic in the fall of 1873. This long-lasting recession was precipitated on September 18, 1873, by the failure of the well-known New York investment firm of Jay Cooke and Company. Two days later, the New York Stock Exchange closed and credit became difficult or impossible to obtain. The impact on Lawrence was catastrophic. During the boom, the city and county had issued a total of \$900,000 in bonds to support railroad construction. After 1873 the debt became a crushing tax burden. In 1874 a drought and grasshopper invasion devastated the farms of Douglas County. By the time the state census was taken in 1875, Lawrence had lost 1,052 residents. The population of Douglas County had declined by 2,087. By 1877, all five banks in Lawrence either failed or reorganized.¹² Because of the continuing recession, the population of Lawrence in 1880 (8,510) was only slightly larger than in 1870.

DEVELOPMENT OF THE AREA SURROUNDING THE PROPOSED LANDMARK

When the Van Hoesen House was constructed (c. 1873), it stood alone on a platted block that did not develop as rapidly as anticipated.¹³ Even today the property consists of eight lots with two additional outbuildings and two accessory structures.

References

Braa, Michael G. "The Van Hoesen Playhouse," *Kanhistique* (September 1978), 6.
 Cutler, William G. *History of the State of Kansas* (Chicago, IL: A.T. Andreas, 1883).
 Wolfenbarger, Deon and Dale Nimz, "Historic Resources of Lawrence, Douglas County, Kansas," National Register Multiple Property Document (1998).

Maps

Atlas of Douglas County (New York, NY: F. W. Beers & Company, 1873).
Edwards Map of Douglas County, Kansas (John P. Edwards, 1887).
Standard Atlas of Douglas County, Kansas (Chicago, IL: George A. Ogle & Company, 1902).
Standard Atlas of Douglas County, Kansas (Chicago, IL: George A. Ogle & Company, 1921).

Photographs

House at 323 Illinois, Watkins Community Museum, Lawrence, KS. 1995.027.002 & 1995.027.003

Other related items – Watkins Community Museum, Collections

1978.031.009 – photograph of the playhouse
 1978.191.002 – letter from I. N. Van Hoesen to Mr. and Mrs. George Barker
 1981.028.004 - Lucy Van Hoesen photo in Ventura Club
 1984.204.003 – pass for Bismarck Grove fair in 1887, signed by I. N. Van Hoesen
 1995.027.001 - photograph of I. N. Van Hoesen's store at 160 Mass
 2009.035.004.145 - handbill for Van Hoesen's financial agency
 2009.035.004.146 – handbill for The Western Farmers Loan and Trust Co. (Van Hoesen is listed as VP)
 2015.029.011A-Q - essay about the history of the Lawrence Chamber of Commerce from 1878-1998; mentions Van Hoesen as mayor

¹² Wolfenbarger and Nimz, "Historic Resources of Lawrence," E-15.

¹³ See *Atlas of Douglas County* (F. W. Beers & Co, 1873), "Part of City of Lawrence, 1st-4th-5th-6th Wards," 27-29.

LAWRENCE HISTORIC RESOURCES COMMISSION
ITEM NO. 6: L-16-00536
STAFF REPORT

A. SUMMARY

L-16-00536 Public hearing for consideration of placing the property located at 1645 Louisiana Street, Benjamin F. Akers House, on the Lawrence Register of Historic Places. Submitted by Lawrence Preservation Alliance on behalf of Philip C. and Linda D. Wedge, property owners of record. Adopt Resolution 2017-02 if appropriate.

B. HISTORIC REGISTER STATUS

1645 Louisiana Street is not listed in any historic register.

C. REVIEW CONSIDERATIONS

(Information in the below summaries includes information from the application that was written by Dale Nimz.)

1) History Summary

1645 Louisiana Street, the Benjamin F. Akers House, is located on the west side of Louisiana Street at the convergence of Louisiana, Edgehill Road, and W 17th Street. The property encompasses the eastern portion of three platted lots and a portion of a fourth lot in the University Place Subdivision (UNIVERSITY PLACE BLK 1 E 1/2 LTS A,B,C & E 1/2 LT D LESS N 39 FT THEREOF). The University Place subdivision was platted in 1887 from land owned by the Lawrence Investment Company and George and Lillian Leis according to the dedication on the subdivision plat. The structure located at 1645 Louisiana Street had already been constructed at the time the plat was filed.

On November 11, 1872, Benjamin F. Akers bought a sixty-acre tract below Mount Oread from George W. Ogden which included the house site. The property excluded about one-half acre in the southeast corner for a right-of-way to the St. Louis, Lawrence, and Denver Railroad. Akers acquired an additional thirty-six acres from Andrew and Mary Ryan on March 31, 1873. At the time of this purchase, the property was adjacent to the City of Lawrence. A business enterprise, a stud farm, stables and a training course, was created with Colonel Amasa Sprague of Rhode Island.

After the panic of 1873, Colonel Sprague was forced to withdraw from the enterprise in 1874, but Akers continued. In the 1870s, the Stud Farm had approximately three hundred of stock there at any time. Akers held annual sales at the farm where he would sell as many as two hundred horses at each sale. The nomination sites an interview with Ilene Ecord, granddaughter of B.F. Akers, that Ulysses Grant stayed overnight in the Akers residence while on a horse buying expedition.

Although the exact date of construction is not documented, the B.F. Akers house was built between 1872, the date when Akers bought the property, and 1874, the date of a loan application. A historic photograph dated 1873 shows the structure with scaffolding on the east and north sides.

Benjamin Akers died in 1878 and his widow, Rosetta, was unable to continue operating the Stud Farm. Crosby Miller, who held a mortgage dated October 20, 1875, won a judgment versus Rosetta Akers on May 5, 1880. The property was sold to Miller at a sheriff's sale on January 4, 1881. Miller then sold to Joel and Pamelis Walker on September 15, 1883. The Walkers sold the east fifty acres of the Akers tract to George Leis on March 9, 1887. George & Lillian Leis sold the property to the Lawrence Investment Company on May 16, 1887 and the company dedicated the University Place subdivision on August 16, 1887. (The filed plat includes George & Lillian Leis in the dedication but this may be for other land in the platted area.) The partners in the Lawrence Investment Company sold Lots A-E, Block 1, University Place, including the Akers house, to William T. Smith on August 6, 1888. The house changed hands again a few times until 1903 when Elizabeth S. Walker bought the property on March 26, 1903. Elizabeth and her husband Arthur Walker sold to Gladys and Ammon Andes on April 1, 1948. Mr. and Mrs. James Dykes bought the house in 1963. The current owners, George and Margaret Wedge, bought the house in 1972.

2) Architectural Integrity Summary

1645 Louisiana Street, the Akers house, an elaborate example of the Italianate style, has a cruciform plan with an intersecting hipped roof. It is a single-family residence once located in a semi-rural area on the edge of Lawrence, but now in a residential district. The main side entrance is located in the south elevation of the front wing. There is another side entrance in the east elevation of the north wing and a rear entrance in the west elevation of the south wing. The rear entrance is flanked by an exterior brick cellar entrance with paired wooden doors.

The Akers house has excellent architectural integrity. The two-story brick masonry structure stands on a stone foundation constructed of tooled limestone blocks laid in an ashlar pattern. The roof is covered with standing seam metal roofing painted red. The U-shaped front porch wraps around the east wing. There is a smaller screened rear entrance porch in the southwest. The porches are supported on brick piers with a wooden floor and the front porch has an ornamental pierced wooden skirt board between the piers. The porches have ornamental posts with molded bases and capitals, wooden steps and railings as well as a slender arched head molding between the porch bays.

Other prominent ornamental features include a bay window projecting from the south wing, smooth-cut stone sills, projecting ornamental lintels above the windows, and an ornamental molded eave cornice. There are wooden entrance doors and screen doors. The house has two brick chimneys with corbelled tops and a circular metal vent in the central roof ridge. The main exterior alteration has been the repair of the porch with contemporary flooring and railing.

The house interior also has a high degree of integrity despite some alterations for contemporary use. There is an interior curving staircase and a large walnut bookcase originally built for this house. The main interior alteration has been the installation of a contemporary bathroom on the first floor.

Southwest of the Akers house is a small one-car garage constructed in the 1930s. This is a rectangular wood frame structure with a hipped roof and an entrance to the east with an overhead garage door. There is a side entrance to the north. The garage has a concrete foundation, weatherboard sheathing, and ornamental metal shingle roofing. This structure is a contributing structure for the property.

3) Context Description

1645 Louisiana Street is a good example of the housing that was constructed in Lawrence during the "City Building (1864-1873)" context as defined by the Historic Resources of Lawrence, Douglas County, Kansas Multiple Property Documentation Form (MPDF).

The Benjamin F. Akers House is located in a neighborhood that contains early 20th century single-family houses including Craftsman bungalows, American Foursquares, National Folk houses and later Colonial Revivals. The remainder of the block and to the southwest of the property is platted as University Place. The property is part of the University Place neighborhood. The dates of construction on the Louisiana Street side of the block range from 1873 (Akers House) to 2007 with seven properties constructed before 1950. The construction dates for the Indiana Street side of the block are from 1900 to 1977 with five structures built before 1950.

The development pattern of the area consists of a range of lot sizes, structure types, and structure sizes. Most of the area is currently detached dwellings on individual lots. The varying lot sizes from block to block typically maintain a residential pattern of development with a front yard, structure, and rear yard, although the setbacks for front yards and side yards vary.

4) Planning and Zoning Considerations

1645 Louisiana Street is zoned RS5, Single-Dwelling Residential District as are the properties to the north, east and south. The primary purpose of the RS Districts is to accommodate predominantly single detached dwelling units on individual lots. The zoning district is intended to create, maintain and promote housing opportunities for individual households, although it does permit nonresidential uses that are compatible with residential neighborhoods.

1645 Louisiana Street encompasses the eastern portion of three platted lots and a portion of a fourth lot. The three platted lots meet the density and dimensional standards for lots in the RS5 district.

5) Fiscal Comments

There are no monetary benefits directly associated with nomination of a structure to the Lawrence Register of Historic Places.

However, listing on the local Register does help preserve built resources important to Lawrence's history and helps to maintain streetscapes in older neighborhoods through environs reviews.

The original information submitted with nominations for properties to the Lawrence Register is kept on file in the City Planning office for public review and consultation with regard to development projects within the notification area. It is the intent of the city to place the nomination material on the city's website in the near future.

6) Positive/Negative Effects of the Designation

The positive effect of designation is the creation of a permanent record of the historical significance of an individual property, for its architectural quality or its association with a significant local individual or event. This provides the local Historic Resources Commission, an advisory board, with pertinent historical data which can help to provide an 'historic' perspective to property owners when they desire to improve, add on, or redevelop a property within an older section of the City.

The public accessibility of this information is also a resource as it can be used by realtors, builders/developers, and others in the community prior to a property's resale, redevelopment or rehabilitation. In a more general sense, this information can be used by the Chamber of Commerce and existing businesses and industries to 'identify' one of the facets that makes up Lawrence's *Quality of Living*.

Additional effects of designation are the creation of an arbitrary, 250' environs notification and review area. Within this 250' circle, projects which require city permits, e.g., demolition, redevelopment, renovation or modification, require review by Historic Resources staff or the Commission. These environs reviews permit analysis of proposed development/redevelopment by individuals sensitive to historic preservation.

A *Certificate of Appropriateness* or a *Certificate of Economic Hardship* is required to be issued by the Historic Resources Commission before a City permit can be issued for the proposed project. If the Historic Resources Commission denies a *Certificate of Appropriateness* or a *Certificate of Economic Hardship*, the property owner can appeal to the City Commission for a new hearing. The City Commission can uphold the decision of the HRC or it can grant the proposed development.

Examples of projects which would require review and approval are: projects involving the exterior building which are considered 'structural' changes, demolitions or partial demolitions, rezonings, replats, site plans, variance requests or other items which require a city permit or are the direct result of an action of the City Commission. Minor changes which require a city permit can be administratively approved by the Historic Resources Administrator.

7) Summary of Applicable Designation Criteria

Chapter 22, of the City Code is the *Conservation of Historic Resources Code* for the City of Lawrence. Section 22-403 of this code establishes criteria for the evaluation of an application for nomination to the Local Register of Historic Places.

D. CRITERIA FOR EVALUATION AND DESIGNATION - Section 22-403

Nine criteria are provided within this section for review and determination of qualification as a Landmark or Historic District. These criteria are set forth below with staff's recommendations as to which this application qualifies for:

(1) Its character, interest, or value as part of the development, heritage or cultural characteristics of the community, county, state, or nation;

The property is significant as an example of a large tract of land that was developed over time into smaller lots and eventually a residential subdivision as identified in National Register of Historic Places Criterion A and based on Dale Nimz's Living with History and the Multiple Property Documentation Form for the City of Lawrence.

(2) Its location as a site of a significant local, county, state, or national event;

(3) Its identification with a person or persons who significantly contributed to the development of the community, county, state, or nation;

(4) Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or use of indigenous materials;

(5) Its identification as a work of a master builder, designer, architect, or landscape architect whose individual work has influenced the development of the community, county, state or nation;

(6) Its embodiment of elements of design, detailing, materials, or craftsmanship that render it architecturally significant;

The Benjamin F. Akers House is an excellent example in Lawrence of the asymmetrical Italianate house form. The house also includes interior details that retain a high degree of integrity.

(7) Its embodiment of design elements that make it structurally or architecturally innovative;

(8) Its unique location or singular physical characteristics that make it an established or familiar visual feature;

(9) Its character as a particularly fine or unique example of a utilitarian structure; including, but not limited to farmhouses, gas stations, or other commercial structures, with a high level of integrity or architectural significance.

The HISTORIC RESOURCES CODE establishes a procedure to follow in the forwarding of a recommendation to the City Commission on applications for listing on the local register.

"Following the hearing the commission shall adopt by resolution a recommendation to be submitted to the city commission for either (a) designation as a landmark or historic district; (b) not to designate as a landmark or historic district; or, (c) not to make a recommendation. The resolution shall be accompanied by a report to the city commission containing the following information:

The Historic Resources Commission needs to formulate its recommendation in response to the following subsections section 22-404.2 (b):

- (1) Explanation of the significance or lack of significance of the nominated landmark or historic district as it relates to the criteria for designation as set forth in section 22-403;*
- (2) Explanation of the integrity or lack of integrity of the nominated landmark or historic district;*
- (3) In the case of a nominated landmark found to meet the criteria for designation:
(A) The significant exterior architectural features of the nominated landmark that should be protected; and,
(B) The types of construction, alteration, demolition, and removal, other than those requiring a building or demolition permit, that cannot be undertaken without obtaining a certificate of appropriateness.*
- (4) In the case of a nominated historic district found to meet the criteria for designation:
(A) The types of significant exterior architectural features of the structures within the nominated historic district that should be protected;
(B) The types of construction, alteration, demolition, and removal, other than those requiring a building or demolition permit, that cannot be undertaken without obtaining a certificate of appropriateness.
(C) A list of all key contributing, contributing and noncontributing sites, structures and objects within the historic district.*
- (5) Proposed design guidelines for applying the criteria for review of certificates of appropriateness to the nominated landmark or historic district.*
- (6) The relationship of the nominated landmark or historic district to the on-going effort of the commission to identify and nominate all potential areas and structures that meet the criteria for designation.*
- (7) A map showing the location of the nominated landmark or the boundaries of the nominated historic district.*

E. RECOMMENDATION:

Staff recommends the Akers House, located at 1645 Louisiana Street, for designation as a Landmark on the Lawrence Register of Historic Places pursuant to Criterion #1 and #6 as described in Section 22-403.

If the Historic Resources Commission recommends this property for local nomination, the Commission should adopt a resolution for recommendation to be submitted to the City Commission for designation as a landmark. In addition to the resolution, the Commission should direct staff to prepare a report to accompany the resolution including the information set forth in Section 22-404.2(1)-(7) and the environs definition.

Staff recommends the following for the report to the City Commission:

- (1) *Explanation of the significance or lack of significance of the nominated landmark or historic district as it relates to the criteria for designation as set forth in section 22-403;*

The Akers House is significant for its Italianate architecture and its value as part of the development of Lawrence.

- (2) *Explanation of the integrity or lack of integrity of the nominated landmark or historic district;*

The primary structure and the accessory structure maintain sufficient integrity of location and design that make them worthy of preservation

- (3) *In the case of a nominated landmark found to meet the criteria for designation:*
(A) *The significant exterior architectural features of the nominated landmark that should be protected; and,*

Primary Structure

Historic form, fenestration pattern, roof material and shapes including the associated wide eaves and brackets, brick chimneys, window surrounds, main entry porch including size and architectural details such as the wood posts, slender arched head molding between the porch bays, bay window projecting from the south wing, smooth-cut stone sills, projecting ornamental lintels above the windows and stone foundation.

Accessory Structure

Historic form, roof shape, concrete foundation, weatherboard sheathing, and ornamental metal shingle roofing.

- (B) *The types of construction, alteration, demolition, and removal, other than those requiring a building or demolition permit that cannot be undertaken without obtaining a certificate of appropriateness.*

Historic form, fenestration pattern, roof material and shapes including the associated wide eaves and brackets, brick chimneys, window surrounds, main entry porch including size and architectural details such as the wood posts, slender arched head molding between the porch bays, bay window projecting from the south wing, smooth-cut stone sills, projecting ornamental lintels above the windows and stone foundation.

- (5) *Proposed design guidelines for applying the criteria for review of certificates of appropriateness to the nominated landmark or historic district.*

U.S. Secretary of the Interior's Standards for Rehabilitation, published in 1990, and any future amendments, in addition to any criteria specified by Chapter 22 of the Code of the City of Lawrence, Kansas.

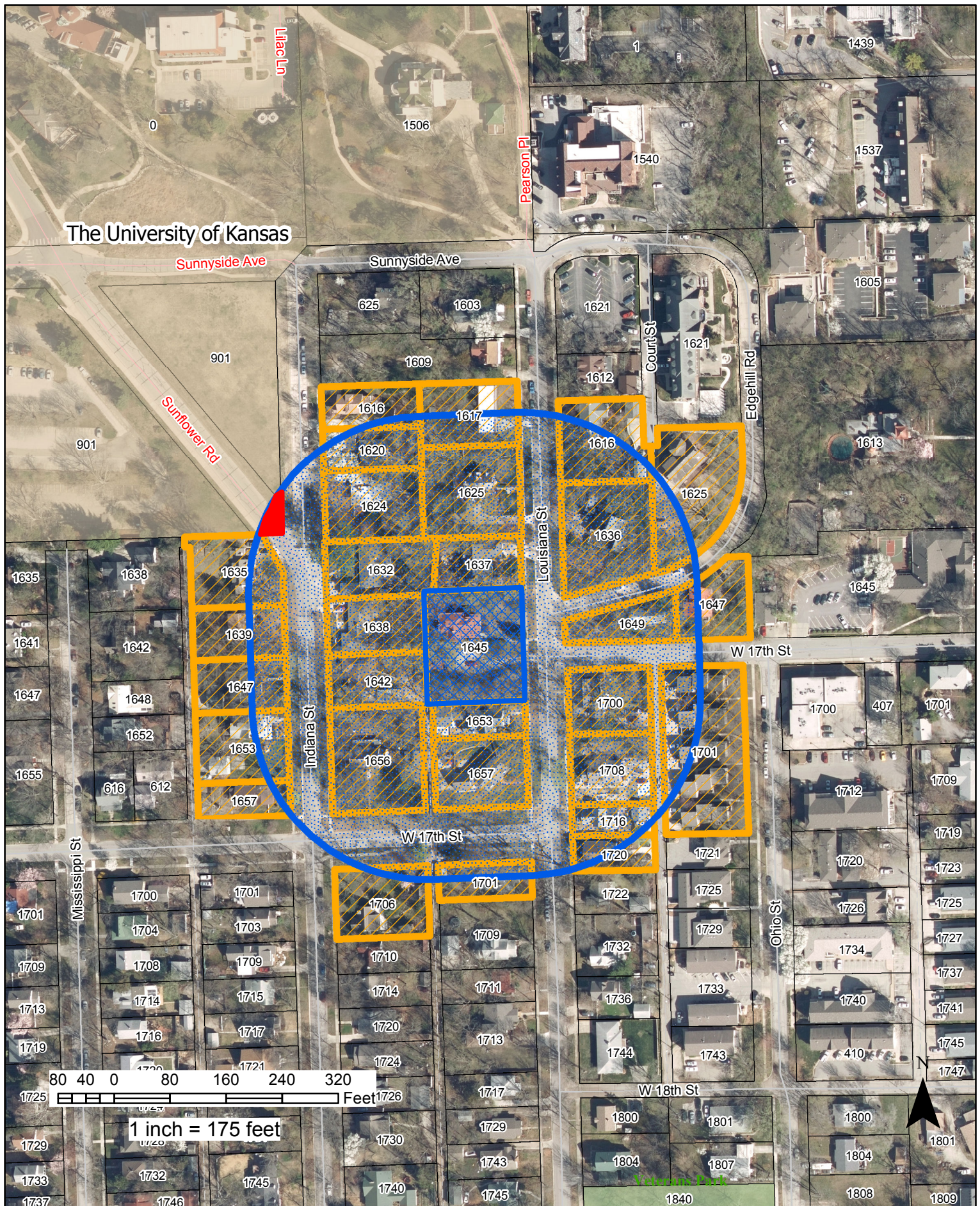
The HRC may also adopt ***An Analysis of the Environs for 1645 Louisiana Street*** and delineate how environs review will be conducted in relation to the listed property.

- (6) *The relationship of the nominated landmark or historic district to the on-going effort of the commission to identify and nominate all potential areas and structures that meet the criteria for designation.*

A primary goal of the HRC is to build a Register of properties which show the diversity and growth of Lawrence since its inception. The nomination of this property is another step toward registering a wide variety of historic properties which together present a visual history of Lawrence's past. The goal of the Lawrence Register of Historic Places is to represent all socioeconomic strata; residences, businesses, and industries which illustrate the diversity that has been prevalent in Lawrence since its inception.

- (7) *A map showing the location of the nominated landmark. (Attached)*

1645 Louisiana Street



Analysis of Environs of 1645 Louisiana Street, Benjamin F. Akers House

Step One

Historical Significance and Context

According to the application for Historic Landmark Designation, the structure located at 1645 Louisiana Street was constructed c. 1873. The property is being nominated to the Lawrence Register of Historic Places under local criteria (1) and (6). Local criterion one is a property's character, interest, or value as part of the development, heritage or cultural characteristics of the community, county, state, or nation. Local criterion six is embodiment of elements of design, detailing, materials, or craftsmanship that render it architecturally significant.

The importance of this structure's visual and physical characteristics influences the environs definition process in that it is an excellent example of an Italianate architectural style constructed during the period "City Building (1864-1873)" as defined by the amendment to Historic Resources of Lawrence, Douglas County, Kansas Multiple Property Documentation Form (MPDF). The structure maintains integrity in location and design.

Step Two

Historical Character of the Area Surrounding the Property

Historical character is the primary issue considered in this section. Historic photographs, Sanborn Fire Insurance Maps, *the nomination information, 1873 Douglas County Atlas, Living with History: A Historic Preservation Plan for Lawrence, Kansas*, by Dale Nimz, and Historic Resources of Lawrence, Douglas County, Kansas Multiple Property Documentation Form (MPDF) are the primary sources used to identify the historic character of the area.

Natural Features The environs consisted of hilly ground associated with the proximity to Mount Oread.

Property Boundaries and Ownership Patterns Property boundaries and ownership patterns were typically larger land areas with one owner followed by increasingly smaller boundaries with one owner as the area was platted as the University Place Subdivision.

Land Use Patterns and Zoning Land use in the area was residential with land area to support the semi-rural uses. There was no zoning at the time of construction.

Circulation Patterns There were few circulation patterns in in the area at the time of construction. With the University Place Subdivision, the typical grid pattern for Lawrence was applied to this area laying streets north/south and east/west.

Planned Vegetation Patterns Vegetation in the area was consistent with the typical semi-rural development patterns adjacent to the City. Development of the area added vegetation associated with smaller lots.

Signs and Pedestrian Amenities At the time of construction, there were no signs or pedestrian amenities in the area.

Primary Structures At the time of construction, there were no other primary structures in the immediate area. As the subdivision developed, primary structures were constructed that represented examples of early 20th century single-family houses. Wood frame and brick structures were present in the area.

Secondary Structures Secondary structures in the area were primarily utilitarian structures of the period including barns. As the subdivision developed, most of the secondary structures were still utilitarian but garages started to appear.

Outdoor Activity Spaces Outdoor activity spaces were primarily associated with the lots associated with structures. The University owned property to the west with open spaces sometimes provided for open activity space.

Utilities and Mechanical Equipment There were no utilities or mechanical equipment in the area at the time of construction.

Views The views to the listed property were typical of a semi-rural area that developed into a residential subdivision. Original views to the Akers's house were more expansive prior to the subdivision development.

Step Three

Present Character of the Area Surrounding the Property

The primary source of information on this section is personal observation, City zoning maps, and recent aerial photographs.

Natural Features The environs consist of hilly ground associated with the proximity to Mount Oread.

Property Boundaries and Ownership Patterns Property boundaries in this area are primarily consistent with the platted residential lots. While a few of the lots to the north are not platted, the overall ownership patterns of the properties are typically individual owners for each lot. Some lots have been combined to provide individual owners with larger parcels. The non-platted areas are also one owner with one primary structure. Some lots in the area have been replatted to accommodate more modern development.

Land Use Patterns and Zoning The land use patterns for the area are consistent with the ownership patterns. Current zoning is RS5 – Single Dwelling Residential District. The zoning

supports the residential *detached dwelling* (single dwelling) use. Properties to the northeast and east are zoned for higher-density residential uses (RMG and RM32).

Circulation Patterns Vehicular traffic in the area is primarily local traffic on improved streets. However, because of the proximity to the University, the area experiences increased vehicular traffic during the day. Pedestrian access in the area is limited to sidewalks.

Planned Vegetation Patterns The landscape in the area is mature and typical for a subdivision of this age. The planned vegetation in the front yards consists of mature trees and plant beds with both annual and perennial plantings.

Signs and Pedestrian Amenities Signs in the area vary, but typically they are road signs with street names and traffic signs. There are no pedestrian amenities other than the existing sidewalks.

Primary Structures The primary structures in the area continue to be a mix of various architectural styles. Building materials remain consistent with typical building materials for a development of this age. Fenestration patterns vary, but most of the structures have a primary entrance that faces the street.

Secondary Structures Secondary structures in the area consist mainly of garages and small type garden/utility sheds.

Outdoor Activity Spaces Open space is primarily limited to the portions of the individual lots that are not encompassed with structure.

Utilities and Mechanical Equipment There are storm sewer inlets, traffic signs and some street lighting along streets in the area. Water meter and manhole covers are typical through the area. Fire hydrants are located along the streets. City water lines are primarily in the streets and sanitary sewer lines are to the rear of the properties and in the streets. Mechanical equipment consists primarily of HVAC units that are located on the ground adjacent to the primary structures and behind the front building plane. Electrical and telephone lines exist in the area.

Views Views to and from the nominated property are limited due to the residential development of the area. In addition, views are often obscured by the mature vegetation in the area.

Step Four

Comparison of the Historic and Present Character of the Area Surrounding the Property.

Natural Features The natural features remain the same.

Property Boundaries and Ownership Patterns The typical property boundaries and

ownership patterns of the area are similar today to what they were in the development period of the area after the construction of the Akers's house.

Land Use Patterns and Zoning The land use patterns, single structures on individual lots, has not changed. Zoning for the area has changed over time but the majority of the area in the environs is now single dwelling residential. Some of the property to the east and southeast has developed as multi-dwelling residential and is now zoned for those uses.

Circulation Patterns Vehicular traffic in the area has increased from the primarily local traffic on the area streets due to the proximity to the University and the increase in personal motorized vehicles. Pedestrian access in the area continues to be limited to sidewalks.

Primary Structures The majority of primary structures in the environs area continue to be residential structures.

Secondary Structures Secondary structures in the area are in the form of small sheds in the rear yards.

Outdoor Activity Spaces Open space continues to be limited to the portions of the individual lots that are not encompassed with structure.

Utilities and Mechanical Equipment Additional modern utilities and mechanical equipment have been introduced into the area since the construction of the Akers House.

Views The views in the area have not significantly changed since the construction of the original development of the subdivision.

Conclusion

The Environs for 1645 Louisiana Street, the Benjamin F. Akers House, have significantly changed since the construction of the house but are consistent with the planned University Place subdivision.

The environs should be considered as one area with the exception of an approximate 1,130 sf area owned by the University of Kansas at the northwest corner of Indiana Street and Sunflower Road. This area is not subject to Chapter 22 Review Projects in the environs should be reviewed in the following manner.

The area primarily consists of residential structures. The residential character of the environs in this area is important. The area should maintain the overall residential character of the historic environs and the following should apply:

The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505. Important design elements include scale, massing, site placement, height, directional expression, percentage of building coverage to site, setback, roof shapes, rhythm of openings, and sense of entry. Demolition of properties shall be approved if a compatible structure is proposed on the site. Maintaining views to the listed property and maintaining the rhythm and pattern within the environs are the primary focus of review.

All projects except for demolition of main structures, new infill construction, or large additions (25% or greater than the footprint of the existing structure) will be reviewed administratively by the Historic Resources Administrator. The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505. The main issues in the review are the continuation of the residential character of the area and whether the project will encroach upon, damage or destroy the environs of the listed property. If the project does not meet the Criteria set forth in 22-505, the project will be forwarded to the Historic Resources Commission for review.

Major projects (demolition of main structures, new infill construction, and large additions greater than 25% of the footprint of the existing structure) will be reviewed by the Historic Resources Commission. The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505. The main issues in the review are the continuation of the residential character of the area and if the project will encroach upon, damage or destroy the environs of the listed property.



LANDMARK APPLICATION

Pre-Application Meeting **Required**
Planner _____
Date _____

PLEASE BE ADVISED: THIS APPLICATION WILL NOT BE SCHEDULED FOR A PUBLIC HEARING UNTIL THE HISTORIC RESOURCES ADMINISTRATOR HAS DETERMINED THAT THE APPLICATION HAS BEEN COMPLETED. (City Code 22-105(Y))

PROPERTY INFORMATION

Name of Historic Property Benjamin F. Akers House (Kansas Stud Farm)
Address of Property 1645 Louisiana
Legal Description of Property University Place, Block 1, E1/2 Lots A, B, C, and E, 1/2 Lot D less N 39 feet thereof

OWNER INFORMATION

Name(s) Philip C. and Linda D. Wedge
Contact Philip C. Wedge
Address 1645 Louisiana Street
City Lawrence State Kansas ZIP 66044
Phone (785) 842-0382 E-mail wedge@ku.edu

Is this an owner initiated nomination? ☒ Yes ☐ No

If not, has the owner been notified of this nomination? ☐ Yes ☐ No

APPLICANT/AGENT INFORMATION

Contact Dennis Brown, President, Lawrence Preservation Alliance
Company _____
Address P.O. Box 1073
City Lawrence State Kansas ZIP 66044
Phone (785) 841-2460 E-mail djbrown806@gmail.com



DESCRIPTION OF PROPERTY

Number of structures, objects, or landscape features located on the property 2

Historic Use(s) residence, garage

Present Use(s) residence, garage

Date of Original Construction c. 1873; c. 1930

Architect and/or Builder (if known) Unknown

Date(s) of Known Alterations _____

Describe any known alterations including additions to the property. (Add additional sheets if needed)

REGISTER STATUS

- ☐ Property is listed in the National Register of Historic Places
- ☐ Property is listed in the Register of Historic Kansas Places

HISTORIC SIGNIFICANCE OF THE PROPERTY

Why do you think this property is significant? Please check all that apply.

- ☐ Location of a significant event
Event _____
- ☐ Association with a significant person
Person _____
- ☒ Architectural significance (Please attach an architectural description of the property)
- ☐ Other _____



HISTORY OF THE PROPERTY (Add additional sheets if needed)

See attached appendix.

DESCRIBE THE DEVELOPMENT OF THE AREA SURROUNDING THE PROPERTY AT THE TIME OF CONSTRUCTION.

What year was the property platted? August 16, 1887

What is the name of the subdivision? University Place

What was the zoning? Not zoned at the time of construction

What were the land uses? Semi-rural, urban

What size and types of buildings existed in the area? Scattered rural residences

Did the area have paved streets, sidewalks, gas service or electrical service? Please describe.

No, infrastructure was developed after the surrounding area was annexed into the city of Lawrence and platted as University Place Addition in 1887.

ATTACH COPIES OF ANY HISTORIC PHOTOGRAPHS OR DOCUMENTATION INCLUDING CITATIONS FOR THIS PROPERTY.



City of Lawrence
Douglas County
PLANNING & DEVELOPMENT SERVICES

**Lawrence Douglas County
Metropolitan Planning Office**
6 East 6th Street, P.O. Box 708, Lawrence, KS 66044
(785) 832-3150 Fax (785) 832-3160
<http://www.lawrenceks.org/pds/>

SIGNATURE

I/We, the undersigned am/are the **(owner(s))**, **(duly authorized agent)**, **(Circle One)** of the
aforementioned property. By execution of my/our signature, I/we do hereby officially apply for
landmark designation as indicated above.

Signature(s): _____ Date _____

_____ Date _____

_____ Date _____

OWNER AUTHORIZATION

I/WE _____, hereby referred to as the "Undersigned", being of lawful age, do hereby on this _____ day of _____, 20 __, make the following statements to wit:

1. I/We the Undersigned, on the date first above written, am/are the lawful owner(s) in fee simple absolute of the following described real property:

See "Exhibit A, Legal Description" attached hereto and incorporated herein by reference.

2. I/We the undersigned, have previously authorized and hereby authorize _____ (Herein referred to as "Applicant"), to act on my/our behalf for the purpose of making application with the Planning Office of _____ Lawrence/Douglas County, _____ Kansas, regarding _____ (common address), the subject property, or portion thereof. Such authorization includes, but is not limited to, all acts or things whatsoever necessarily required of Applicant in the application process.

3. It is understood that in the event the Undersigned is a corporation or partnership then the individual whose signature appears below for and on behalf of the corporation or partnership has in fact the authority to so bind the corporation or partnership to the terms and statements contained within this instrument.

IN WITNESS THEREOF, I, the Undersigned, have set my hand and seal below.

Owner

Owner

STATE OF KANSAS
COUNTY OF DOUGLAS

The foregoing instrument was acknowledged before me on this _____ day of _____, 20 __,

by _____.

My Commission Expires:

Notary Public



**City of Lawrence
Douglas County**
PLANNING & DEVELOPMENT SERVICES

6 East 6th St.
P.O. Box 708
Lawrence, KS 66044

www.lawrenceks.org/pds

Phone 785-832-3150
Tdd 785-832-3205
Fax 785-832-3160

**REQUIRED INFORMATION TO BE SUBMITTED WITH AN APPLICATION FOR NOMINATION
TO THE LAWRENCE REGISTER OF HISTORIC PLACES**

- ☐ Completed Application Form (If the property is nominated for architectural significance, include an architectural description of the structure.)
- ☐ Certified property owner list from the Douglas County Clerk's office for properties within 250' of the nominated property.
- ☐ At least one photograph of each elevation of the structure(s) and streetscape views.
- ☐ Legal description of nominated property.
- ☐ If the property is listed on the State and/or National Registers of Historic Places, copies of the resource materials submitted with the application.
- ☐ Any additional documentation you believe is relevant to this nomination which you would like considered in the review process.
- ☐ The fee for application processing is \$10.00 for landmark nominations and \$50.00 for district nominations.

Research Resources

- Lawrence Public Library (707 Vermont Street, Lawrence)
<http://www.lawrence.lib.ks.us/research-resources/genealogy-and-local-history/>
- Watkins Museum of History (1047 Massachusetts Street, Lawrence)
<http://www.watkinsmuseum.org/index.php>
- Kenneth Spencer Research Library at the University of Kansas (1450 Poplar Lane, Lawrence)
<https://spencer.lib.ku.edu/>
- Kansas State Historical Society (6425 SW 6th Ave., Topeka, Kansas)
<http://www.kshs.org/>
- City of Lawrence Interactive map
<http://gis.lawrenceks.org/flexviewers/lawrence/>

PLEASE BE ADVISED: This application will not be scheduled for a Public hearing until the Historic Resources Administrator has determined that the application has been completed. (City Code 22-105(Y))



We are committed to providing excellent city services that enhance the quality of life for the Lawrence Community

Appendix – Benjamin F. Akers House, Local Landmark

Architectural significance of the property

The Benjamin F. Akers House is an excellent example in Lawrence of the asymmetrical Italianate house form. These are compound-plan houses, usually L-shaped. About twenty percent of Italianate houses are of this sub-type.¹ As the Field Guide to American Houses summarized, “the Italianate style dominated American houses constructed between 1850 and 1880. It was particularly common in the expanding towns and cities of the Midwest.” The Italianate style originated in England as part of the Picturesque movement; it emphasized the historic form of rambling informal Italian farmhouses.²

In Lawrence, Italianate residences are found in both working class and merchant class neighborhoods. Some of the best examples such as the Akers house were constructed on larger tracts of land that were located just outside the city boundaries.³ Construction of the Akers house in the Italianate style also reflected the larger socio-economic context of the state. In Kansas, Italianate-influenced architecture was built from about 1865 until about 1885. “During this twenty-year period Kansas experienced significant growth in its population, economy, and government structure. Early examples of the Italianate style are located in the eastern part of the state, in cities like Kansas City, Leavenworth, and Lawrence.”⁴

Description

The Akers house, an elaborate example of the Italianate style, has a cruciform plan with an intersecting hipped roof. It is a single-family residence once located in a semi-rural area on the edge of Lawrence, but now in a residential district. The main side entrance is located in the south elevation of the front wing. There is another side entrance in the east elevation of the north wing and a rear entrance in the west elevation of the south wing. The rear entrance is flanked by an exterior brick cellar entrance with paired wooden doors.

The Akers house has excellent architectural integrity. The two-story brick masonry structure stands on a stone foundation constructed of tooled limestone blocks laid in an ashlar pattern. The roof is covered with standing seam metal roofing painted red. The U-shaped front porch wraps around the east wing. There is a smaller screened rear entrance porch in the southwest. The porches are supported on brick piers with a wooden floor and the front porch has an ornamental pierced wooden skirt board between the piers. The porches have ornamental posts with molded bases and capitals, wooden steps and railings as well as a slender arched head molding between the porch bays.

Other prominent ornamental features include a bay window projecting from the south wing, smooth-cut stone sills, projecting ornamental lintels above the windows, and an ornamental molded eave cornice. There are wooden entrance doors and screen doors. The house has two brick chimneys with corbelled tops and a circular metal vent in the central roof ridge. The main exterior alteration has been the repair of the porch with contemporary flooring and railing.

The house interior also has a high degree of integrity despite some alterations for contemporary use. There is an interior curving staircase and a large walnut bookcase originally built for this house. The main interior alteration has been the installation of a contemporary bathroom on the first floor.

¹ Virginia S. McAlester, A Field Guide to American Houses rev. ed. (New York, NY: Alfred A. Knopf, 2015), 283.

² McAlester, Field Guide, 286.

³ Deon Wolfenbarger and Dale Nimz, “Historic Resources of Lawrence, Douglas County, Kansas,” F-2. See at <https://assets.lawrenceks.org/assets/pds/planning/documents/lawrencethematicnr.pdf> Accessed 14 November 2016.

⁴ Martha Hagedorn-Krass, “Italianate Architecture Gains Popularity in 19th Century Kansas,” Kansas Preservation 25:3 (May/June 2003), 13.

Southwest of the Akers house is a small one-car garage constructed in the 1930s.⁵ This is a rectangular wood frame structure with a hipped roof and an entrance to the east with an overhead garage door. There is a side entrance to the north. The garage has a concrete foundation, weatherboard sheathing, and ornamental metal shingle roofing.

Historic significance of the property

The Benjamin F. Akers House is eligible for listing as a local landmark as a well preserved example of the Italianate architectural style. The property is eligible for listing under Criteria 1 because of its character and value as part of the development and heritage of Lawrence and Douglas County, Kansas. Also, the house is eligible for listing under Criteria 6 for its embodiment of popular elements of design, detailing, materials, and craftsmanship that render it architecturally significant.

Chronology

According to his biography, Benjamin Akers "indulged his natural fondness for horses" by running away from his family's farm in Cuyahoga County, Ohio at the age of twelve, and going to New York City as a drover's boy. Akers was born in Swinton, Yorkshire, England on September 27, 1829 and his family immigrated to the United States in 1842. After his brief adventure in New York City, Akers made his way west to Cleveland where he apprenticed as a painter, served as a journeyman, and then became master in the business. He established a business as a sign and ornamental painter. After the painting harmed his health, Akers joined the clothing firm of C.H. Robinson, learned the business, and rented a storeroom in the same block with his old employer. By working together, they soon controlled "a larger share of the retail clothing trade of the city."⁶ In 1851 Mr. Akers married Rosetta M. Hungerford of Rome, New York. A son, Benjamin F. Akers, Jr. was born in 1865 and another son, Amasa Sprague Akers, was born in 1874.⁷

When the recession of 1856 stalled commercial trade in Cleveland, the enterprising Akers shipped his goods to Leavenworth, Kansas Territory where he disposed of his remaining clothing stock. In Leavenworth he became a livery stable operator "where he had abundant opportunity to gratify his inclination and demonstrate his ability and judgment as a horseman, which he did most successfully."⁸ After the Civil War began in 1861, Akers began furnishing horses and mules for the U.S. government and freighting military supplies. At one time, he had in service 154 four-mule teams and 60 ox wagons with eight yoke of cattle to each wagon. In this rapid expansion, Akers almost went bankrupt because the government suspended payment for almost a year on his contracts, but a friend's financial support helped the business survive. In 1863 Akers had a very successful winter's freighting running his mule teams to Denver from Leavenworth.⁹ Also in 1863, Akers raised a company of militia in Leavenworth which joined Union supporters to organize the 19th Kansas Cavalry regiment. Although he was elected colonel, Akers declined in order to save the freighting business by fulfilling his contracts.

By the end of the war, Ben Akers had accumulated enough wealth "to gratify the taste and ambition of his life, which was to become a breeder of fine horses."¹⁰ Akers entered a partnership with Colonel Amasa Sprague of Rhode Island. On November 11, 1872, Akers bought a sixty-acre tract below Mount Oread from George W. Ogden which included the house site. The property excluded about one-half acre in the southeast corner for a right-of-way to the St. Louis, Lawrence, and Denver Railroad. Akers acquired an additional thirty-six acres from Andrew and Mary Ryan on March 31, 1873.¹¹ The partners purchased "a beautiful tract of land adjoining the city of Lawrence, erected commodious stables, prepared a first-class training course" and stocked the Kansas Stud Farm with the best horses money could purchase. The stock included the veteran trotter, Ethan Allan, at the head of the stud. Ethan Allan was one of the best known stallions of the Morgan breed. Colonel Amasa Sprague bought the stallion in 1870 and sent him to the Kansas

⁵ See Kansas Historic Resources Inventory #045-3010-00006, Akers House, 1645 Louisiana Street, Lawrence.

⁶ "Benjamin Franklin Akers," United States Biographical Dictionary: Kansas Volume (Chicago & Kansas City: S. Lewis & Company, 1879), 197-198.

⁷ Biographical Dictionary, 199.

⁸ Biographical Dictionary, 198.

⁹ Biographical Dictionary, 198.

¹⁰ Biographical Dictionary, 198.

¹¹ Abstract of Title: 1645 Louisiana. The Banks Co., Lawrence, KS 66044. "The South Half of the West Half of Lot "B" and all of the West Half of Lot "A" in Block No. One in University Place, an addition to the City of Lawrence, Sheet 19.

Stud Farm where Ethan Allan died in 1876. His bones were later exhumed and held in the Museum of Natural History at the University of Kansas.

After the panic of 1873, Colonel Sprague was forced to withdraw from the enterprise in 1874, but Akers continued. In the 1870s, the Stud Farm had approximately three hundred of stock there at any time. Akers held annual sales at the farm where he would sell as many as two hundred horses at each sale.¹² As the biography published in 1879 asserted, "his stud embraces representatives from all the leading strains of trotters. Hambletonians, Clays, Abdallahs, Membrinos, and includes both colts and fillies that are trotting wonders."¹³ According to an interview with Ilene Ecord, granddaughter of B.F. Akers, sometime during the 1870s, Ulysses Grant, renowned general and president from 1869 to 1877, stayed overnight in the Akers residence while on a horse buying expedition.¹⁴

Although the exact date of construction is not documented, the B.F. Akers house was built between 1872, the date when Akers bought the property, and 1874, the date of a loan application. A historic photograph dated 1873 shows the structure with scaffolding on the east and north sides.¹⁵

Benjamin Akers died in 1878 and his widow, Rosetta, was unable to continue operating the Stud Farm. Crosby Miller, who held a mortgage dated October 20, 1875, won a judgment versus Rosetta Akers on May 5, 1880. The property was sold to Miller at a sheriff's sale on January 4, 1881. Miller then sold to Joel and Pamelis Walker on September 15, 1883.¹⁶ The Walkers sold the east fifty acres of the Akers tract to George Leis on March 9, 1887.¹⁷ George & Lillian Leis sold the property to the Lawrence Investment Company on May 16, 1887 and the company dedicated the University Place subdivision on August 16, 1887.¹⁸ The partners in the Lawrence Investment Company sold Lots A-E, Block 1, University Place, including the Akers house, to William T. Smith on August 6, 1888. The house changed hands again a few times until 1903 when Elizabeth S. Walker bought the property on March 26, 1903. Elizabeth and her husband Arthur Walker sold to Gladys and Ammon Andes on April 1, 1948.¹⁹ Mr. and Mrs. James Dykes bought the house in 1963. The current owners, George and Margaret Wedge, bought the house in 1972.

History of the area

The historic context for this property is outlined in the National Register multiple property listing "Historic Resources of Lawrence, Douglas County, Kansas," (1998). In Lawrence, "rebuilding the town after Quantrill's raid, the completion of a transcontinental railroad branch to Lawrence, and the end of the Civil War contributed to a notable, but short-lived, boom in Lawrence. An influx of settlers increased the town's population to 8,320 in 1870."²⁰ During this period, stone and brick houses were valued as more durable and fireproof than wood-frame houses. By 1866 three brick manufacturers were listed in the Lawrence city directory.²¹ During this town-building period, Lawrence was second in commercial importance only to Leavenworth among Kansas towns until Kansas City rose to regional dominance with a population of 32,000 residents in 1870 and more than 56,000 in 1880.²²

Development of the area surrounding the proposed landmark

¹² Interview with Ilene Ecord, granddaughter of B. F. Akers, cited in Alison Smith, "A History of University Place Neighborhood," Topeka, Kansas, 2 April 1988.

¹³ Biographical Dictionary, 198-199.

¹⁴ Interview cited in Alison Smith, "A History of University Place Neighborhood," Topeka, Kansas, 2 April 1988.

¹⁵ "State Farm and Race Track, Lawrence, Kansas," No. 11, On the Kansas Pacific Railway. Robert Benecke (1835-1903). See at <http://digitalcollections.smu.edu/cdm/ref/collection/wes/id/479> accessed 11/18/2016.

¹⁶ Abstract of Title: 1645 Louisiana, Sheet 21.

¹⁷ Abstract of Title: 1645 Louisiana, Sheet 25.

¹⁸ Abstract of Title: 1645 Louisiana, Sheet 25, 27.

¹⁹ Abstract of Title: 1645 Louisiana, n.p.

²⁰ Deon Wolfenbarger and Dale Nimz, "Historic Resources of Lawrence, Douglas County, Kansas," E-7. See at <https://assets.lawrenceks.org/assets/pds/planning/documents/lawrencethematicnr.pdf> Accessed 14 November 2016.

²¹ Wolfenbarger and Nimz, "Historic Resources of Lawrence," E-13.

²² Wolfenbarger and Nimz, "Historic Resources of Lawrence," E-10

When the B. F. Akers House was built, the surrounding area was farmland.²³ The house is now located in the University Place subdivision platted in 1887. At that time, a proposed streetcar route was planned for the area, but the subdivision was not served by streetcar until 1913 when the University of Kansas line was extended down from Mount Oread and east on Seventeenth to Tennessee Street.²⁴ Since the nineteenth century, the University of Kansas has expanded to border the residential subdivision on the north.

References

Abstract of Title: 1645 Louisiana. The Banks Co., Lawrence, Kansas. "The South Half of the West Half of Lot "B" and all the West Half of Lot "A" in Block No. One in University Place, an addition to the City of Lawrence. Property of the property owners, George & Margaret Wedge.
 Claus, Robert and Cynthia. "The Wedge Residence," research paper, Historic Preservation Law Seminar, Professor Paul Wilson (January 2, 1975).
 Lamb, Jody. "Akers Stud Farm Residence" draft National Register nomination, (May, 1999). Prepared for property owners George and Margaret Wedge, 1645 Louisiana Street, Lawrence, Kansas.
 Smith, Alison. "A History of the University Place Neighborhood," Kansas History Contest essay (April 8, 1988).
The United State Biographical Dictionary: Kansas Volume (Chicago and Kansas City: S. Lewis & Company, 1879).
 Ye, Xi. "The Wedge House," research paper, American Vernacular Architecture, Professor Dennis Domer, University of Kansas (December 1998).

Maps

Atlas of Douglas County (New York, NY: F. W. Beers & Company, 1873).
Edwards Map of Douglas County, Kansas (John P. Edwards, 1887).
Standard Atlas of Douglas County, Kansas (Chicago, IL: George A. Ogle & Company, 1902).
Standard Atlas of Douglas County, Kansas (Chicago, IL: George A. Ogle & Company, 1921).

Photographs

"Stud Farm and Race Track, Lawrence, Kansas," No. 11, On the Kansas Pacific Railway. Robert Benecke (1835-1903). See at: <http://digitalcollections.smu.edu/cdm/ref/collection/wes/id/479> accessed 11/18/2016.

²³ See Atlas of Douglas County (F.W. Beers & Co, 1873).

²⁴ "University Place Walking Tour" brochure.

LAWRENCE HISTORIC RESOURCES COMMISSION
ITEM NO. 7: L-16-00537
STAFF REPORT

A. SUMMARY

L-16-00537 Public hearing for consideration of placing the property located at 645 Mississippi Street, Robert E. House Residence, on the Lawrence Register of Historic Places. Submitted by Lawrence Preservation Alliance on behalf of John Frydman & Laurie Martin-Frydman, property owners of record. Adopt Resolution 2017-03, if appropriate.

B. HISTORIC REGISTER STATUS

645 Mississippi Street is not listed in any historic register.

C. REVIEW CONSIDERATIONS

(Information in the below summaries includes information from the application that was written by Dale Nimz.)

1) History Summary

The Robert E. House Residence is located on the west side of Mississippi Street at the corner of 7th Street and Mississippi Street. The property encompasses two lots platted in Lane's First Addition to the city and one small lot remaining from the Original Townsite. (LANE'S FIRST ADD BLK 3 LTS 1 & 2; ALSO MISSISSIPPI STREET LT 165).

Architect Henry McAliss is reported to have designed the house located at 645 Mississippi Street for local merchant Robert E. House in 1918. (The Douglas County Appraiser's Office dates the structure to 1917.) The house shows on the 1918 Sanborn Fire Insurance map for this area. Robert and his wife, Irma, were listed as residing at 643 (sic) Mississippi Street in the 1919 Lawrence city directory. Robert House had a store at 729 Massachusetts Street that sold men's clothing and accessories. Robert was the son of Jacob House, who was known as the oldest clothing merchant in the state of Kansas. Jacob House established the "St. Louis Clothing Store" in 1862. By the time Jacob House died in 1913, Robert had already bought into the "J. House & Son" clothing business. Robert House died in 1921 and his wife Irma inherited both the downtown store building (The Miller Block) and the residence on Mississippi Street. Corlett Cotton owned 645 Mississippi Street from 1943 to 1986. David and Pam Wagner owned the property from 1986 until 2001 when the current owners, John Frydman and Laurie Martin-Frydman, purchased the property.

2) Architectural Integrity Summary

The structure located at 645 Mississippi Street is a detached, single-family residence on a prominent corner lot in an established residential neighborhood. The two-story house is rectangular in form with a projecting rear bay to the northwest. It has a symmetrical two-bay front with a side entrance

to the north. The house sits on a rough-cut coursed stone block foundation. The house is likely wood frame construction. The first floor exterior is smooth stucco and the second floor has a contrasting gridded block stucco pattern. The low hipped roof is covered with composition shingle roofing.

There is a partial-length front porch to the southeast. It has a rough-cut coursed stone block foundation, a concrete floor, two square end posts, and a wooden railing. The porch posts are ornamented with a raised wooden grid, circular plaques, and a molded projecting eave cornice. The porch is accentuated by stepped end piers ornamented with a projecting molding. There are concrete steps flanked by a coursed stone pier leading to the front entrance. The entrance has a glazed wooden door surmounted by a heavy arched molding on brackets. There is a large front window in the front east façade, 8/1 double-hung windows, and 1/1 windows in the other openings. An octagonal bay with 6/6 double-hung windows projects from the south façade. There are two stuccoed chimneys on either side of the main roof ridge.

A rectangular one-car garage with a hipped roof oriented north-south is located on the alley southwest of the house. There is a garage entrance to the south with a paneled overhead door. It has a concrete foundation and stuccoed walls and composition shingle roofing. A side entrance in the southeast corner has a wood-paneled entrance door.

3) Context Description

While the form of 645 Mississippi Street is a good example of the housing that was constructed in Lawrence during the "Quiet University Town (1900-1945)" context as defined by the Historic Resources of Lawrence, Douglas County, Kansas Multiple Property Documentation Form (MPDF), the Prairie style architecture is not typical for Lawrence.

The area surrounding 645 Mississippi Street is residential. The property is surrounded on all sides by residential structures and single family zoning. The Old West Lawrence National Register of Historic Places District is ½ block to the east of the property. The 600 block of Mississippi Street contains structures that were built between 1883 and 1969. There is only one house that was built before 1900. The 600 block of Illinois Street to the west has structures that date from 1884 to 1975. One of these structures was built in 1884 and two were constructed in 1900. The area has cohesive streetscapes that create a distinct sense of neighborhood and a strong residential character. The setbacks for the structures in this area vary.

4) Planning and Zoning Considerations

645 Mississippi Street is zoned RS5, Single-Dwelling Residential District. The primary purpose of the RS5 district is to accommodate predominately single detached dwelling units on individual lots. The district is intended to create, maintain and promote housing opportunities for individual households, although they do permit nonresidential uses that are compatible with residential neighborhoods. Research indicates that the 600 block of Mississippi has historically and continues to be residential in use with the exception of a residential structure that has been converted to a funeral home with an associated parking lot on the northeast corner of the 600 block of Mississippi Street.

5) Fiscal Comments

There are no monetary benefits directly associated with nomination of a structure to the Lawrence Register of Historic Places.

However, listing on the local Register does help preserve built resources important to Lawrence's history and helps to maintain streetscapes in older neighborhoods through environs reviews.

The original information submitted with nominations for properties to the Lawrence Register is kept on file in the City Planning office for public review and consultation with regard to development projects within the notification area. It is the intent of the city to place the nomination material on the city's website in the near future.

6) Positive/Negative Effects of the Designation

The positive effect of designation is the creation of a permanent record of the historical significance of an individual property, for its architectural quality or its association with a significant local individual or event. This provides the local Historic Resources Commission, an advisory board, with pertinent historical data which can help to provide an 'historic' perspective to property owners when they desire to improve, add on, or redevelop a property within an older section of the City.

The public accessibility of this information is also a resource as it can be used by realtors, builders/developers, and others in the community prior to a property's resale, redevelopment or rehabilitation. In a more general sense, this information can be used by the Chamber of Commerce and existing businesses and industries to 'identify' one of the facets that makes up Lawrence's *Quality of Living*.

Additional effects of designation are the creation of an arbitrary, 250' environs notification and review area. Within this 250' circle, projects which require city permits, e.g., demolition, redevelopment, renovation or modification, require review by Historic Resources staff or the Commission. These environs reviews permit analysis of proposed development/redevelopment by individuals sensitive to historic preservation.

A *Certificate of Appropriateness* or a *Certificate of Economic Hardship* is required to be issued by the Historic Resources Commission before a City permit can be issued for the proposed project. If the Historic Resources Commission denies a *Certificate of Appropriateness* or a *Certificate of Economic Hardship*, the property owner can appeal to the City Commission for a new hearing. The City Commission can uphold the decision of the HRC or it can grant the proposed development.

Examples of projects which would require review and approval are: projects involving the exterior building which are considered 'structural' changes, demolitions or partial demolitions, rezonings, replats, site plans, variance requests or other items which require a city permit or are the direct result of an action of the City Commission. Minor changes which require a city permit can be administratively approved by the Historic Resources Administrator.

7) Summary of Applicable Designation Criteria

Chapter 22, of the City Code is the *Conservation of Historic Resources Code* for the City of Lawrence. Section 22-403 of this code establishes criteria for the evaluation of an application for nomination to the Local Register of Historic Places.

D. CRITERIA FOR EVALUATION AND DESIGNATION - Section 22-403

Nine criteria are provided within this section for review and determination of qualification as a Landmark or Historic District. These criteria are set forth below with staff's recommendations as to which this application qualifies for:

- (1) Its character, interest, or value as part of the development, heritage or cultural characteristics of the community, county, state, or nation;*
- (2) Its location as a site of a significant local, county, state, or national event;*
- (3) Its identification with a person or persons who significantly contributed to the development of the community, county, state, or nation;*
- (4) Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or use of indigenous materials;*
- (5) Its identification as a work of a master builder, designer, architect, or landscape architect whose individual work has influenced the development of the community, county, state or nation;*
- (6) Its embodiment of elements of design, detailing, materials, or craftsmanship that render it architecturally significant;*

The Robert E. House Residence is an excellent example of the Prairie style of architecture which is relatively uncommon in Lawrence.

- (7) Its embodiment of design elements that make it structurally or architecturally innovative;*
 - (8) Its unique location or singular physical characteristics that make it an established or familiar visual feature;*
 - (9) Its character as a particularly fine or unique example of a utilitarian structure; including, but not limited to farmhouses, gas stations, or other commercial structures, with a high level of integrity or architectural significance.*
-

The HISTORIC RESOURCES CODE establishes a procedure to follow in the forwarding of a recommendation to the City Commission on applications for listing on the local register.

"Following the hearing the commission shall adopt by resolution a recommendation to be submitted to the city commission for either (a) designation as a landmark or historic district; (b) not to designate as a landmark or historic district; or, (c) not to make a recommendation. The resolution shall be accompanied by a report to the city commission containing the following information:

The Historic Resources Commission needs to formulate its recommendation in response to the following subsections section 22-404.2 (b):

- (1) Explanation of the significance or lack of significance of the nominated landmark or historic district as it relates to the criteria for designation as set forth in section 22-403;*
- (2) Explanation of the integrity or lack of integrity of the nominated landmark or historic district;*
- (3) In the case of a nominated landmark found to meet the criteria for designation:
(A) The significant exterior architectural features of the nominated landmark that should be protected; and,
(B) The types of construction, alteration, demolition, and removal, other than those requiring a building or demolition permit, that cannot be undertaken without obtaining a certificate of appropriateness.*
- (4) In the case of a nominated historic district found to meet the criteria for designation:
(A) The types of significant exterior architectural features of the structures within the nominated historic district that should be protected;
(B) The types of construction, alteration, demolition, and removal, other than those requiring a building or demolition permit, that cannot be undertaken without obtaining a certificate of appropriateness.
(C) A list of all key contributing, contributing and noncontributing sites, structures and objects within the historic district.*
- (5) Proposed design guidelines for applying the criteria for review of certificates of appropriateness to the nominated landmark or historic district.*
- (6) The relationship of the nominated landmark or historic district to the on-going effort of the commission to identify and nominate all potential areas and structures that meet the criteria for designation.*
- (7) A map showing the location of the nominated landmark or the boundaries of the nominated historic district.*

E. RECOMMENDATION:

Staff recommends the Robert E. House Residence, located at 645 Mississippi Street, for designation as a Landmark on the Lawrence Register of Historic Places pursuant to Criterion #6 as described in Section 22-403.

If the Historic Resources Commission recommends this property for local nomination, the Commission should adopt a resolution for recommendation to be submitted to the City Commission for designation as a landmark. In addition to the resolution, the Commission should direct staff to prepare a report to accompany the resolution including the information set forth in Section 22-404.2(1)-(7) and the environs definition.

Staff recommends the following for the report to the City Commission:

- (1) *Explanation of the significance or lack of significance of the nominated landmark or historic district as it relates to the criteria for designation as set forth in section 22-403;*

The House Residence is significant for its Prairie style architecture which is relatively uncommon in Lawrence. The house embodies popular elements of design, detailing, materials and craftsmanship that render it architecturally significant.

- (2) *Explanation of the integrity or lack of integrity of the nominated landmark or historic district;*

The structure maintains sufficient integrity of location and design that make it worthy of preservation.

- (3) *In the case of a nominated landmark found to meet the criteria for designation:*

- (A) *The significant exterior architectural features of the nominated landmark that should be protected; and,*

Form, roof shape and form including large overhanging eaves with decorative rafter tails, stone foundation, fenestration, historic wood windows, primary porch on the east elevation including size, shape, decorative details and materials, exterior smooth and patterned stucco, wood front door with arched molding on brackets, bay projection including decorative details on the south elevation, and chimneys.

- (B) *The types of construction, alteration, demolition, and removal, other than those requiring a building or demolition permit that cannot be undertaken without obtaining a certificate of appropriateness.*

Alterations to the structure form, roof shape and form including large overhanging eaves with decorative rafter tails, stone foundation,

fenestration, historic wood windows, primary porch on the east elevation including size, shape, decorative details and materials, exterior smooth and patterned stucco, wood front door with arched molding on brackets, bay projection including decorative details on the south elevation, and chimneys should require a Certificate of Appropriateness.

- (5) *Proposed design guidelines for applying the criteria for review of certificates of appropriateness to the nominated landmark or historic district.*

U.S. Secretary of the Interior's Standards for Rehabilitation, published in 1990, and any future amendments, in addition to any criteria specified by Chapter 22 of the Code of the City of Lawrence, Kansas.

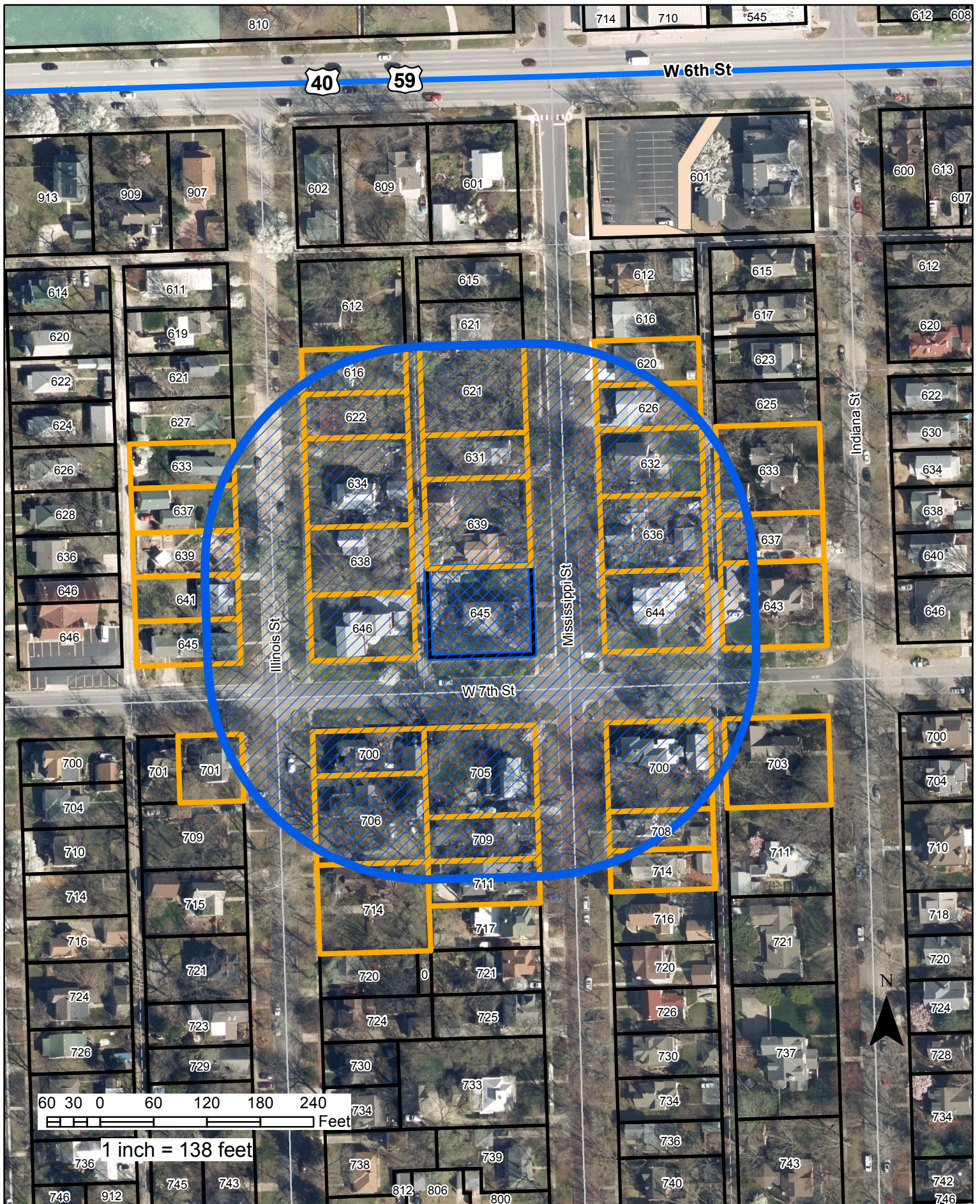
The HRC may also adopt ***An Analysis of the Environs for 645 Mississippi Street*** and delineate how environs review will be conducted in relation to the listed property.

- (6) *The relationship of the nominated landmark or historic district to the on-going effort of the commission to identify and nominate all potential areas and structures that meet the criteria for designation.*

A primary goal of the HRC is to build a Register of properties which show the diversity and growth of Lawrence since its inception. The nomination of this property is another step toward registering a wide variety of historic properties which together present a visual history of Lawrence's past. The goal of the Lawrence Register of Historic Places is to represent all socioeconomic strata; residences, businesses, and industries which illustrate the diversity that has been prevalent in Lawrence since its inception.

- (7) *A map showing the location of the nominated landmark. (Attached)*

645 Mississippi Street



Analysis of Environs of 645 Mississippi Street, Robert E. House Residence

Step One

Historical Significance and Context

According to the application for Historic Landmark Designation, the property was constructed c. 1918. The property is being nominated to the Lawrence Register of Historic Places under local criterion six. Local criterion six is *embodiment of elements of design, detailing, materials, or craftsmanship that render it architecturally significant*.

The importance of this structure's visual and physical characteristics influences the environs definition process. The structure's architectural significance is important in the environs definition process because it is an excellent example of a Prairie architectural style. The structure also maintains a high degree of integrity.

Step Two

Historical Character of the Area Surrounding the Property

Historical character is the primary issue considered in this section. Historic photographs, Sanborn Fire Insurance Maps, *the nomination information, 1873 Douglas County Atlas, Living with History: A Historic Preservation Plan for Lawrence, Kansas*, by Dale Nimz, and Historic Resources of Lawrence, Douglas County, Kansas Multiple Property Documentation Form (MPDF) were the primary sources used to identify the historic character of the area.

Natural Features The property is located in Lane's First Addition adjacent to the Original Townsite. The environs consist of platted lots on relatively flat ground. There were no significant natural features in the environs of the subject property except the natural ravine (now Watson Park) that separated this residential area from the commercial downtown.

Property Boundaries and Ownership Patterns The area surrounding 645 Mississippi Street was platted as part of the Original Townsite and in 1865 as Lane's First Addition. The traditional pattern of individual residential structures on single or multiple lots was established by the time of construction. Ownership patterns were consistent with the boundaries of the properties.

Land Use Patterns and Zoning Land use in the surrounding area when the structure was constructed was single family residential. When the property was zoned after the construction of the House residence, it was zoned for residential uses.

Circulation Patterns The streets in the area reflect the traditional grid pattern of the original town site. With the introduction of the automobile at the turn of the century, streets began to

be paved with brick. The brick-paved streets typically had stone curbs. Garages were located on the rear of the lot lines and accessed from the alley. Sidewalks were typically constructed of brick, with a few areas of stone slab paving.

Planned Vegetation Patterns The planned vegetation patterns were lawns around the houses. Street trees were common before the 1920s. Residential areas had flower beds, kitchen gardens, trees, shrubs, etc.

Signs and Pedestrian Amenities Typically the historic signs were street name signs. Pedestrian amenities were limited to the sidewalks in the area.

Primary Structures The primary structures in the environs of the property were predominantly single-family residences. The structures were typically 1, 1 ½, and 2 stories in height and constructed of wood or masonry materials. Various styles were represented in the area.

Secondary Structures Secondary structures were nearly always carriage houses or garages, smoke houses, sheds, and garden structures. There may have been a few kitchen buildings. They would have been constructed of brick, stone, or wood. They typically would have been 1 to 2 ½, stories in height. There were also retaining walls, and wood and iron fences that generally marked property line boundaries.

Outdoor Activity Spaces Clinton Park was one block to the north and Central Park (now Watson Park) was four blocks to the east.

Utilities and Mechanical Equipment Electrical and telephone lines were common by 1937. Water and sewer and natural gas lines were buried underground.

Views The views to the listed property were typical of urban lots. Properties were visible through the small breaks between residential structures.

Step Three

Present Character of the Area Surrounding the Property

The primary source of information on this section is personal observation, city zoning maps, and recent aerial photographs.

Natural Features There are no significant natural features in the environs of the subject property except the natural ravine (now Watson Park) that separated this residential area from the commercial downtown.

Property Boundaries and Ownership Patterns Property boundaries and ownership patterns along Mississippi Street reflect the original townsite and Lane's First Addition with lots under multiple ownerships – typically one owner per lot.

Land Use Patterns and Zoning Land use and zoning support individual dwellings on individual lots. The property is zoned RS5 - Single Dwelling Residential District. The environs area includes a few properties that are nonconforming, converted dwellings containing apartments. A vacant lot on the west side of Indiana Street is currently used as a community garden.

Circulation Patterns The circulation patterns are the originally platted grid system. Access to the properties is primarily from the state and numbered named streets and alleyways.

Planned Vegetation Patterns The planned vegetation patterns are lawns, trees, shrubs, and flower beds. The area includes large street trees lining the streets and foundation plantings. Landscaped areas, particularly in the rear yard, have been partially replaced with parking areas to accommodate the increased number of automobiles.

Signs and Pedestrian Amenities The signs within the area are almost entirely street names and traffic control signs. Some hitching posts and stone steps are still in place on a few of the streets.

Primary Structures The primary structures surrounding the subject property are typical of the residential structures in the historic neighborhoods in the core of the city. Brick, stone, and wood structures in a variety of styles exist in the area. There have been a few modern residential buildings introduced into the area.

Secondary Structures Some of the secondary structures associated with the residential uses remain. The number of secondary structures has been reduced to provide for additional parking areas. Most of the front yard fences have been removed. New rear yard privacy fences have been constructed.

Outdoor Activity Spaces Central Park now named Watson Park remains a city park for the area. A portion of Clinton Park remains, but part of the park is used for the site of Pinckney Elementary School. The amount of private green outdoor activity space has been reduced. There are numerous private patios, and several decks at the rear of the residences.

Utilities and Mechanical Equipment There are storm sewer inlets, traffic signs and some street lighting along the streets in the area. Water meter and manhole covers are typical throughout the area. Fire hydrants are located along the streets. Electrical and telephone lines are both above ground and below ground in the area. A newer intrusion of large utility boxes in the public right-of-way is now present.

Views The views to the listed property are typical of urban lots. Properties are visible through the small breaks between residential structures.

Step Four

Comparison of the Historic and Present Character of the Area Surrounding the Property.

Natural Features The natural features remain the same.

Property Boundaries and Ownership Patterns The platting of the property has not changed. The ownership patterns in the area have not changed.

Land Use Patterns and Zoning The land use and zoning patterns have not changed. There was a period of time when the area supported more multi-family uses, but the pattern has reverted back to primarily single family uses.

Circulation Patterns Street and sidewalk patterns have changed very little, but the paving materials have changed in some areas.

Planned Vegetation Patterns The planned vegetation patterns remain the same.

Signs and Pedestrian Amenities The signs within the area are almost entirely street names and traffic control signs.

Primary Structures Primary structures remain the same; many of the structures have been preserved and maintain significant historic detailing.

Secondary Structures Overall, the number of secondary structures has been reduced. Some secondary structures have been replaced with new structures. New rear yard decks and patio areas have been constructed. The introduction of rear yard privacy fences is common in the area.

Outdoor Activity Spaces There is less green outdoor activity area space than was present during the historic period. There is more private manmade outdoor activity space present in the side and rear yards of the residences. Central (Watson) Park and Clinton Park remain as public outdoor activity spaces.

Utilities and Mechanical Equipment The utilities and mechanical equipment in the area has increased over time with the primary intrusion of large utility boxes in the public right-of-way.

Views The views to and from the subject property have not changed significantly.

Conclusion

The Environs for 645 Mississippi Street, the Robert E. House Residence, should be reviewed in the following manner.

The area consists of residential structures. The residential character of the environs in this area is important. The area should maintain the overall residential character of the historic environs and the following should apply:

The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505. Important design elements include scale, massing, site placement, height, directional expression, percentage of building coverage to site, setback, roof shapes, rhythm of openings, and sense of entry. Main structure demolitions would be approved only if documentation was provided that indicated that the structure was unsound and/or a certificate of economic hardship was approved and compatible new construction is proposed. Maintaining views to the listed property and maintaining the rhythm and pattern within the environs are the primary focus of review.

All projects except for demolition of main structures, new infill construction, or large additions (25% or greater than the footprint of the existing structure) will be reviewed administratively by the Historic Resources Administrator. The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505. The main issues in the review are the continuation of the residential character of the area and whether the project will encroach upon, damage or destroy the environs of the listed property. If the project does not meet the Criteria set forth in 22-505, the project will be forwarded to the Historic Resources Commission for review.

Major projects (demolition of main structures, new infill construction, and large additions greater than 25% of the footprint of the existing structure) will be reviewed by the Historic Resources Commission. The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505. The main issues in the review are the continuation of the residential character of the area and if the project will encroach upon, damage or destroy the environs of the listed property.



LANDMARK APPLICATION

Pre-Application Meeting **Required**
Planner _____
Date _____

PLEASE BE ADVISED: THIS APPLICATION WILL NOT BE SCHEDULED FOR A PUBLIC HEARING UNTIL THE HISTORIC RESOURCES ADMINISTRATOR HAS DETERMINED THAT THE APPLICATION HAS BEEN COMPLETED. (City Code 22-105(Y))

PROPERTY INFORMATION

Name of Historic Property Robert E. House Residence
Address of Property 645 Mississippi Street
Legal Description of Property Lane's First Addition, Block 3, Lots 1 & 2, also Mississippi Street, Lot 165

OWNER INFORMATION

Name(s) John Frydman & Laurie Martin-Frydman
Contact John Frydman & Laurie Martin-Frydman
Address 645 Mississippi Street
City Lawrence State Kansas ZIP 66044
Phone (____) _____ E-mail john.frydman@gmail.com

Is this an owner initiated nomination? ☒ Yes ☐ No

If not, has the owner been notified of this nomination? ☐ Yes ☐ No

APPLICANT/AGENT INFORMATION

Contact Dennis Brown, Lawrence Preservation Alliance
Company _____
Address P. O. Box 1073
City Lawrence State KS ZIP 66044
Phone (785) 841-2460 E-mail djbrown806@gmail.com



DESCRIPTION OF PROPERTY

Number of structures, objects, or landscape features located on the property 2

Historic Use(s) Residence

Present Use(s) Residence

Date of Original Construction 1918

Architect and/or Builder (if known) Attributed to architect Henry McAliss, builder unknown

Date(s) of Known Alterations _____

Describe any known alterations including additions to the property. (Add additional sheets if needed)

REGISTER STATUS

- ☐ Property is listed in the National Register of Historic Places
- ☐ Property is listed in the Register of Historic Kansas Places

HISTORIC SIGNIFICANCE OF THE PROPERTY

Why do you think this property is significant? Please check all that apply.

- ☐ Location of a significant event
Event _____
- ☐ Association with a significant person
Person _____
- ☒ Architectural significance (Please attach an architectural description of the property)
- ☐ Other _____



HISTORY OF THE PROPERTY (Add additional sheets if needed)

See attached appendix.

DESCRIBE THE DEVELOPMENT OF THE AREA SURROUNDING THE PROPERTY AT THE TIME OF CONSTRUCTION.

What year was the property platted? September 12, 1870

What is the name of the subdivision? Lane's First Addition

What was the zoning? Not zoned

What were the land uses? Residential

What size and types of buildings existed in the area? Residential neighborhood

Did the area have paved streets, sidewalks, gas service or electrical service? Please describe.

At the time of construction, this area did not have paved streets, sidewalks, gas or electrical service. These were introduced in Lawrence during the early twentieth century.

ATTACH COPIES OF ANY HISTORIC PHOTOGRAPHS OR DOCUMENTATION INCLUDING CITATIONS FOR THIS PROPERTY.

SIGNATURE

I/We, the undersigned am/are the **(owner(s))**, **(duly authorized agent)**, **(Circle One)** of the
aforementioned property. By execution of my/our signature, I/we do hereby officially apply for
landmark designation as indicated above.

Signature(s): _____ Date _____

_____ Date _____

_____ Date _____

OWNER AUTHORIZATION

I/WE _____, hereby referred to as the "Undersigned", being of lawful age, do hereby on this _____ day of _____, 20 __, make the following statements to wit:

1. I/We the Undersigned, on the date first above written, am/are the lawful owner(s) in fee simple absolute of the following described real property:

See "Exhibit A, Legal Description" attached hereto and incorporated herein by reference.

2. I/We the undersigned, have previously authorized and hereby authorize _____ (Herein referred to as "Applicant"), to act on my/our behalf for the purpose of making application with the Planning Office of _____ Lawrence/Douglas County, _____ Kansas, regarding _____ (common address), the subject property, or portion thereof. Such authorization includes, but is not limited to, all acts or things whatsoever necessarily required of Applicant in the application process.

3. It is understood that in the event the Undersigned is a corporation or partnership then the individual whose signature appears below for and on behalf of the corporation or partnership has in fact the authority to so bind the corporation or partnership to the terms and statements contained within this instrument.

IN WITNESS THEREOF, I, the Undersigned, have set my hand and seal below.

Owner

Owner

STATE OF KANSAS
COUNTY OF DOUGLAS

The foregoing instrument was acknowledged before me on this _____ day of _____, 20 __,

by _____.

My Commission Expires:

Notary Public



**City of Lawrence
Douglas County**
PLANNING & DEVELOPMENT SERVICES

6 East 6th St.
P.O. Box 708
Lawrence, KS 66044

www.lawrenceks.org/pds

Phone 785-832-3150
Tdd 785-832-3205
Fax 785-832-3160

**REQUIRED INFORMATION TO BE SUBMITTED WITH AN APPLICATION FOR NOMINATION
TO THE LAWRENCE REGISTER OF HISTORIC PLACES**

- ☐ Completed Application Form (If the property is nominated for architectural significance, include an architectural description of the structure.)
- ☐ Certified property owner list from the Douglas County Clerk's office for properties within 250' of the nominated property.
- ☐ At least one photograph of each elevation of the structure(s) and streetscape views.
- ☐ Legal description of nominated property.
- ☐ If the property is listed on the State and/or National Registers of Historic Places, copies of the resource materials submitted with the application.
- ☐ Any additional documentation you believe is relevant to this nomination which you would like considered in the review process.
- ☐ The fee for application processing is \$10.00 for landmark nominations and \$50.00 for district nominations.

Research Resources

- Lawrence Public Library (707 Vermont Street, Lawrence)
<http://www.lawrence.lib.ks.us/research-resources/genealogy-and-local-history/>
- Watkins Museum of History (1047 Massachusetts Street, Lawrence)
<http://www.watkinsmuseum.org/index.php>
- Kenneth Spencer Research Library at the University of Kansas (1450 Poplar Lane, Lawrence)
<https://spencer.lib.ku.edu/>
- Kansas State Historical Society (6425 SW 6th Ave., Topeka, Kansas)
<http://www.kshs.org/>
- City of Lawrence Interactive map
<http://gis.lawrenceks.org/flexviewers/lawrence/>

PLEASE BE ADVISED: This application will not be scheduled for a Public hearing until the Historic Resources Administrator has determined that the application has been completed. (City Code 22-105(Y))



We are committed to providing excellent city services that enhance the quality of life for the Lawrence Community

Appendix – Robert E. House Residence, Local Landmark

Architectural significance of the property

The Robert E. House residence is a well-preserved example of the Prairie style which is relatively uncommon in Lawrence. The Prairie style originated in Chicago and, according to the Field Guide to American Houses, “vernacular examples were spread widely by pattern books and popular magazines.”¹ While the style was popular from about 1900 to 1920, most examples were built between 1905 and 1915. After World War I, the public lost interest in the style and attention shifted to Period Revival and Modernistic styles.

Typical of the style, this two-story house has a low-pitched hipped roof with widely overhanging eaves. The one-story porch has square porch columns ornamented with Oriental motifs. The House residence is an example of a Prairie style sub-type sometimes called the American Foursquare. This form has a simple square or rectangular plan and a symmetrical façade.² Overall, the residence has excellent architectural integrity and fully meets the criteria for listing in the Lawrence Register of Historic Places.

Description

This is a detached, single-family residence on a prominent corner lot in an established residential neighborhood. The two-story house is rectangular in form with a projecting rear bay to the northwest. It has a symmetrical two-bay front with a side entrance to the north. The house sits on a rough-cut coursed stone block foundation. Probably, the house is wood frame construction. The first floor exterior is smooth stucco and the second floor has a contrasting gridded block stucco pattern. The low hipped roof is covered with composition shingle roofing.

There is a partial-length front porch to the southeast. It has a rough-cut coursed stone block foundation, a concrete floor, two square end posts, and a wooden railing. The porch posts are ornamented with a raised wooden grid, circular plaques, and a molded projecting eave cornice. The porch is accentuated by stepped end piers ornamented with a projecting molding. There are concrete steps flanked by a coursed stone pier leading to the front entrance. The entrance has a glazed wooden door surmounted by a heavy arched molding on brackets. There is a large front window in the front east façade, 8/1 double-hung windows, and 1/1 windows in the other openings. An octagonal bay with 6/6 double-hung windows projects from the south façade. There are two stuccoed chimneys on either side of the main roof ridge.

A rectangular one-car garage with a hipped roof oriented north-south is located on the alley southwest of the house. There is an garage entrance to the south with a paneled overhead door. It has a concrete foundation and stuccoed walls and composition shingle roofing. A side entrance in the southeast corner has a wood-paneled entrance door.

Historic significance of the property

The Robert E. House Residence is eligible for listing as a local landmark under Criteria 1 because of its character and value as part of the development and heritage of Lawrence and Douglas County, Kansas. Also, the house is eligible for listing under Criteria 6 for its embodiment of popular elements of design, detailing, materials, and craftsmanship that render it architecturally significant.

Chronology

Reportedly, architect Henry McAliss designed this house for local merchant Robert E. House in 1918.³ Robert and his wife, Irma, was listed as residing at 643 (sic) Mississippi Street in the 1919 Lawrence city directory. His business was clothing--men's furnishings and hats—with a store at 729 Massachusetts Street. Robert was the son of Jacob House, who was known as the oldest clothing merchant in the state of Kansas. Jacob House established the “St. Louis

¹ Virginia S. McAlester, A Field Guide to American Houses revised ed. (New York, NY: Alfred A. Knopf, 2015), 551-552.

² McAlester, Field Guide, 551.

³ “Tour Features Historic Homes,” Lawrence Journal-World 1 December 1991, 2C, in vertical file, 645 Mississippi, Watkins Community Museum, Lawrence, Kansas.

Clothing Store" in 1862.⁴ By the time Jacob House died in 1913, Robert had already bought into the "J. House & Son" clothing business.⁵ Robert House died in 1921 and his wife Irma inherited both the downtown store building (The Miller Block) and the residence on Mississippi Street. Irma House then remodeled the commercial building façade and interior.⁶ Corlett Cotton owned the property from 1943 to 1986. David and Pam Wagner owned the property after 1986. The current owners are John Frydman and Laurie Martin-Frydman.

History of the area

The historic context for this property is outlined in the National Register multiple property listing "Historic Resources of Lawrence, Douglas County, Kansas," (1998). By the turn of the century, Lawrence had matured as a community; its commercial and industrial interests had stabilized. In 1910 a promotional issue of the Lawrence Daily Journal boasted that the town was "the trading metropolis for a rich and populous agricultural county."⁷ This described the market area for the J. House & Son clothing store. During this period, the town's population grew at a slow gradual rate. There were 12,374 Lawrence residents in 1910, only 12,456 in 1920, and 13,726 in 1930.⁸

Early in the twentieth century, city leaders made some long overdue improvements in the urban infrastructure. Local publisher E.F. Caldwell boasted in 1898 that, "a complete system of water works has been put in, uniform street grades have been established, a number of streets have been macadamized, a great mileage of curbing and guttering, and stone and brick sidewalks laid."⁹ A major improvement in 1909 was the organization of the Lawrence Light and Railway Company to build an electric trolley system for Lawrence. Besides the main route from the Union Pacific depot in North Lawrence to the southern end of Massachusetts Street, there were branches on Indiana and Mississippi Streets to the University of Kansas. The streetcar system reached its maximum extent during the years from 1922 to 1927.¹⁰

Development of the area surrounding the proposed landmark

When the Robert House residence was constructed, this area of West Lawrence was a well established residential district with contemporary infrastructure.

References

Caldwell, E.F. comp. A Souvenir History of Lawrence, Kansas, 1898 (Lawrence, KS: E.F. Caldwell, 1898).
Lawrence Today and Yesterday Supplement to Lawrence Daily Journal-World 23 December 1913.
 McAlester, Virginia S. A Field Guide to American Houses revised edition (New York, NY: Alfred A. Knopf, 2015).
 Wolfenbarger, Deon and Dale Nimz, "Historic Resources of Lawrence, Douglas County, Kansas," National Register Multiple Property Document (1998).

"A Long Time With Us," Lawrence Journal-World 26 August 1913.

"Jacob House, A Pioneer Is Dead," Lawrence Journal-World 25 August 1913, 4.

"Tour Features Historic Homes," Lawrence Journal-World 1 December 1991, 2C, Vertical file, 645 Mississippi, Watkins Community Museum, Lawrence, Kansas.

"Was A Pioneer," Lawrence Journal-World 25 August 1913.

Other related items – Watkins Community Museum, Collections

1982.244.000 – interior photo of J. House & Son's store at 729 Mass.

1991.126.12d –note issued to Robert House by Grant township C.P.A.

⁴ "Was A Pioneer," Lawrence Journal-World 25 August 1913; "A Long Time With Us," Lawrence Journal-World 26 August 1913.

⁵ "Jacob House, A Pioneer Is Dead," Lawrence Journal-World 25 August 1913, 4.

⁶ Articles about Jacob House and the Miller Block cited in "The House Building," 729-731 Massachusetts, Register of Historic Kansas Places nomination, 9 December 2000.

⁷ "Historic Resources of Lawrence, Douglas County, Kansas," National Register Multiple Property Document, E-20.

⁸ "Historic Resources of Lawrence, Douglas County, Kansas," National Register Multiple Property Document, E-21

⁹ E.F. Caldwell, Souvenir History (1898, n.p).

¹⁰ "Historic Resources of Lawrence, Douglas County, Kansas," National Register Multiple Property Document, E-21; Carl Thor, "Chronology of Public Transit in Lawrence, Kansas, (May 1980), 1.

1983.036.100 – photo of Jacob House

12.F31 9C – financial loss by Jacob House from Quantrill's Raid

1976.189, 1976.191, 1976.193, and 1976.304 – business cards

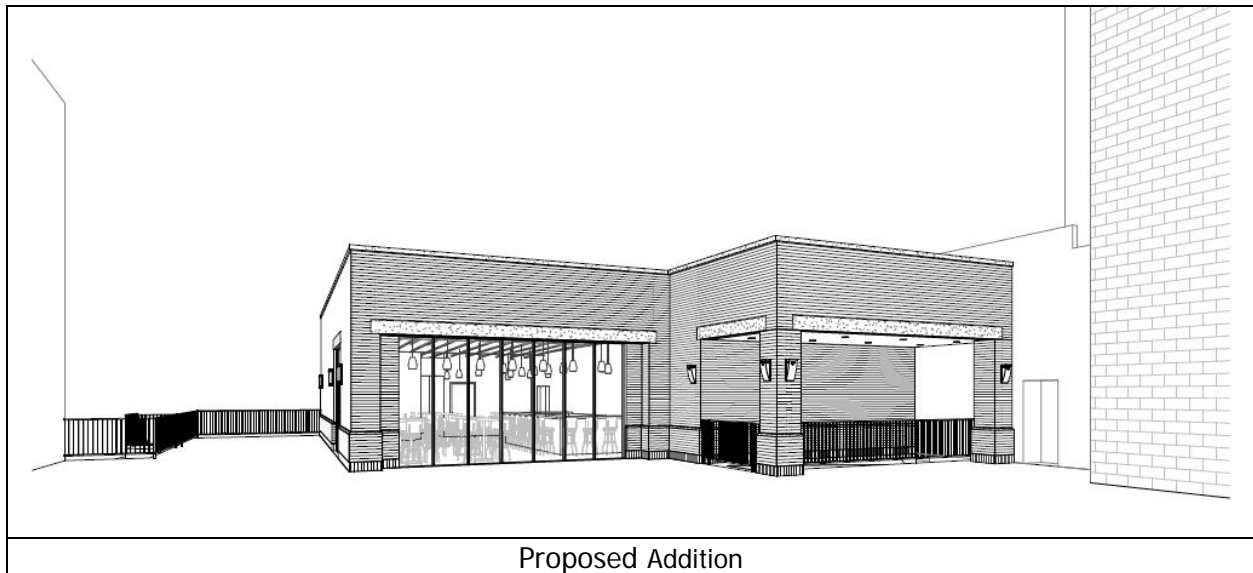
LAWRENCE HISTORIC RESOURCES COMMISSION
ITEM NO. 8: DR-16-00528
STAFF REPORT

A. SUMMARY

DR-16-00528 707 Massachusetts Street; New Commercial Addition; State Law Review, Downtown Design Guidelines Review, and Certificate of Appropriateness. The vacant lot is located adjacent to 701 Massachusetts Street and is located in Lawrence's Downtown Historic District, and the Downtown Urban Conservation Overlay District. The property is also located in the environs of Millers Hall (725 Massachusetts) and the House Building (729 Massachusetts). Submitted by Paul Werner Architects on behalf of Eldridge Hotel LLC, property owner of record.

B. PROJECT DESCRIPTION

The applicant is requesting to construct an addition to the existing Eldridge Hotel located at 701 Massachusetts Street. The addition will house additional kitchen and indoor/outdoor dining space for the Eldridge Hotel.



The proposed total square footage of the addition is 2,991 sf. The eastern (Massachusetts Street) elevation is divided into two sections north and south. The north portion of the east elevation is a brick surrounded opening to cover the existing stairs to the basement of the existing building. A cast stone accent band is provided as a header for the opening and the parapet cap is also cast stone. A brick accent of a water table is also located on this portion of the elevation. The southern portion of the east elevation continues the patterns of the cast stone header and parapet cap as well as the brick water table. On this portion of the elevation the cast stone header is placed over a seven panel butted glazing component. Brick accents the recess of this glazing component.

The south elevation is also divided into two sections reflecting the recessed portion of the structure. The only fenestration on the eastern portion of this elevation is the opening for the stairs to the basement. The opening continues the patterns of the cast stone header and the brick water table. The only fenestration on the western portion of the elevation is an aluminum storefront with the same cast stone header as the east elevation. To the south of the structure on this elevation is a patio area that will be enclosed with an aluminum fence. The fence is adjacent to a stairway that accesses the ground level of the alley. The area between the railing and the ground will be a simple rubbed concrete.

The rubbed concrete continues around to the west elevation where there are no other architectural details or fenestration. This elevation will be sheathed with stucco.

A brick fence on the Massachusetts property line is also proposed as part of the project. The fence will extend the entire length of the vacant lot. The portions adjacent to the Eldridge Hotel and the 715 Building will be 4' pre-finished aluminum. Adjacent to these areas are sections of 4' tall brick fence that has a brick soldier course at the base, a brick water table, and brick columns that are capped with cast stone to match the new addition. Two additional pre-finished aluminum fence sections interrupt the brick portions of the fence to provide access to the courtyard area.

C. STANDARDS FOR REVIEW

State Preservation Law Review

For State Preservation Law Review of projects involving listed properties, the Historic Resources Commission has typically used the Secretary of the Interior's Standards to evaluate the proposed project. Therefore, the following standards apply to the proposed project:

- 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*
- 2. The historic character of a property shall be retained and preserved. The removal of historic material or alteration of features and spaces that characterize a property shall be avoided.*
- 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial*

evidence.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historical property and its environment would be unimpaired.

For Certificate of Appropriateness Review, Section 22-505 of the Code of the City of Lawrence indicates that the least stringent standard of evaluation be applied to properties within the environs of listed properties:

4. The least stringent evaluation is applied to noncontributory properties and the environs area of a landmark or historic district. There shall be a presumption that a certificate of appropriateness shall be approved in this category unless the proposed construction or demolition would significantly encroach on, damage, or destroy the landmark or historic district. If the Commission denies a certificate of appropriateness in this category, and the owner(s) appeals to the City Commission, the burden to affirm the denial shall be upon the commission, the City or other interested persons.

For projects requiring a Certificate of Appropriateness, the Historic Resources Commission must use the general standards and design criteria listed in Section 22-505 of the Code of the City of Lawrence. Therefore, the following standards apply to the proposed project:

1. Every reasonable effort shall be made to provide a compatible use for a property that requires minimal alteration of the building, structure, site or object and its environment, or to use a property for its originally intended purpose;

2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural feature should be avoided when possible;

3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance shall be discouraged;

4. Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected;

5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure or site shall be treated with sensitivity;

6. Deteriorated architectural features shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new materials should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplication of features, substantiated by historic, physical, or pictorial evidence, rather than on conceptual designs or the availability of different architectural elements from other buildings or structures;

7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building material shall not be undertaken;

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, and project;

9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alteration and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environs.

Millers Hall (725 Massachusetts) and the House Building (729 Massachusetts) do not have environs definitions.

Downtown Design Guidelines

The City Commission and the Historic Resources Commission have adopted a set of *Downtown Design Guidelines* (2009) to review projects within the Downtown Urban Conservation Overlay District. Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets the intent of the development and design standards for the Downtown Urban Conservation Overlay District. Staff used the following applicable guidelines to make this determination.

- 1.4. Given the architectural variety and multiple building uses in the Downtown area, review of proposed alterations and new construction is conducted on a case-by-case basis.
- 1.8. Individual guidelines are often stated in absolute terms such as "Buildings ... shall be constructed to zero front and side lot lines." Just as compatible design consists of individual building elements in a larger building envelope, these design guidelines are viewed as a collective document and not as independent statements.
- 1.9. It is understood that a project might not meet every guideline in order to conform to the document's intent.
- 1.11. Designs and changes approved or rejected elsewhere in the Conservation Overlay District do

not necessarily act as a precedent for other designs or changes under consideration. All proposals will be considered individually based on their own merit and unique situation within the zoning district.

- 1.12. City Staff and the Historic Resources Commission have the authority and discretion to examine the whole situation, or extenuating circumstances, and approve projects that do not meet the letter of these guidelines. Where exceptions are granted, staff will clearly document the reasons.

- 4.1. **Promote pedestrian-oriented urban forms.**

Because downtown Lawrence is urban, not suburban, the City will favorably review proposals that focus on promoting pedestrian-scale, urban forms of development consistent with the area's historic urban character. Creating a walkable, mixed-use, high-density, central city district supports sustainable development by providing an alternative to lower-density development in peripheral areas. Developers are expected to make compromises that will maintain the Downtown character and urban quality desired.

- 4.4. **Encourage creativity, architectural diversity, and exceptional design.**

Downtown Lawrence's design review process is intended to be flexible, encouraging creativity and high-quality design while discouraging uniformity. Because the most successful and memorable urban environments are those in which walking down the street is appealing, streetscapes, alleyways, parks, and other public spaces should be comfortable and inviting. Buildings fronting those spaces should be active and visually interesting at the pedestrian level. Within the limits of these guidelines, the City encourages diversity in the range of square footages and building frontages.

8. Additions

The introduction of additions compatible with historic buildings in Downtown Lawrence is acceptable as long as the addition does not visually overpower the original building, compromise its historic character, or destroy significant features and materials.

By placing additions on inconspicuous elevations and limiting their size and height, the integrity of existing buildings can be maintained. The compatibility of proposed additions with historic buildings in downtown Lawrence will be reviewed in terms of mass, scale, materials, texture, color, roof form, and the proportion and spacing of windows and doors.

- 8.1. The size and the scale of additions shall not visually overpower historic buildings.
- 8.2. Additions should be situated and constructed so that the original building's form remains recognizable by differentiation.
- 8.3. In the case of historic buildings, additions should be designed so that they may be removed in the future without significant damage or loss of historic materials.
- 8.4. An addition's impact on a site in terms of loss of important landscape features shall be

considered.

- 8.5. Additions should be located as inconspicuously as possible, to the rear or on the least character-defining elevation of historic buildings.
- 8.6. Additions shall be constructed so that there is the least possible loss of historic fabric.
- 8.7. Character-defining features of historic buildings should not be obscured, damaged, or destroyed.
- 8.8. The size and the scale of additions shall not visually overpower historic buildings.
- 8.9. Additions should be designed so that they are compatible with the existing building in mass, materials, color, proportion, and spacing of windows and doors. Design motifs should be taken from the existing building, or compatible, contemporary designs introduced.
- 8.10. It is not appropriate to construct an addition that is taller than the original building.
- 8.11. Additions that echo the style of the original structure, and additions that introduce compatible contemporary elements, are both acceptable.
- 19.1. New exterior lighting should be compatible with the historic nature of the structure, the property, and the district. Compatibility of exterior lighting and lighting fixtures is assessed in terms of design, material, use, size, scale, color, and brightness.
- 19.2. Lighting fixtures should be installed to be as unobtrusive as possible; they should be installed such that they will not damage or conceal any historic architectural features.
- 19.3. Lighting levels should provide adequate safety, but not detract from or overly emphasize the structure or property.

D. STAFF ANALYSIS

Lawrence's Downtown Commercial Historic District was listed in the National Register of Historic Places in 2004 for its significance in Commerce, Architecture, and Community Planning and Development. The identified period of significance for the district is 1856-1953, according to the nomination. This area has served as the center of Lawrence's historic downtown central business core since the platting of the city in 1854. It is generally located along Massachusetts Street between 6th and South Park. There are wide concrete sidewalks with curbs, light standards, and stop lights at intersections. Most buildings in this district have identical setbacks, usually constructed to the edge of the property line along sidewalks. The primary building materials of the district are brick and stone. The vast majority of buildings in the district are commercial.

The property located at 705 Massachusetts Street is located within Lawrence's Downtown Commercial Historic District, listed in the National Register of Historic Places. When Lawrence's Downtown Commercial Historic District was listed, this was a vacant lot. Vacant lots do not count

as contributing or non-contributing when listing districts. As the adjoining Eldridge is contributing property to the district, interior alterations to the Eldridge are also reviewed for this project.

The applicant is proposing to construct an addition to the existing Eldridge Hotel located at 705 Massachusetts Street. The addition will house additional kitchen and dining space for the Eldridge Hotel. The proposed total square footage of the addition is 2,991 sf. The primary exterior sheathing for the addition is brick with cast stone accents. A brick fence on the Massachusetts property line is also proposed as part of the project. Because the proposed project is an addition to the listed property and not infill construction for the vacant lot, staff has reviewed the project using the applicable guidelines for additions to historic structures.

Proposed new construction at this location is subject to review for its impact on historic resources under the State Preservation Law, Chapter 22 of the Code of the City of Lawrence, and the Downtown Urban Conservation Overlay District Design Guidelines. While all three of these reviews share similar design criteria, they each have specific goals for the protection of historic properties based on the level of significance of listing in the National, Kansas, Lawrence registers and the Downtown Urban Conservation Overlay District. This staff review will address each type of required review.

State Preservation Law Review

Standards 9 and 10 are the primary standards to apply to this project.

According to the standards and their associated guidelines, new additions to historic buildings should not compete with the historic structure. Additions should be located to the rear of a historic structure or placed in an area that is secondary in nature to primary or secondary facades. New additions should be smaller than the historic structure and should use compatible materials as well as be compatible with the massing, size, scale of the historic structures. While new additions should be compatible with the historic structure, they should be differentiated from the historic structure and should minimize the loss of historic materials so the addition could be removed in the future without a loss of form and integrity for the listed property.

The proposed addition is placed at the rear of the Eldridge Hotel on the south. The columns for the stairway cover are approximately 44' from the east property line and the addition is approximately 54' from the east property line. There is no possibility to place the addition at the rear of the historic structure as it encompasses the entire lot to the alley. The location of the addition is appropriately located because it does not compete with the primary façade (east elevation) or the secondary façade (north elevation).

While the small one story addition is visually diminutive compared to the five story Eldridge Hotel, the recess of the structure from the Massachusetts Street right-of-way helps to diminish this as does the similar height of the addition to the first floor of the Eldridge Hotel. The size and mass of the addition have been minimized for a specific intended use and do not harm the integrity of the Eldridge Hotel. In addition, the use of the compatible materials, primarily brick, create a small addition that is not incongruent with the area. The scale of the addition is also in keeping with the scale of the primary elevation of the first floor of the Eldridge Hotel.

The addition, while compatible in size, scale, massing and materials, is also differentiated from the historic structure by modern use of materials and the fenestration of the east elevation of the addition with the seven panel butted glazing component. Additional fenestration on the south elevation west of the aluminum storefront door would typically be a comment by staff, but this area will not be visible from the Massachusetts Street right-of-way due to the adjacent building at 715 Massachusetts Street.

The interior alterations to the Eldridge Hotel as well as the connection of the historic building were also reviewed by staff. The interior alterations shown on the design review plans and the submitted building permit plans show minimal alterations to the historic structure interior. The only significant alterations for the staff review were the connections from the historic structure to the new addition. It is staff's opinion that the proposed connections provide for the least amount of loss of historic materials as possible for an addition of this type. The loss of historic material is significantly less than if a hyphen were to be used to the addition.

A brick fence along the east property line is also proposed as part of this project. While a simple metal material for the fence would be more appropriate for this location in the district, the applicant proposes the brick fence to provide some privacy to the courtyard area. Staff has worked with the applicant to develop a brick that will meet the applicant's

Overall, staff is of the opinion that the design of the addition is compatible with the listed properties.

While staff does not typically review color, it is important in this project because the use of masonry makes the color permanent rather than temporary like painted surfaces. The applicant should work with staff on the final color selection for the project as an administrative review.

In reference to Lawrence's Downtown Historic District and the Eldridge Hotel, the listed properties, staff is of the opinion that the proposed project meets the intent of the Secretary of the Interior's Standards both for new additions and rehabilitation of the listed property.

Chapter 22 of the Code of the City of Lawrence - Conservation of Historic Resources

The intent of Chapter 22 is not to limit or retard growth. The intent is for growth and redevelopment to occur in a planned fashion that will not negatively impact the important historic resources that have been identified by the community worthy of protection. Environs review for locally listed properties is the planning tool used by the City of Lawrence to ensure development or redevelopment is sensitive to the character of these listed places. The proposed addition for the Eldridge Hotel is located in the environs of the House Building (729-731 Massachusetts) and Miller's Hall (723-725 Massachusetts) listed in the Lawrence Register of Historic Places by the City Commission in 1996 and 1991, respectively. Due to the location of the project in downtown, there is no line of sight to or from the listed properties to the proposed project.



Typically if a project meets the standards for a State Law Review it will meet the standards for a Certificate of Appropriateness. This project is not an exception. Chapter 22 also speaks to the design of additions to be sensitive to and take into account the special characteristics of the Lawrence register listed properties. Like the Secretary of the Interior's Standards, this includes building scale, height, site coverage, materials, architectural details, roof forms, facade and window patterns. The design criteria in Chapter 22 also includes the compatibility of orientation, directional patterns the overall design in relation to the listed property.

Staff is of the opinion that overall the proposed addition is compatible with the environs of the House Building and Miller's Hall.

Staff does not typically review color; however, it is important in this project because the use of masonry makes the color permanent rather than temporary like painted surfaces. The applicant should work with staff on the final color selection for the project as an administrative review.

As proposed the addition for the Eldridge Hotel meets the intent of the Secretary of the Interior's Standards and Chapter 22 of the Code of the City of Lawrence.

Downtown Design Guidelines

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines, specifically the guidelines identified in Section C of this report, and determined that the project, as proposed, meets these development and design standards for the Downtown Urban Conservation Overlay District.

E. STAFF RECOMMENDATION

In accordance with the Secretary of the Interior's Standards, the standards of evaluation, staff recommends the Commission approve the proposed project and make the determination that the proposed project does not encroach upon, damage, or destroy the environs of one or more listed historic properties.

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation, staff recommends the Commission approve the proposed project and make the determination that the proposed project does not encroach upon, damage, or destroy the environs of one or more listed historic properties.

Staff also recommends that the Commission direct the Historic Resources Administrator to review any proposed changes to the project and evaluate if the changes are significant or do not substantially comply with the approved project and the applicable standards. If the changes are minor in nature and meet the applicable standards, staff recommends the Commission direct staff to review the changes at an administrative level including the final brick selection.



City of Lawrence
Douglas County
PLANNING & DEVELOPMENT SERVICES

Pre-Application Meeting Required
Planner _____
Date _____
Date Received _____

6 East 6th St.
P.O. Box 708
Lawrence, KS 66044

www.lawrenceks.org/pds

Phone 785-832-3150
Tdd 785-832-3205
Fax 785-832-3160

DESIGN REVIEW APPLICATION

PROPERTY INFORMATION

Address of Property 705 Massachusetts
Legal Description (*may be attached*) SP 6-12-00 from U01144A COV28740 87 75SF Massachusetts
Street Lt 25 & N1/ 2 LT 27 75X117

OWNER INFORMATION

Name(s) Eldridge Hotel LLC
Contact Nancy Longhurst
Address PO Box 667
City Lawrence State Kansas ZIP 66044
Phone (785) 749-5011 Fax ()
E-mail nancy@oliviacollection.com Cell Phone ()

APPLICANT/AGENT INFORMATION

Contact Victor Moreno, III
Company Paul Werner Architects
Address 123 W 8th Street, Suite B2
City Lawrence State Kansas ZIP 66044
Phone (785) 832-0804 Fax (785) 832-0890
E-mail victorm@paulwernerarchitects.com Cell Phone ()

Existing Zoning <u>CD</u>	Existing Land Use <u>Vacant Lot</u>	Proposed Land Use <u>Quality Restaurant</u>	# of Buildings <u>One</u>
Total site area <u>8,775 sq.ft.</u>	Existing Building Footprint <u>0</u>	Proposed Building Footprint <u>2,728 sq.ft</u>	Open Space Area <u>1,898 sq.ft.</u>
Existing Pavement Coverage <u>0</u>	Proposed Pavement Coverage <u>4,099 sq.ft</u>		
Are you also submitting any of the following applications?			
• Building Permit <u>X</u>	• Site Plan <u>X</u>	• Special Use Permit	• Zoning Change
• Variance	• State or Federal Tax Credit Application	Other (specify) _____	

Property**Address:** 705 Massachusetts

**Detailed Description of Proposed Project:
(Attach additional sheets if necessary)**

A renovation consisting of minor interior finish improvements, and a 2,728 square foot kitchen/indoor dining addition. The new construction will be wood-framed, with masonry exterior finishes.

**Reason for Request:
(Attach additional sheets if necessary)**

See above.

Architect/Engineer/Contractor Information: Please provide name and phone number of any persons associated with the project.

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Company Paul Werner Architects
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E-mail victorm@paulwernerarchitects.com Cell ()

REQUIRED ATTACHMENTS:

- ☐ Photographs of existing structure and site
- ☐ Scaled or dimensioned site plan with a graphic/bar scale
- ☐ Scaled elevation drawings with a graphic/bar scale
- ☐ Scaled or dimensioned floor plans with a graphic/bar scale
- ☐ Materials list
- ☐ Digital copy of application materials

ADDITIONAL INFORMATION MAY BE REQUIRED BASED ON THE SCOPE OF THE PROJECT

SIGNATURE

I/We, the undersigned am/are the **(owner(s))**, **(duly authorized agent)**, **(Circle One)** of the aforementioned property. By execution of my/our signature, I/we do hereby officially apply for design review approval as indicated above.

Signature(s): Victor R Moreno III Date DEC 12 2016

_____ Date _____

_____ Date _____

Note: If signing by agent submit Owner Authorization Form



**Lawrence Douglas County
Metropolitan Planning Office**
6 East 6th Street, P.O. Box 708, Lawrence, KS 66044
(785) 832-3150 Fax (785) 832-3160
<http://www.lawrenceplanning.org>

OWNER AUTHORIZATION

I, **Nancy Longhurst on behalf of Eldridge Hotel LLC**, hereby referred to as the "Undersigned", being of lawful age, do hereby on this 12 day of December 2016, make the following statements to wit:

1. I the Undersigned, on the date first above written, am the lawful owner in fee simple absolute of the following described real property:

SP 6-12-00 FROM U01144A COV28740 87 75SF MASSACHUSETTS STREET LT 25 & N 1/2 LT 27 75X117, LAWRENCE, DOUGLAS COUNTY, KANSAS

2. I the undersigned, have previously authorized and hereby authorize **Paul Werner Architects** (Herein referred to as "Applicant"), to act on my behalf for the purpose of making application with the Planning Office of Lawrence/Douglas County, Kansas, regarding **705 Massachusetts, Lawrence, Kansas** (common address), the subject property, or portion thereof. Such authorization includes, but is not limited to, all acts or things whatsoever necessarily required of Applicant in the application process.
3. It is understood that in the event the Undersigned is a corporation or partnership then the individual whose signature appears below for and on behalf of the corporation or partnership has in fact the authority to so bind the corporation or partnership to the terms and statements contained within this instrument.

IN WITNESS THEREOF, I, the Undersigned, have set my hand and seal below.

Nancy Longhurst
Owner

Owner

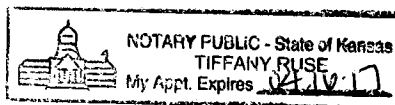
STATE OF KANSAS
COUNTY OF DOUGLAS

The foregoing instrument was acknowledged before me on this 12 day of Dec, 2016,

by Nancy Longhurst.

My Commission Expires:

[Signature]
Notary Public



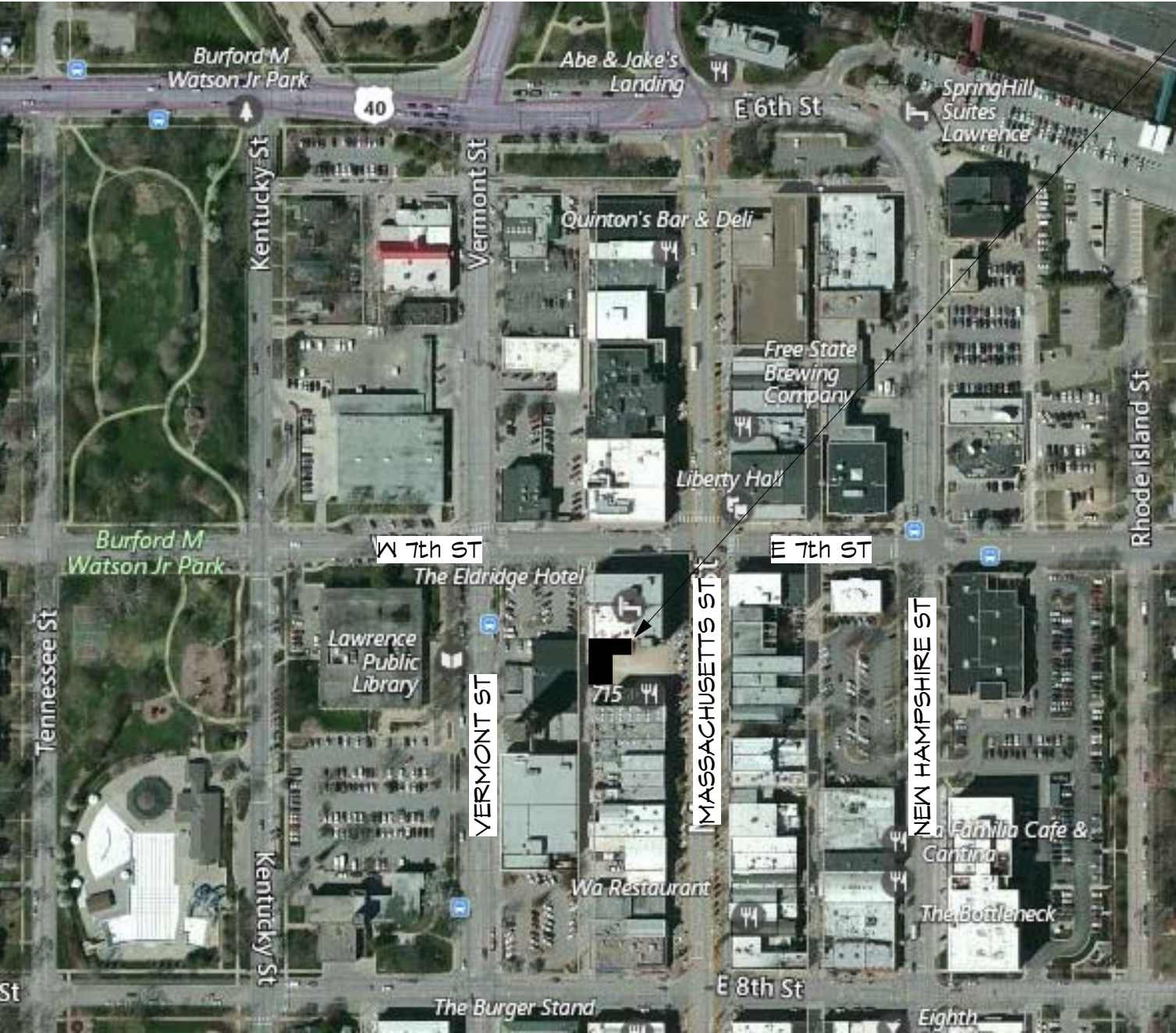
ELDRIDGE HOTEL KITCHEN ADDITION

CONSTRUCTION DOCUMENTS:



LOCATION MAP:

NOT TO SCALE



PROJECT LOCATION
THE ELDRIDGE HOTEL

NOTE:
SITE / LOCATION MAP SHOWN FOR REFERENCE
ONLY. REFER TO MOST RECENT DOCUMENTS
PREPARED BY PAUL WERNER ARCHITECTS.



ARCHITECT:

PAUL WERNER ARCHITECTS, LLC.
PAUL WERNER
123 W. 8th STREET
SUITE B2
LAWRENCE, KS. 66044
PHONE: [785] 832-0804
FAX: [785] 832-0890

MEP:

STRUCTURAL:

FIRE PREVENTION NOTES:

DEFERRED SUBMITTAL OF STAMPED AUTOMATIC SPRINKLER SYSTEM
PLANS SHALL BE SUBMITTED WITHIN 30 DAYS OF PERMIT ISSUED.
PLANS SHALL BE DESIGNED BY NICET LEVEL III OR HIGHER IN
ACCORDANCE WITH NFPA 13R.

DEFERRED SUBMITTAL OF STAMPED FIRE ALARM PLANS SHALL BE
SUBMITTED WITHIN 30 DAYS OF PERMIT ISSUED. PLANS SHALL
BE DESIGNED IN ACCORDANCE WITH 2012 IFC AND 2010 NFPA 72.
PLANS SHALL BE DESIGNED AND STAMPED BY NICET LEVEL III OR
HIGHER.

RE: CODE NOTES A-001 FOR MORE INFORMATION ON FIRE
REQUIREMENTS.

SUPPLEMENTAL INFORMATION:

ALL SHOP DRAWINGS SHALL BE REVIEWED BY G.C. AND THEN
SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO
CONSTRUCTION. ALL STRUCTURAL SHOP DRAWINGS SHALL BE
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CONTRACTOR TO INSURE COMPLIANCE WITH CONSTRUCTION
DOCUMENTS.

SHOP DRAWING SUBMITTALS:

SHOP DRAWINGS TO BE PREPARED BY APPROPRIATE CONTRACTORS, SUB-CONTRACTORS, AND SUPPLIERS;
THIS INFORMATION SHALL BE ASSEMBLED AND DISTRIBUTED TO ALL CONTRACTORS PRIOR TO
CONSTRUCTION ON:

FLOOR SYSTEM
ROOF SYSTEM
AUTOMATIC SPRINKLER SYSTEM
CABINET LAYOUTS
PLUMBING FIXTURE INFORMATION
ELECTRICAL FIXTURE INFORMATION
ELECTRICAL SERVICE DEVICES
LOW VOLTAGE SYSTEMS
MECHANICAL EQUIPMENT
DOORS, WINDOWS, HARDWARE, ETC.
FRAMING PACKAGE SPEC SHEETS

- * REQUIRED TO BE SUBMITTED TO LOCAL JURISDICTION
- * REQUIRED TO BE SUBMITTED TO LOCAL JURISDICTION

ALL CORRESPONDENCE TO BE
DIRECTED TO PAUL WERNER
ARCHITECTS

IN WRITING TO info@paulwernerarchitects.com

PLANNING DOCUMENT
NOT FOR CONSTRUCTION

paulwerner
ARCHITECTS

123 W. 8th STREET
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LAWRENCE, KS 66044

OFFICE: 785.832.0804
FAX: 785.832.0890

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ELDRIDGE HOTEL
KITCHEN ADDITION

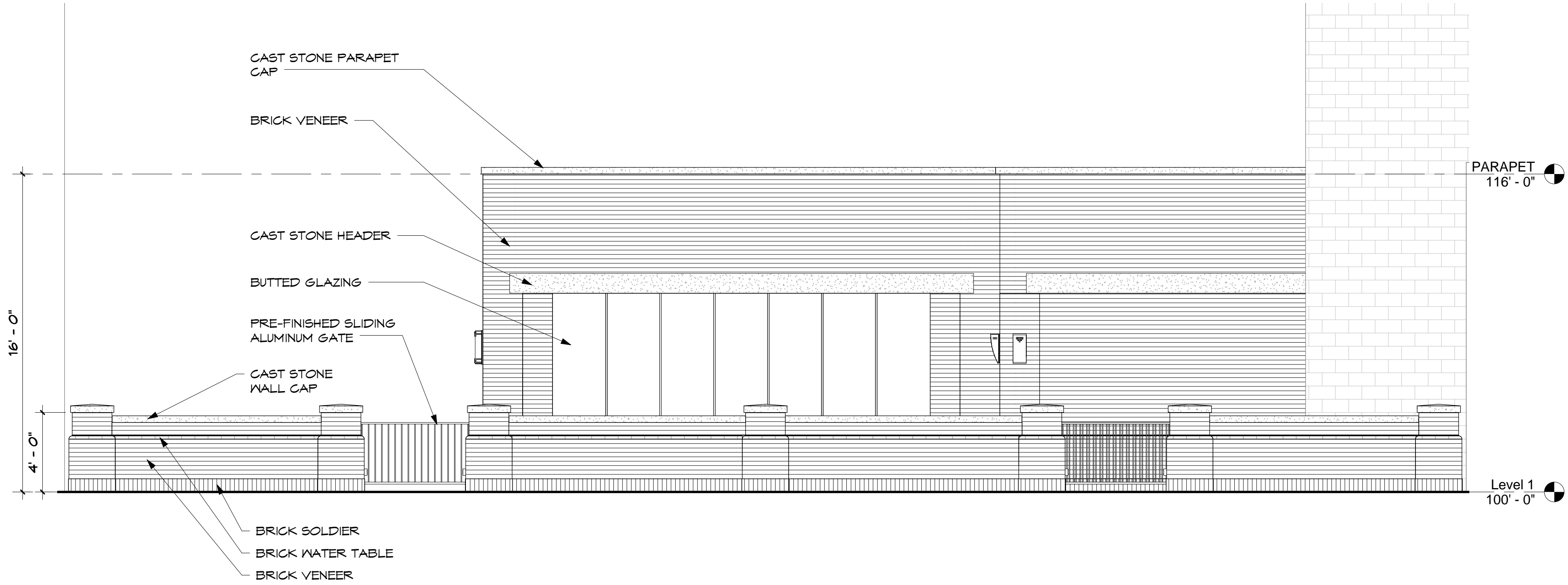
LAWRENCE, KS

PROJECT# 216-590
SEPT 26, 2016

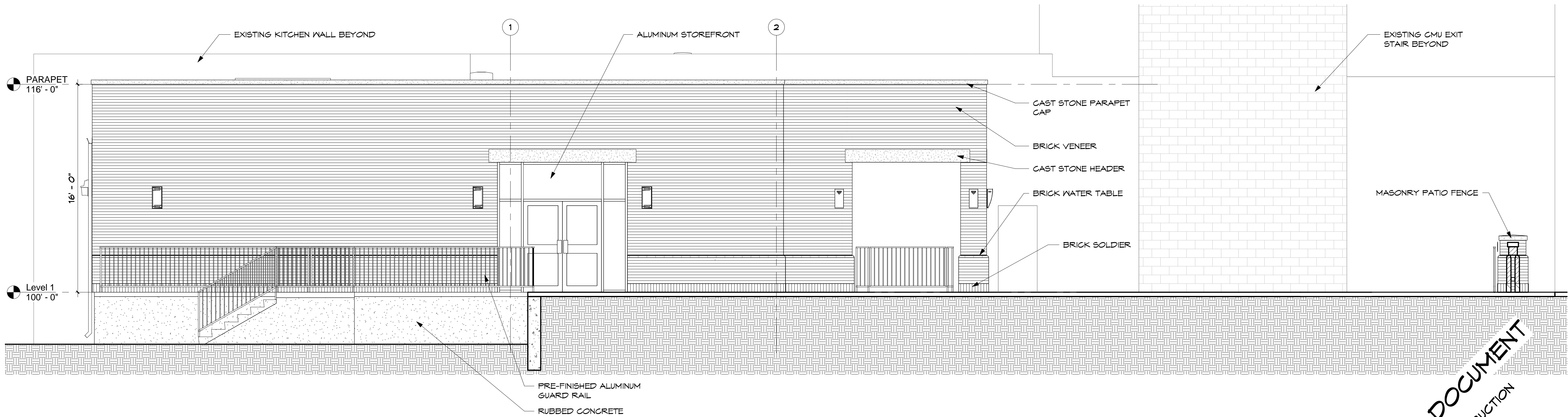
RELEASE: DATE:
HRC SUBMITTAL 12/12/2016

REVISION: DATE:

A-000

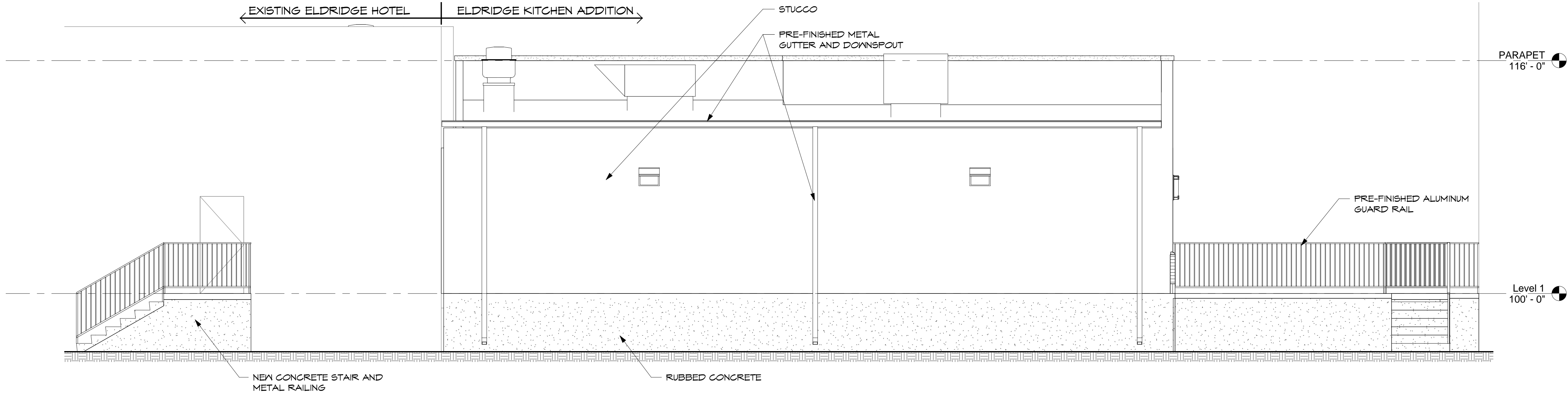


1 EAST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

PLANNING DOCUMENT
NOT FOR CONSTRUCTION



1 WEST ELEVATION
1/4" = 1'-0"

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paulwerner
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ELDRIDGE HOTEL
KITCHEN ADDITION

LAWRENCE, KS

PROJECT# 216-590
SEPT 26, 2016

RELEASE: DATE:
HRC SUBMITTAL 12/12/2016

REVISION: DATE:

A-201

ELDRIDGE HOTEL

KITCHEN ADDITION & PATIO

HRC SUBMITTAL

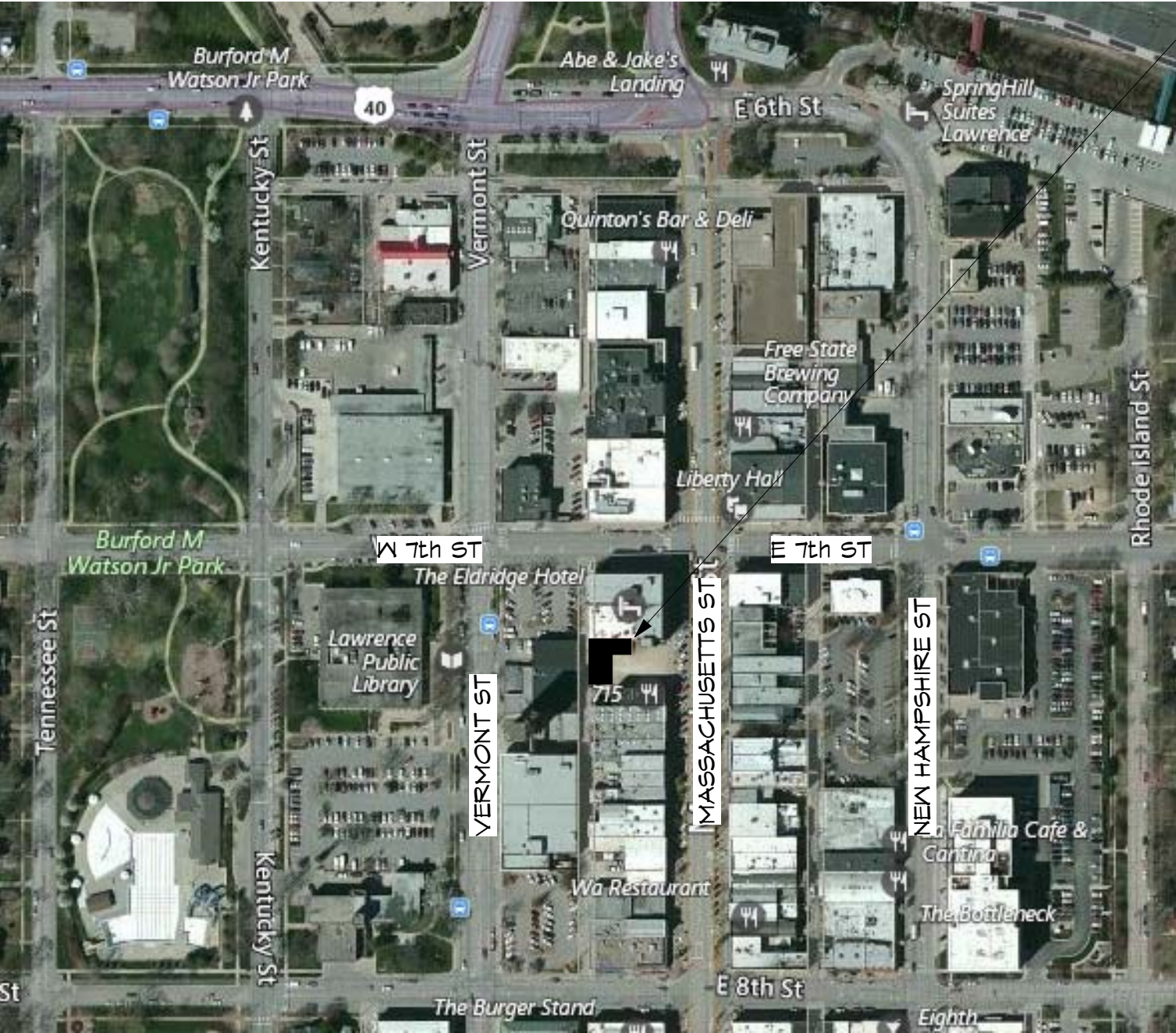
CONSTRUCTION DOCUMENTS:

A-000	TITLE SHEET
A-100	FIRST FLOOR PLAN
A-200	EXTERIOR ELEVATIONS
A-201	EXTERIOR ELEVATIONS
A-202	OVERALL EAST ELEVATION
A-203	RENDERINGS



LOCATION MAP:

NOT TO SCALE



PROJECT LOCATION
THE ELDRIDGE HOTEL

ARCHITECT:

PAUL WERNER ARCHITECTS, LLC.
PAUL WERNER
123 W. 8th STREET
SUITE B2
LAWRENCE, KS. 66044
PHONE: [785] 832-0804
FAX: [785] 832-0890

MEP:

LATIMER SOMMERS & ASSOCIATES
DAVID EVERHART
3639 SW SUMMERFIELD DRIVE, STE. A
TOPEKA, KS 66614
PHONE: 785.233.3232
FAX: 785.233.0647

STRUCTURAL:

BSE STRUCTURAL ENGINEERS, LLC.
PRESCOVIE ANDERSON
11320 WEST 79TH STREET
LENEXA, KS 66214
PHONE: 913.492.7400

FIRE PREVENTION NOTES:

RE: CODE NOTES A-001 FOR MORE INFORMATION ON FIRE REQUIREMENTS.

SUPPLEMENTAL INFORMATION:

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IN WRITING TO info@paulwernerarchitects.com

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ELDRIDGE HOTEL
KITCHEN ADDITION & PATIO

701 MASSACHUSETTS
LAWRENCE, KS

PROJECT# 216-590
SEPT 26, 2016

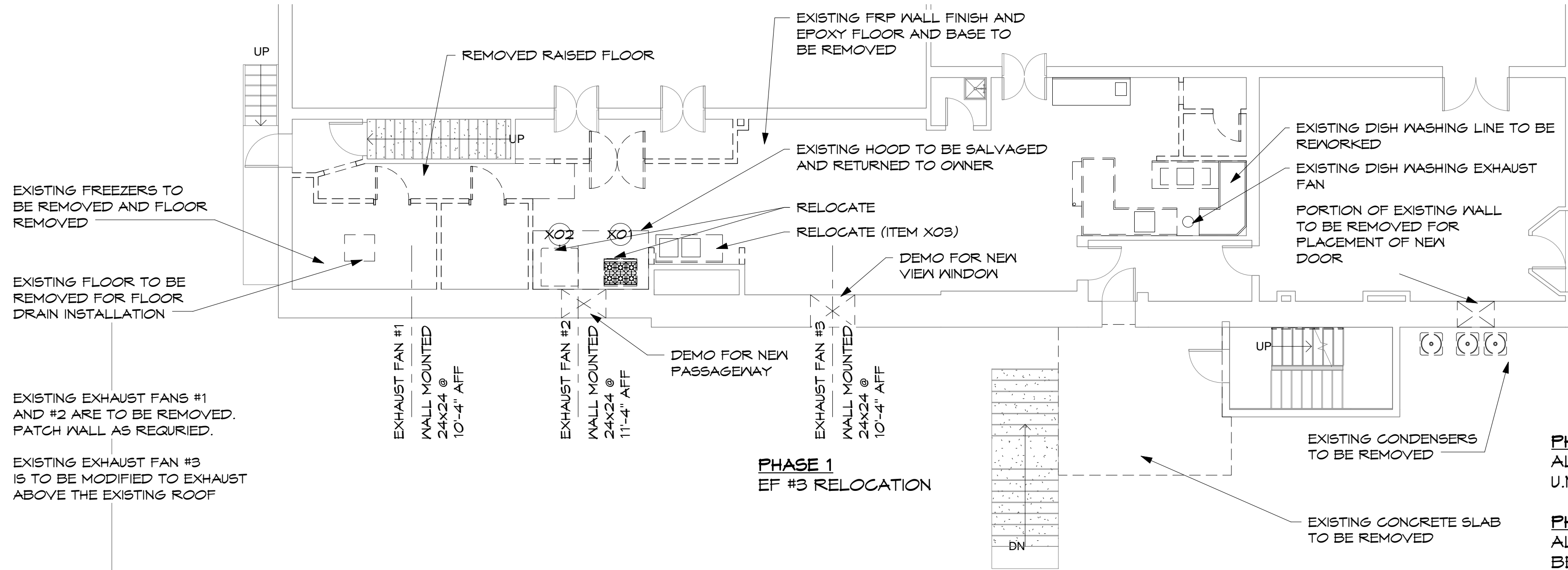
PROGRESS: DATE:
HRC SUBMITTAL 12/12/2016
HRC RESUBMITTAL 12/28/2016
HRC RESUBMITTAL 1/30/2017

REVISION: DATE:

A-000

1 DEMOLITION FIRST FLOOR PLAN

1/8" = 1'-0"

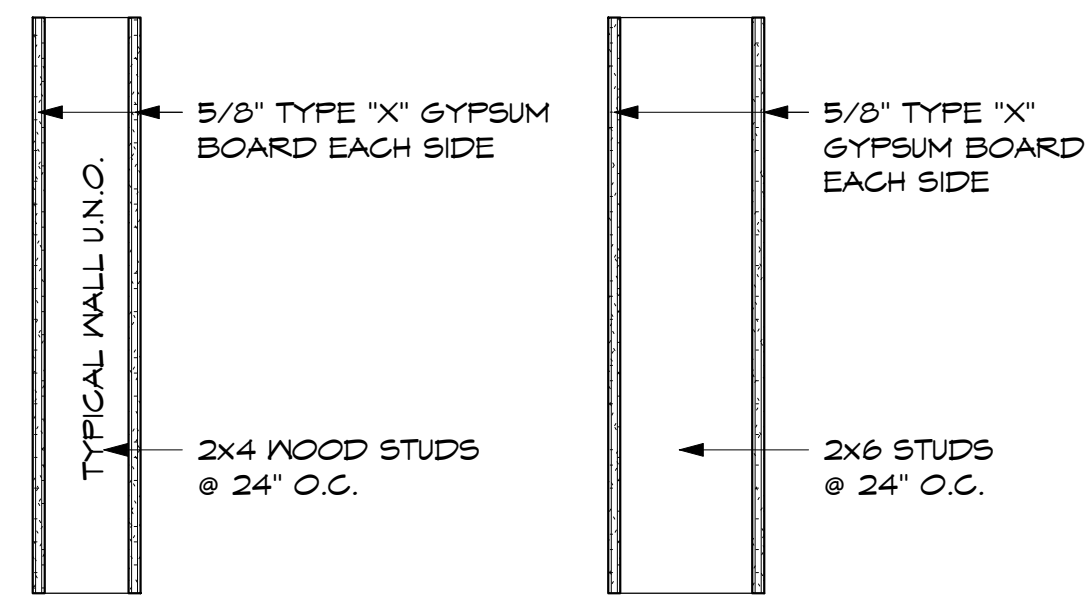


PHASE 1
ALL WORK SOUTH OF EXISTING KITCHEN WALL
U.N.O.

PHASE 2
ALL WORK AT EXISTING KITCHEN TO
BE PHASE 2 CONSTRUCTION
UNLESS NOTED OTHERWISE

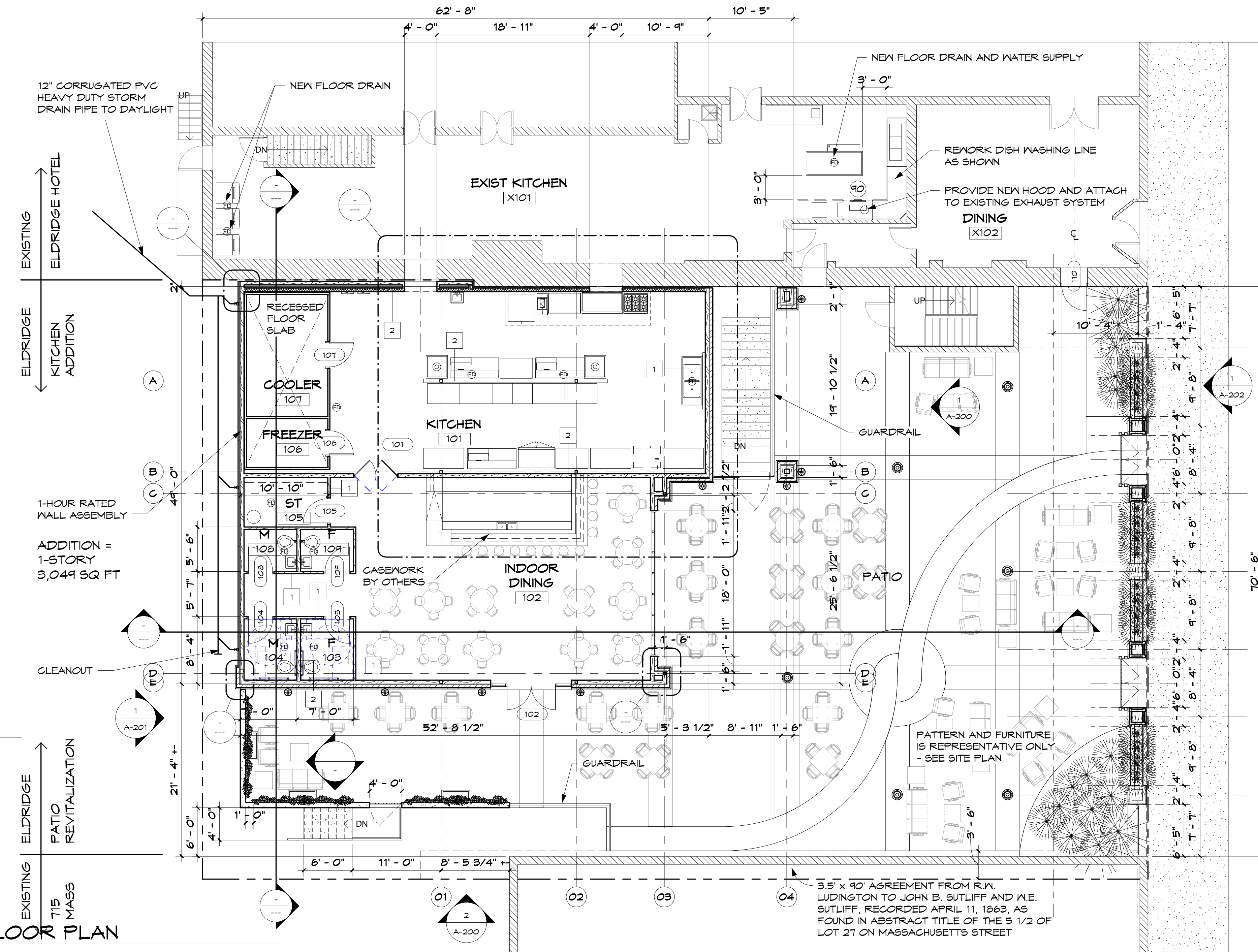
3 WALL TYPES - INTERIOR

1 1/2" = 1'-0"



2 FIRST FLOOR PLAN

1/8" = 1'-0"



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ELDRIDGE HOTEL
KITCHEN ADDITION & PATIO

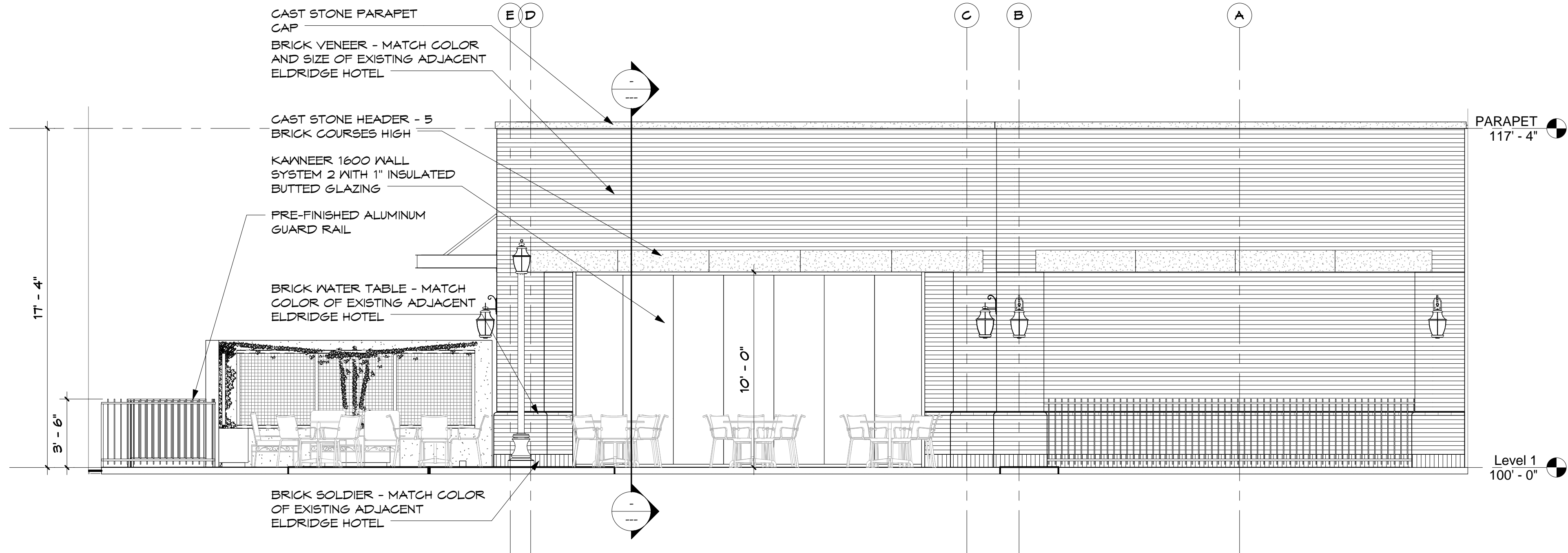
701 MASSACHUSETTS
LAWRENCE, KS

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SEPT 26, 2016

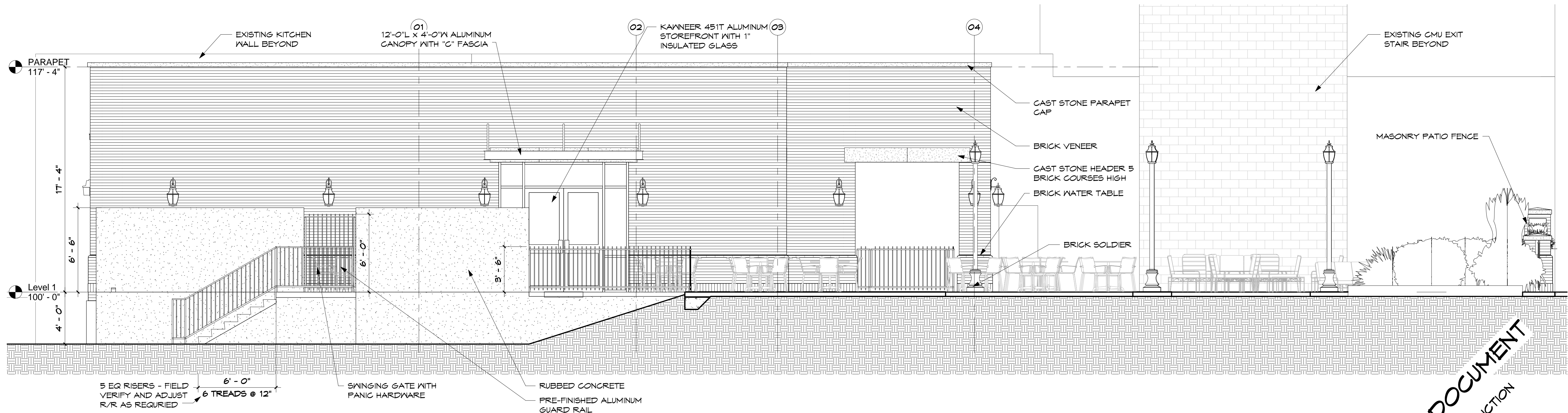
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HRC SUBMITTAL 12/12/2016
HRC RESUBMITTAL 12/28/2016
HRC RESUBMITTAL 1/30/2017

REVISION: DATE:

A-100



1 EAST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

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ELDRIDGE HOTEL
KITCHEN ADDITION & PATIO

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LAWRENCE, KS

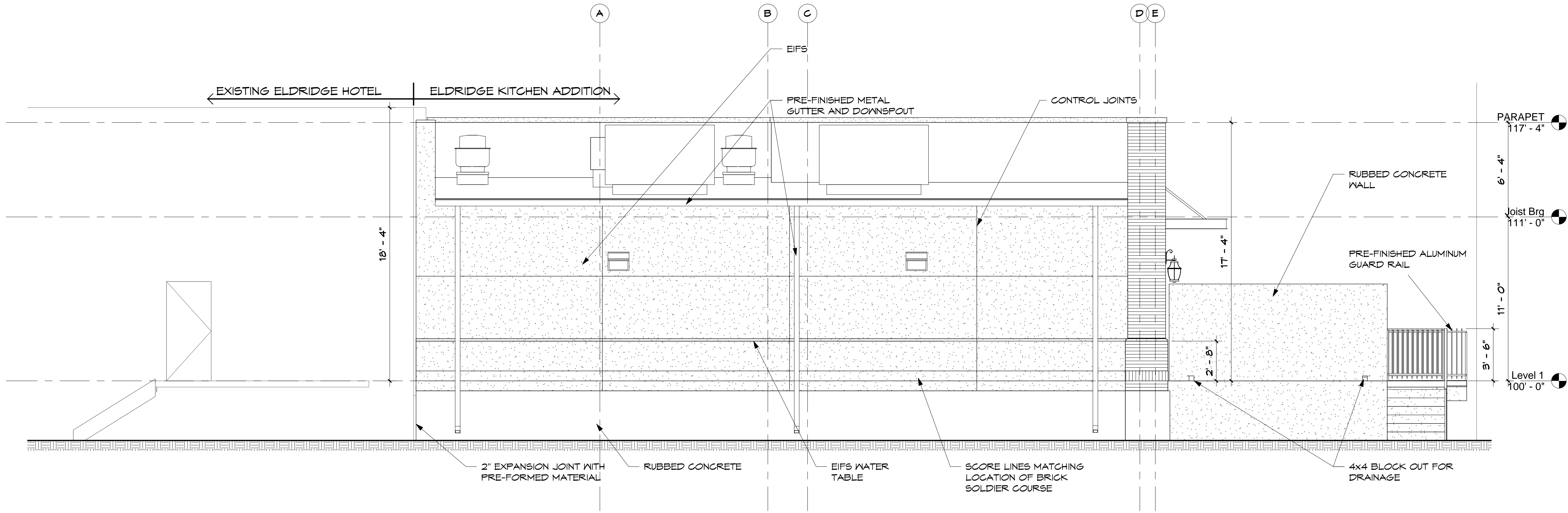
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HRC RESUBMITTAL 1/30/2017

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A-200

1 WEST ELEVATION
1/4" = 1'-0"



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ELDRIDGE HOTEL
KITCHEN ADDITION & PATIO

701 MASSACHUSETTS
LAWRENCE, KS

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SEPT 26, 2016

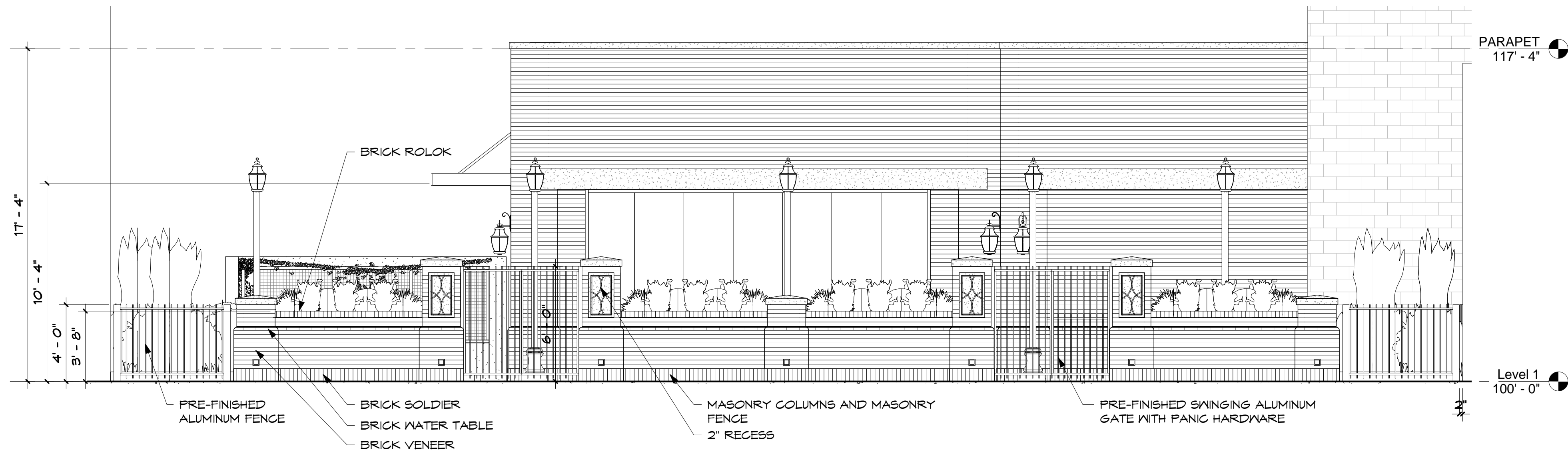
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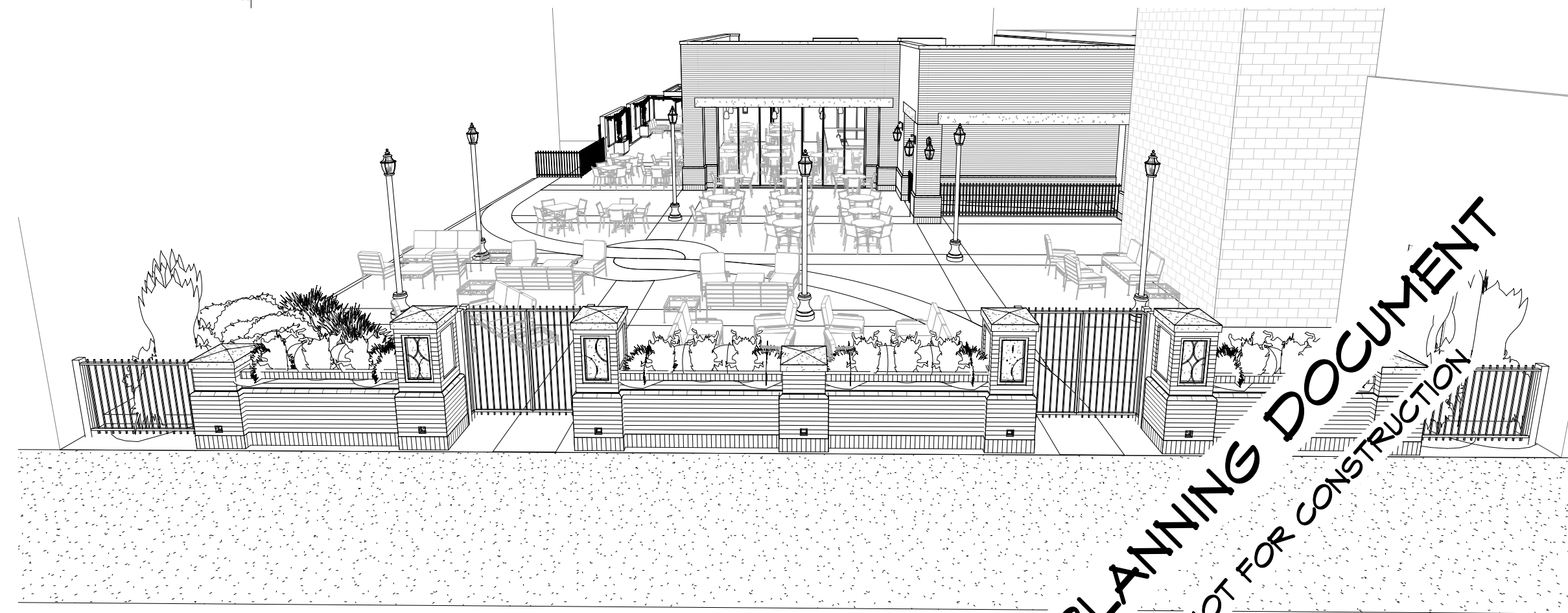
A-201



1 OVERALL EAST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



3 ISO LOOKING WEST



1 RENDERING
12" = 1'-0"



2 RENDERING
12" = 1'-0"



3 RENDERING
12" = 1'-0"

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