PLANNING COMMISSION REPORT Non-Public Hearing Item

PC Staff Report 05/23/2016

ITEM NO. 2 FINAL DEVELOPMENT PLAN FOR BAUER FARM ZAXBY'S; 4661 BAUER FARM DR (SLD)

FDP-16-00104: Consider a Final Development Plan for Zaxby's, a Fast Order Food with Drive-In, located at 4661 Bauer Farm Dr. Submitted by Carter Engineering Consultants, Inc., for JULI, LLC, contract purchaser, Free State Holdings Inc, property owner of record.

STAFF RECOMMENDATION: Planning staff recommends approval of the Final Development Plan based upon the findings of fact presented in the body of the Staff Report, subject to the following conditions:

- 1. Execution of a site plan performance agreement.
- 2. Submission of a revised Final Development Plan to show the following notes and changes:
 - a. Revise sanitary sewer service line location to meet City design standards per the approval of the City Utility Engineer.
 - b. Show additional pedestrian ramps for sidewalk connections between building and Bauer Farm Drive.
 - c. Show the deed book and page of separately recorded document for shared access and cross access for this property.
- 3. Filing of the Minor subdivision with the Register of Deeds Office.

Attachment:

A. Proposed Final Development Plan.

Design Standards to Consider

- Consistency with approved Preliminary Development Plan, PDP-14-00055.
- Consistency with Article 10 of the 1966 Zoning Code and the standards contained in the 2006 Land Development Code.

KEY POINTS:

- Final Development Plans for projects with preliminary approvals prior to the adoption of the 2006 Land Development Code require Planning Commission approval.
- A revised Preliminary Development Plan for Bauer Farms [PDP-15-00529] was approved by the Planning Commission on December 14, 2015 and by the City Commission on January 6, 2016.

ASSOCIATED CASES

- PDP-15-00529; Bauer Farm Preliminary Development Plan.
- PF -15-00094; Bauer Farm 7th Plat
- MS-16-00126: Minor Subdivision

OTHER ACTION REQUIRED

Applicant shall apply for and obtain Building Permits prior to development.

PUBLIC COMMENT

No public comment was received prior to the printing of this staff report.

PLANS AND STUDIES REQUIRED

- Traffic Study a Revised Traffic Impact Study (TIS) was provided and accepted with the Preliminary Development Plan. An updated letter was received on March 16, 2016 with this application. Summary was accepted by staff.
- Downstream Sanitary Sewer Analysis The downstream sanitary sewer analysis and cover letter dated January 20, 2010 from Landplan Engineering was previously accepted for the Bauer Farm Development Plan to satisfy the criteria required for the DSSA as outlined in Administrative Policy 76. The proposed project meets the land use description used in the DSSA for this location.
- *Drainage Study* The drainage study dated 2-20-2014 meets the specified requirements and is approved.
 - o City of Lawrence Right of Way Permit will be needed to tie the proposed storm sewer line into the south side of the existing junction box on Bauer Farm Drive.
- Retail Market Study Not applicable to application.

GENERAL INFORMATION

Current Zoning and Land Use: PCD [Bauer Farm] (Planned Commercial Development)

District; developing mixed use project.

Surrounding Zoning and land use: To the north, east and west:

PCD [Bauer Farm] (Planned Commercial Development) District. A *Theater* is located on the north side of Bauer Farm Drive. A *Fast Order Food, Drive-In* use building located to the west known as Burger King. Undeveloped

lot is located to the east

To the south:

PCD [Westgate] (Planned Commercial Development) located on the south side of W 6th Street; existing multi-

tenant retail commercial building.

STAFF SUMMARY

This Final Development Plan proposes the development of a 3,662 SF single story *Fast Order Food, Drive-In* on approximately 39,940 sq ft parcel [Proposed Lot 1, Bauer Farm Eighth Plat] located on the south side of Bauer Farm Drive. This proposed use is consistent with the approved Preliminary Development Plan.

STAFF REVIEW

The Bauer Farm Development was proposed and planned as a New Urbanism type of development which would utilize several Traditional Neighborhood Design concepts. The waivers which were approved by the Planning Commission were necessary to accommodate these TND concepts such as smaller lots, narrower rights-of-way, and reduced peripheral setbacks. Several Development Plans have been approved for both the commercial and residential portions of the development. The Planning Commission approved revised waivers with their consideration of the 2015 revised Preliminary Development Plan, PDP-15-00529, based on the type of development being proposed. The proposed use is located on the south

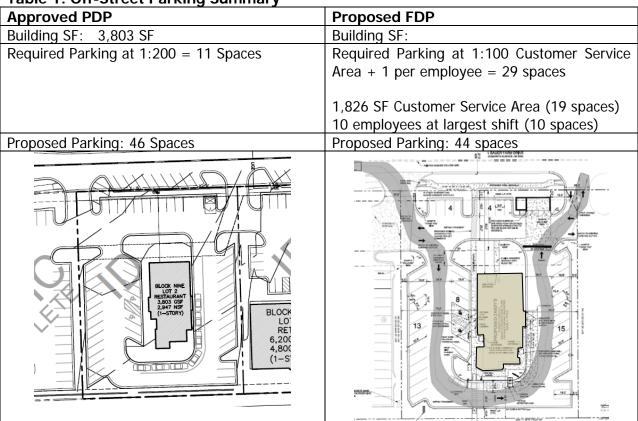
side of Bauer Farm Drive. Uses on the south side were intended for more auto-oriented access with pedestrian sidewalks connecting uses within the development.

A development item related to this application is a pending Minor Subdivision. The Minor Subdivision has been submitted and is being processed. The subdivision review shall be completed and the document recorded prior to the issuance of a building permit for this property.

Off-Street Parking

In the pre-2006 Zoning Code off-street parking is calculated at a different ratio and an alternative methodology was specifically applicable to Planned Developments. Per the 1966 Code, parking was based on net square feet of building space rather than gross square feet in the current Code. Additionally, Planned Development off-street parking was calculated at a rate of 1 space per 200 net square feet regardless of use. The following table summarizes the off-street parking shown on the approved Preliminary Development Plan and the proposed Final Development Plan.

Table 1: Off-Street Parking Summary



This plan provides a parking summary based on the current parking design requirements. The proposed development will result in excess spaces but two fewer than the approved Preliminary Development Plan.

The approved Preliminary Development Plan shows parking along Bauer Farm Drive. This parking is not shown on this proposed Final Development Plan. The on street parking will be provided by the developer of Bauer Farm at a future date with the development of the adjacent

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lot to the east. The proposed development exceeds the required off-street parking for this use and is consistent with the approved Preliminary Development Plan.

REVIEW CRITERIA

The Planning Commission is responsible for the final decision-making of a Final Development Plan of the pre-2006 Code. Applications submitted for Final Development Plan approval must be in substantial compliance with the approved Preliminary Development Plan. This section of the report provides a summary of the proposed development's "substantial compliance the approved Preliminary Development Plan" based on the 1966 Zoning Code for which it was originally approved and for the current Land Development Code standards.

Section 20-1013 (b) of the 1966 Zoning Code states that a plan submitted for final approval shall be in substantial compliance with the plan previously given preliminary approval and that modifications may not:

- 1. Increase gross residential density or intensity by more than 5% or involve a reduction in the area set aside for common open space.
- 2. Increase the total floor area proposed for non-residential or commercial uses by more than 10%.
- 3. Increase the total ground area covered by a building by more than 5% or involves a substantial change in the height of buildings.

The proposed Final Development Plan:

- 1. Does not include any residential use or include a reduction in common open space within the phase or development.
- 2. The proposed building is slightly smaller than the building shown on the Preliminary Development Plan.
 - a. The approved plan included a 3,803 SF building.
 - b. The proposed plan includes a 3,652 SF building.
- 3. The proposed final development plan does not increase the ground covered by a building. The proposed building is smaller than the building shown on the approved Preliminary Development Plan. The building height is not altered by this request.

The proposed development meets the requirements of being in substantial compliance with the plan previously given preliminary approval. The approved Preliminary Development Plan included a *Fast Order Food, Drive-In* use.

This application complies with the 1966 Zoning Code for consideration of a Final Development Plan. A new public hearing is not required. The 1966 Code requires the Planning Commission to approve a Final Development Plan as the determining authority.

Drive thru Uses in Bauer Farm Planned Development

A significant feature of the Traditional Neighborhood Design concept is the limited number of vehicle oriented uses, specifically drive-thru uses. The development plan, including all the areas zoned PCD, PRD and POD, was modified in 2008 to restrict drive-thru uses to the following mix:

- Three restaurant uses (3)
- One Bank (1)
- One other non-restaurant such as a pharmacy (1)

The plan included automotive service uses that did not count toward these "drive-thru" restrictions.

The CVS, 4841 Bauer Farm Drive, and Taco Bell, 4721 Bauer Farm Drive, buildings were the first in the area to be developed with a drive-thru. To date, two other restaurant uses have been developed with a drive-thru: 4701 Bauer Farm Drive, Starbucks and 4671 Bauer Farm Drive, Burger King.

The Preliminary Development Plan was modified in 2015 to increase the total number of drivethru uses, excluding automotive service uses, within the Bauer Farm Planned Development (inclusive).

- Four restaurant uses (4)
- Two bank uses (2)
- One other non-restaurant such as a pharmacy (1)

Development of this site will result in the final allowable drive-thru restaurant use for the Bauer Farm Planned Development. One remaining non-restaurant drive-thru use (bank) may be developed on the northwest corner of Folks Road and W. 6th Street (4431 Bauer Farm Drive).

Common Open Space

A minimum of 20% of the area in the Planned Development is required to be placed into Common Open Space. The majority of common open space for the Bauer Farm Planned Development is located within the residential portions of the project. Open space for individual commercial lots is located along the perimeter of the lots and along the street frontages. The proposed development includes 22% of the total lot as open space.

Access and Circulation

Vehicular access to this site is provided from Bauer Farm Drive and is consistent with that approved on the Preliminary Development Plan. Access to the site is shared with the adjacent properties to the east and west. Access driveways are centered on the shared property lines.

Pedestrian Connectivity

A pedestrian walkway connects the building with the sidewalks on Bauer Farm Drive. The walkway provides access to the building entrance.

Lighting

A photometric plan including a point by point illumination array has been provided. The lighting levels and fixture type are compliant with the standards in Section 20-1103(d) (3).

Landscaping

Peripheral boundary buffer yards are not required between PUDs in the same development. Parking lots are also required to be screened. The original Preliminary Development Plan included a screening wall located along the south side of the commercial properties along W. 6th Street. This screening wall was not constructed along the Burger King site or where the buildings west of Champion Lane abut W. 6th Street.



Figure 1: Location of screening walls along W. 6th Street



Figure 2: Screening walls west of Champion Lane



Figure 3: Landscape screening east of Champion Lane East of Champion Lane.

Use of landscaping to screen the parking lot is an acceptable solution and will provide a unifying appearance along W. 6th Street east of Champion Lane.

The plan notes that all mechanical equipment will be building mounted and will be screened per City Code.

Solid Waste is accommodated in a screened storage area located along Bauer Farm Drive as shown on the plan. The location and design have been approved by the City Solid Waste Division.

Commercial Design Guidelines

Planned Developments provide the developer greater flexibility to achieve their desired design and development. They also allow for greater control over the aesthetics of a site. Proposed

building elevations include variation in material, building planes, a varied roof line and a strongly defined main entry. The proposed building meets the intent of the Design Guidelines.

Infrastructure Improvements

Much of the needed infrastructure exists for this site. The applicant will be responsible for connecting service lines between the building and the water and sanitary sewer main lines. Sidewalk is located along Bauer Farm Drive and W. 6th Street. This project will relocate the sidewalk along Bauer Farm Drive in anticipation of construction of the on-street parking along the south side of Bauer Farm Drive. The City Traffic Engineer noted that "Pedestrian pathway to Bauer Farm Drive needs ramps where appropriate." The plan should be revised to show the ramps as noted.

ROLADOROT PARISO

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Figure 4: Location for additional pedestrian ramps

The on-street parking as noted will be a future site improvement made by the development group with the development of the adjacent lot to the east.

The City Stormwater Engineer has noted that a right-of-way permit will be needed to connect to the City Storm Sewer. This requirement will be managed through the building permit process.

Conclusion

The development proposed with this Final Development Plan is consistent with the intent of the development that was approved with the Preliminary Development Plan and is compliant with the provisions of the Development Code.

EARTHWORK SPECIFICATIONS:

- CLEARING AND GRUBBING
 CLEARING AND GRUBBING SHALL CONSIST OF CLEARING THE SURFACE OF THE GROUND OF THE DESIGNATED AREAS OF ALL TREES, LOGS, SNAGS, BRUSH, UNDERGROWTH, HEAVY GROWTH OF GRASS, WEEDS, FENCE STRUCTURES,
- GROUND OF THE DESIGNATED AREAS OF ALL TREES, LOGS, SNAGS, BRUSH, UNDERGROWTH, HEAVY GROWTH OF GRASS, WEEDS, FENCE STRUCTURES, DEBRIS AND RUBBISH OF ANY NATURE, NATURAL OBSTRUCTIONS SUCH AS OBJECTIONAL SOIL MATERIAL UNSATISFACTORY FOR FOUNDATIONS. IT SHALL ALSO CONSIST OF GRUBBING OF STUMPS, ROOTS FOUNDATIONS AND DISPOSAL OF ALL SUCH MATERIAL. ALL HOLES REMAINING AFTER THE GRUBBING OPERATION IN EMBANKMENT AREAS AND IN EXCAVATION AREAS LESS THAN TWO (2) FEET IN DEPTH, SHALL HAVE SIDES BROKEN DOWN AND LEVELED IF NECESSARY TO FLATTEN OUT SLOPES, REFILLED WITH ACCEPTABLE MATERIAL THAT IS PROPERLY COMPACTED IN LAYERS BY TAMPERS, ROLLERS OR
- 1.2. BURNING ON SITE IS NOT PERMITTED WITHOUT WRITTEN APPROVAL OF THE LOCAL GOVERNING AUTHORITIES HAVING JURISDICTION
- EXISTING TREES AND AREA OUTSIDE OF GRADING LIMITS LINE
 TREES AND VEGETATION TO BE SAVED SHALL BE PROTECTED FROM DAMAGE BY
 A FENCE BARRICADE PRIOR TO, OR DURING, CLEARING OPERATIONS. TREES TO
 BE SAVED SHALL BE DESIGNATED BY THE OWNER. NO TREES ARE TO BE
 REMOVED FROM THE AREA OUTSIDE THE LIMITS OF GRADING OR FROM
 SPECIFICALLY DESIGNATED AREAS WITHIN THE CONSTRUCTION AREAS. IF, IN THE
 OPINION OF THE ENGINEER, A CONTRACTOR DAMAGES A TREE NOT TO BE
 REMOVED, THE CONTRACTOR WILL BE FINED A PREDETERMINED AMOUNT FOR
 EACH DAMAGED TREE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL
 COSTS ASSOCIATED IN REMOVING THE DAMAGED TREES FROM THE SITE.
- 3.1. ALL VEGETATION SUCH AS ROOTS, BRUSH, HEAVY GROWTH OF GRASS, TOPSOIL, ALL DECAYED VEGETABLE MATTER, RUBBISH, AND OTHER UNSUITABLE MATERIAL WITHIN THE AREA UPON WHICH FILL IS TO BE PLACED SHALL BE STRIPPED OR BE OTHERWISE REMOVED BEFORE THE FILL OPERATION IS STARTED. IN NO CASE SHALL UNSUITABLE MATERIAL REMAIN IN OR UNDER THE FILL AREA. SLOPED GROUND SURFACE STEEPER THAN ONE VERTICAL TO FOUR HORIZONTAL, ON WHICH FILL IS TO BE PLACED, SHALL BE PLACED, STEPPED OR BENCHED IN SUCH A MANNER THAT THE FILL TO BE PLACED SHALL BE 97 PERCENT OF THE MAXIMUM LABORATORY DRY DENSITY ACCORDING TO STANDARD PROCTOR (AASHTO T99, ASTM D-698). MOISTURE CONTENT SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT. PROOF ROLL THE AREAS TO BE FILLED OR ON WHICH STRUCTURES ARE TO BE PLACED. A LOADED DUMP TRUCK OR OTHER RUBBER TIRED EQUIPMENT SHALL BE USED PROOF ROLLING. OVERLAPPING PASSES OF A VEHICLE SHOULD BE MADE ACROSS THE SITE IN ONE DIRECTION AND THEN PERPENDICULAR TO THE ORIGINAL DIRECTION OF ROLLING.
- 3.2. ANY YIELDING, PUMPING OR SOFT AREAS SHOULD BE CUT OUT AND REPLACED WITH FILL COMPACTED AS DESCRIBED HEREIN.
- 3.3. THE PROPOSED FILL SHOULD BE LIMITED TO SOILS CLASSIFIED IN ACCORDANCE WITH ASTM D-2487 AS GM, GC, SW, SM, SC, ML AND CL.SOIL CLASSIFIED AS PT, OH OL, CH AND MH ARE NOT SATISFACTORY AS COMPACTED FILL.
- 3.4. FILLS AND EMBANKMENTS SHALL BE CONSTRUCTED AT THE LOCATIONS AND TO THE LINES AND GRADES INDICATED ON CONSTRUCTION PLANS. THE SLOPE SHALL NOT EXCEED 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL. (3 FOOT HORIZONTAL TO 1 FOOT VERTICAL IN THE PUBLIC RIGHT OF WAY) THE COMPLETED FILL SHALL CORRESPOND TO THE SHAPE OF THE TYPICAL SECTIONS INDICATED ON THE CONSTRUCTION PLANS. MATERIAL REMOVED FROM THE EXCAVATION SHALL BE USED IN FORMING THE FILL. FILL MATERIAL SHALL BE REASONABLY FREE FROM ROOTS, OTHER ORGANIC MATERIAL, TRASH AND STONES HAVING MAXIMUM DIMENSIONS GREATER THAN 6 INCHES (4 INCHES IN TRENCHES FOR UTILITIES). NO FROZEN MATERIAL WILL BE PERMITTED IN THE FILL. STONES HAVING A MAXIMUM DIMENSION OF 4 INCHES WILL NOT BE PERMITTED IN THE UPPER SIX INCHES OF FILL OR EMBANKMENT OR UTILITY TRENCH. THE MATERIAL SHALL BE PLACED IN SUCCESSIVE HORIZONTAL LAYERS NOT MORE THAN 8 INCHES THICK, UNLESS OTHERWISE NOTED, IN LOOSE DEPTH FOR THE WIDTH OF THE CROSS-SECTION AND SHALL BE COMPACTED TO AT LEAST 97 PERCENT OF THE MAXIMUM LABORATORY DRY DENSITY ACCORDING TO STANDARD PROCTOR (ASTM D-698, AASHTO T-99). MOISTURE SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT. THE TOP 12 INCHES OF THE PAVING, PARKING AND/OR ROADWAY SUB-GRADE SHALL BE COMPACTED TO 97 PERCENT OF THE MAXIMUM DRY DENSITY (STANDARD PROCTOR). EACH LIFT SHALL BE ROLLED WITH A VIBRATORY ROLLER, A SHEEPSFOOT ROLLER, OR A LOADED RUBBER TIRED DUMP TRUCK, SCRAPER OR LOADER. IF THE SOIL IS TOO DRY, A WATER TRUCK WITH SPREADER BAR OR SPRAY HOSE SHALL BE USED TO BRING THE SOIL TO THE PROPER MOISTURE RANGE. THE WATER SHALL BE THOROUGHLY AND
- THE PIPE IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS SO THAT THE HEAVIER COMPACTION EQUIPMENT CAN THEN BE USED TO BRING THE SOIL TO A DENSITY AS DESCRIBED ABOVE FOR FILL AREAS.

 3.6. IF SOILS INVESTIGATION REPORT IS PROVIDED, THEN FOLLOW THE

STORM DRAIN PIPES SHALL BE PLACED ON FIRM BOTTOM AND HAND TAMPED TO SAFE UP THE PIPE. A CUSHION OF SOIL SHALL BE TAMPED ABOVE THE CROWN O

PROPERLY MIXED WITH THE SOIL PRIOR TO COMPACTION.

3.6. IF SOILS INVESTIGATION REPORT IS PROVIDED, THEN FOLLOW THE RECOMMENDATIONS OF THE REPORT IF THEY EXCEED THE RECOMMENDATIONS OF THESE SPECIFICATIONS.

4. TOPSOIL

ROCK EXCAVATION

AGREEMENT WITH THE OWNER.

- I.1. UNLESS OTHERWISE SPECIFIED, AREAS DESIGNATED FOR GRADING OPERATIONS THAT CONTAIN A BLANKET OF TOPSOIL SHALL BE STRIPPED AND PLACED IN CONVENIENT STOCKPILES FOR LATER USE AS A TOPSOIL BLANKET ON THE NEW GRADED AREAS SPECIFIED HEREIN, OR AS DESIGNATED. TOPSOIL SHALL BE STRIPPED FROM ALL AREAS DESIGNATED TO RECEIVE FILL. THE STRIPPING OF MATERIAL FOR TOPSOIL SHALL BE CAREFULLY DETERMINED AND ONLY THE QUANTITY REQUIRED SHALL BE STOCKPILED. MATERIAL STOCKPILED SHALL BE STORED IN A SATISFACTORY MANNER TO AFFORD PROPER DRAINAGE. WHEN GRADING OPERATIONS PERMIT, INSTEAD OF STOCKPILING, THE TOPSOIL SHALL BE HAULED AND SPREAD DIRECTLY ON THE AREAS DESIGNATED TO RECEIVE TOPSOIL.
- 5.1. IF ROCK IS ENCOUNTERED, CLEAR AWAY EARTH TO EXPOSE MATERIAL. NOTIFY OWNER AND RECEIVE WRITTEN INSTRUCTIONS PRIOR TO EXCAVATION. REMOVE ROCK TO A DEPTH OF 6 INCHES BELOW AND 8 INCHES ON EACH SIDE OF PIPES IN TRENCHES. A MEASUREMENT OF EXTENT OF ROCK TO BE REMOVED SHALL BE

MADE. ROCK EXCAVATION SHALL BE PAID FOR IN ACCORDANCE WITH

SCOTT McCULLOUGH

DIRECTOR, PLANNING &

DEVELOPMENT SERVICES

APPROVED AS A FINAL DEVELOPMENT PLAN UNDER

THE REGULATIONS OF THE CITY OF LAWRENCE & THE

UNINCORPORATED AREAS OF DOUGLAS COUNTY

CONSTRUCTION NOTES:

- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT, READY TO USE, AND ALL ITEMS NECESSARY FOR A COMPLETE AND WORKABLE JOB SHALL BE FURNISHED AND INSTALLED. ANY DISCREPANCY SHALL BE IMMEDIATELY REPORTED TO THE OWNER OR HIS REPRESENTATIVE.
- NOTIFY THE INSPECTOR OF THE LOCAL GOVERNING AUTHORITY 24 HOURS BEFORE EVERY PHASE OF CONSTRUCTION.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR, AT HIS EXPENSE, UNLESS ALREADY OBTAINED BY THE OWNER. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBING
- 5. THE EXISTING UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE DRAWINGS. THE UTILITIES SHOWN ARE THOSE LOCATED BY THE SURVEYOR OF RECORD. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF THE UTILITIES SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF WORK. ALL DAMAGE MADE TO EXISTING UTILITIES
- BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

 6. DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR CONSENT OF THE ENGINEER AND THE MUNICIPALITY MAY CAUSE FOR THE WORK TO BE UNACCEPTABLE.
- 7. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER.
- 8. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES
 AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE
 AND SOIL FROSION
- 9. ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST DECOGNIZED TRADE PRACTICES.
- RECOGNIZED TRADE PRACTICES.

 10. THE CONTRACTOR SHALL PROVIDE SHEETING AND SHORING FOR ALL TRENCH
- CONSTRUCTION IN ACCORDANCE WITH OSHA GUIDELINES.

 11. ALL PIPE LENGTHS SHOWN ARE TO THE CENTERLINE OF THE STRUCTURES UNLESS
- SPECIFICALLY NOTED.

 12. PIPES (STORM AND SANITARY SEWER) SHALL BE LAID ON SMOOTH, CONTINUOUS
 GRADES WITH NO VISIBLE BENDS AT THE JOINTS.
- 13. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUM REQUIRED FOR RELATIVELY DRY STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES TO PROVIDE SUCH ADDITIONAL
- BEDDING AS REQUIRED TO PROPERLY CONSTRUCT WORK.

 14. ALL STORM DRAINAGE INLET STRUCTURES SHALL HAVE METAL RING AND COVER FOR ACCESS.
- 15. ALL ANGLES SHOWN ARE 90 DEGREES UNLESS SHOWN OTHERWISE.
- 16. ALL GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY DIMENSIONS, GRADES, AND EXISTING ELEVATIONS PRIOR TO CONSTRUCTION.
- 17. CONCRETE CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN ON PLANS. MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO STATE D.O.T. STANDARD SPECIFICATIONS.
- 18. ALL CONCRETE SHALL HAVE 3000 PSI COMPRESSIVE STRENGTH AFTER 28 DAYS,
 WITH A MAXIMUM SLUMP OF FOUR (4) INCHES, UNLESS SPECIFIED OTHERWISE.
- ALL EXPOSED CONCRETE SHALL HAVE A FINE HAIR BROOMED FINISH.
 PARKING AND DRIVEWAY BASE COURSE AND ASPHALTIC CONCRETE SURFACE AND PRIME MATERIALS, EQUIPMENT, METHODS FOR CONSTRUCTION AND
- WORKMANSHIP SHALL CONFORM TO STATE D.O.T. STANDARD SPECIFICATIONS

 21. CONTRACTOR TO FIELD VERIFY <u>ALL</u> STORM, SANITARY, WATER AND OTHER

 UTILITIES LOCATIONS AND INVERTS PRIOR TO INSTALLATION OF <u>ANY</u> UTILITIES.

 NOTIFY ENGINEER PRIOR TO PROCEEDING WITH ANY WORK IF DISCREPANCIES
- 22. CONTRACTOR SHALL USE CONCRETE THRUST BLOCKS FOR INSTALLATION OF
- 23. ALL DIMENSIONS ARE MEASURED TO THE BACK OF CURB UNLESS OTHERWISE

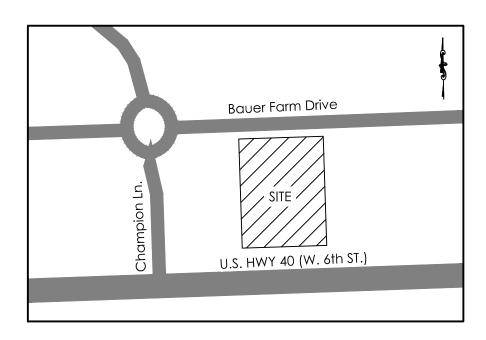
SITE DEVELOPMENT PLANS



FOR

JULI, LLC
BAUER FARM PCD
4661 BAUER FARM DRIVE
CITY OF LAWERENCE
DOUGLAS COUNTY, KANSAS

FEBRUARY 5, 2016



LOCATION MAP SCALE: 1" = 200'

PROJECT NOTES:

OWNER / DEVELOPER: JULI, LLC P.O. Box 1439 Watkinsville, GA 30677 Contact: Ben Williams

Tel.: (706) 714-1197

ENGINEER:
Carter Engineering Consultants, Inc.
3651 Mars Hill Road
Suite 2000
Watkinsville, Georgia 30677
Contact: Mark Campbell, P.E.
Tel.: (770) 725-1200
e-mail: mark@carterengineering.net

APPROVED AS A FINAL DEVELOPMENT PLAN UNDER THE REGULATIONS OF THE CITY OF LAWRENCE & THE UNINCORPORATED AREAS OF DOUGLAS COUNTY

DATE

DATE PLA

| PLANNI | CHAIR

PLANNING COMMISSIONER

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS & DEMO PLAN
3	SITE PLAN
4	UTILITY PLAN
5	GRADING & DRAINAGE PLAN
6	EROSION CONTROL PLAN
7	STORM PIPE PROFILES
8	STANDARD DETAILS
9	ADA ACCESS PLAN
10	ADA DETAILS
11	LANDSCAPE PLAN
12	OUTDOOR LIGHTING PLAN
A105	FRONT & REAR EXTERIOR ELEVATIONS
A106	DRIVE THRU & RIGHT EXTERIOR ELEVATIONS

REVISION BLOCK

REV. NO.	DATE	DESCRIPTION
Α	02/05/16	INITIAL SUBMITTAL
В	02/29/16	REVISED PER CITY COMMENTS
С	03/16/16	ADDRESS COMMENTS
D	04/29/16	REVISE BOUNDARY PER SURVEY



Carter Engineering Consultants, Inc. 3651 Mars Hill Road Suite 2000 Watkinsville, GA 30677 P: 770.725.1200 F: 706.559.7435



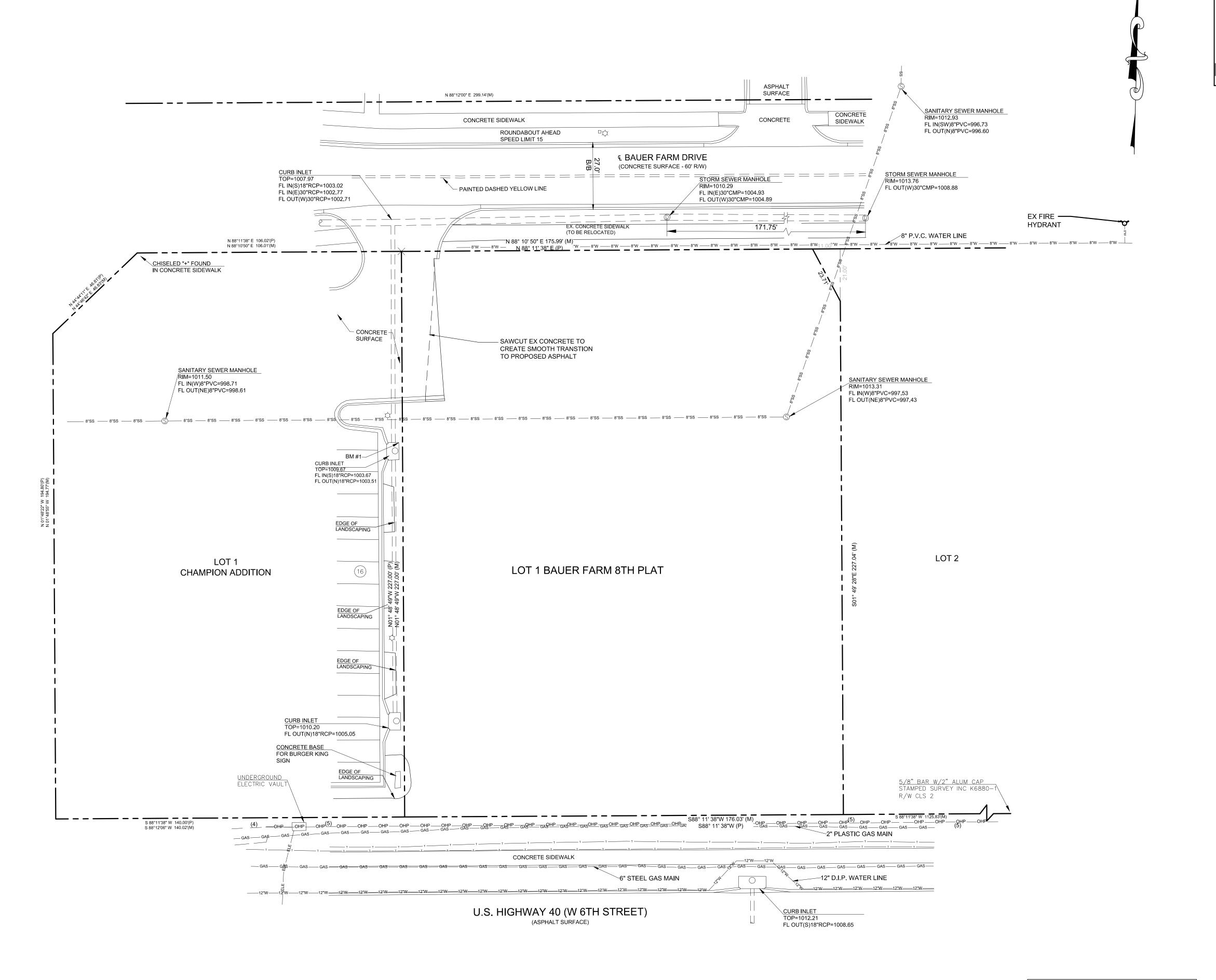
24-HOUR CONTACT: Ben Williams (706) 714-1197

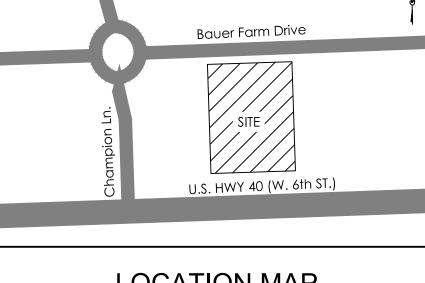
SITE DEVELOPMENT PLANS



NOTE:
FINAL DEVELOPMENT PLANS MUST BE
RECORDED WITH THE DOUGLAS COUNTY
REGISTER OF DEEDS OFFICE.

FOR
JULI, LLC
ZONED: PCD
TOTAL SITE AREA: 0.92 ACRES
DISTURBED AREA: 0.95 ACRES





LOCATION MAP SCALE: 1" = 200'

DEMOLITION NOTES:

AS SHOWN ON PLANS.

1. THE LOCATIONS OF ALL EXSTING FACILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES.

2. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION AND EQUIPMENT REQUIRED FOR THE ORDERLY DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, PAVEMENT AND UTILITIES AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.

3. THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMSELF WITH THE STRUCTURES TO BE DEMOLISHED. A BRIEF DESCRIPTION OF THE STRUCTURES IS INCLUDED FOR THE CONTRACTOR'S CONVENIENCE ONLY.

4. THE FOLLOWING LIST OF STRUCTURES REQUIRING DEMOLITION IS INCLUDED FOR THE CONTRACTORS CONVENIENCE ONLY. THE DRAWINGS INDICATE THE SCOPE OF DEMOLITION WHERE DEMOLITION IS REQUIRED.

A. DEMOLITION AND REMOVAL OF EXISTING ONE-STORY BRICK AND GLASS

B. DEMOLITION AND REMOVAL OF EXISTING ON SITE ASPHALT, CONCRETE PAVING, AND CURBING TO DEMOLITION LINE SHOWN. C. REMOVAL OF EXISTING ON SITE ABOVE-GROUND AND UNDERGROUND UTILITIES, INCLUDING REMOVAL AND/OR PLUGGING OF EXISTING UTILITIES

5. PRIOR TO REMOVAL OF ANY UNDERGROUND SEWAGE TANK AND COMPONENTS FROM SERVICE, CONTRACTOR MUST COMPLETELY DRAIN THE SYSTEMS TO AN APPROVED SANITATION TANK FOR DISPOSAL AT AN APPROVED LOCATION AND IN ACCORDANCE WITH LOCAL & STATE REQUIREMENTS.

6. ALL ON SITE UNDERGROUND STRUCTURES AND PIPING MUST BE COMPLETELY REMOVED AND OVER-EXCAVATED BY A MINIMUM OF 12" BENEATH THE STRUCTURES. CONTRACTOR SHALL USE APPROVED FILLING MATERIAL FOR FILLING THESE AREAS. FILL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8" IN THICKNESS AND COMPACTED TO AT LEAST 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-)698.

7. ALL EXISTING STRUCTURES, PAVEMENTS, SLABS, FOUNDATIONS, STEPS AND OTHER EXISTING FEATURES INDICATED ON THE DRAWINGS TO BE REMOVED SHALL BE DEMOLISHED AND REMOVED BY THE CONTRACTOR. REMOVE NO STRUCTURE SUBSTANTIALLY AS A WHOLE. DEMOLISH COMPLETELY ON THE PREMISES.

8. ALL EXISTING SEWERS, PIPING, UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.

9. ELECTRICAL, TELEPHONE, CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY PRIOR TO COMMENCEMENT OF CONSTRUCTION. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS A NECESSITY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.

10. PROVIDE ADEQUATE PROTECTION FOR PERSONS AND PROPERTY AT

ALL TIMES. EXECUTE THE WORK IN A MANNER TO AVOID HAZARDS TO PERSONS AND PROPERTY AND PREVENT INTERFERENCE WITH THE USE OF AND ACCESS TO ADJACENT BUILDINGS. STREETS AND SIDEWALKS SHALL NOT BE BLOCKED BY DEBRIS AND EQUIPMENT.

11. AIR HAMMERS OR OTHER DEVICES WILL BE PERMITTED ON EXTERIOR

12. CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING THE DEMOLTION/EXCAVATION PROCESS.

A. REMOVE AND LEGALLY DISPOSE OF ALL OTHER RUBBISH, RUBBLE, AND DEBRIS. COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING DISPOSAL OF WASTE AND DEBRIS. 14. PAVEMENT REMOVAL

A. WHERE EXISTING PAVEMENT IS TO BE REMOVED, SAW-CUT THE SURFACING LEAVING A UNIFORM AND STRAIGHT EDGE WITH A MINIMUM OF DISTURBANCE TO THE REMAINING ADJACENT SURFACING. IF CONSTRUCTION RESULTS IN RAVELING OF THE SAW-CUT SURFACE, RECUT BACK FROM THE RAVELED EDGE PRIOR TO RESTORATION.

B. WHERE EXISTING PAVEMENT, CURB, CURB AND GUTTER, SIDEWALK, DRIVEWAY OR VALLEY GUTTER IS REMOVED FOR THE PURPOSE OF CONSTRUCTING OR REMOVING BOX CULVERTS, PIPE, INLETS, MANHOLES, APPURTENANCES, FACILITIES OR STRUCTURES, SAID PAVEMENT, ETC., SHALL BE REPLACED AND RESTORED IN EQUAL OR BETTER CONDITION THAN THE ORIGINAL, CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT, TOOLS, SUPPLIES, AND OTHER EQUIPMENT AS REQUIRED.

15. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING

16. PERMITTING: IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY REQUIRED PERMITTING FOR DEMOLITION FROM RESPONSIBLE REGULATIONS AND FULLY ACKNOWLEDGE AND COMPLY WITH ALL REQUIREMENTS PRIOR TO COMMENCING DEMOLITION WORK.

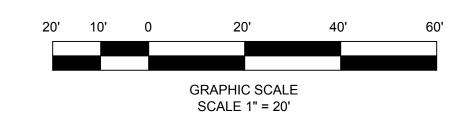
17. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED IN ORDER TO PERFORM THE CONTRACT WORK FOR THIS PROJECT. THE CONTRACTOR SHALL CONDUCT SITE VISITS AND SHALL EXAMINE ALL OF THE INFORMATION WITHIN THESE DOCUMENTS: ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BID SUBMITTAL.

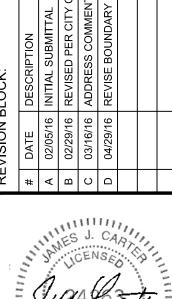
18. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

19. THE CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO COMMENCEMENT OF ANY WORK. ACTUAL REMOVAL AND/OR RELOCATION OF ALL EXISTING PLANTS IS TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR. IT IS THE RESPONSIBILITY OF THE SITEWORK CONTRACTOR TO COORDINATE DEMOLITION ACTIVITIES WITH THE LANDSCAPE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND PRESERVING TREES AS INDICATED BY THE OWNER. 20. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITY TO THAT AREA

DELINEATED IN THE DRAWING, ALL OTHER EXIST. UTILITIES INCLUDING: STORM DRAINAGE, GAS, ELECTRIC, TELEPHONE, AND WATER & SEWER SHALL BE PRESERVED & PROTECTED.

21. A SEPARATE DEMOLITION PERMIT IS REQUIRED FOR THE DEMOLITION OF THE ACTUAL BUILDING.







5/3/16



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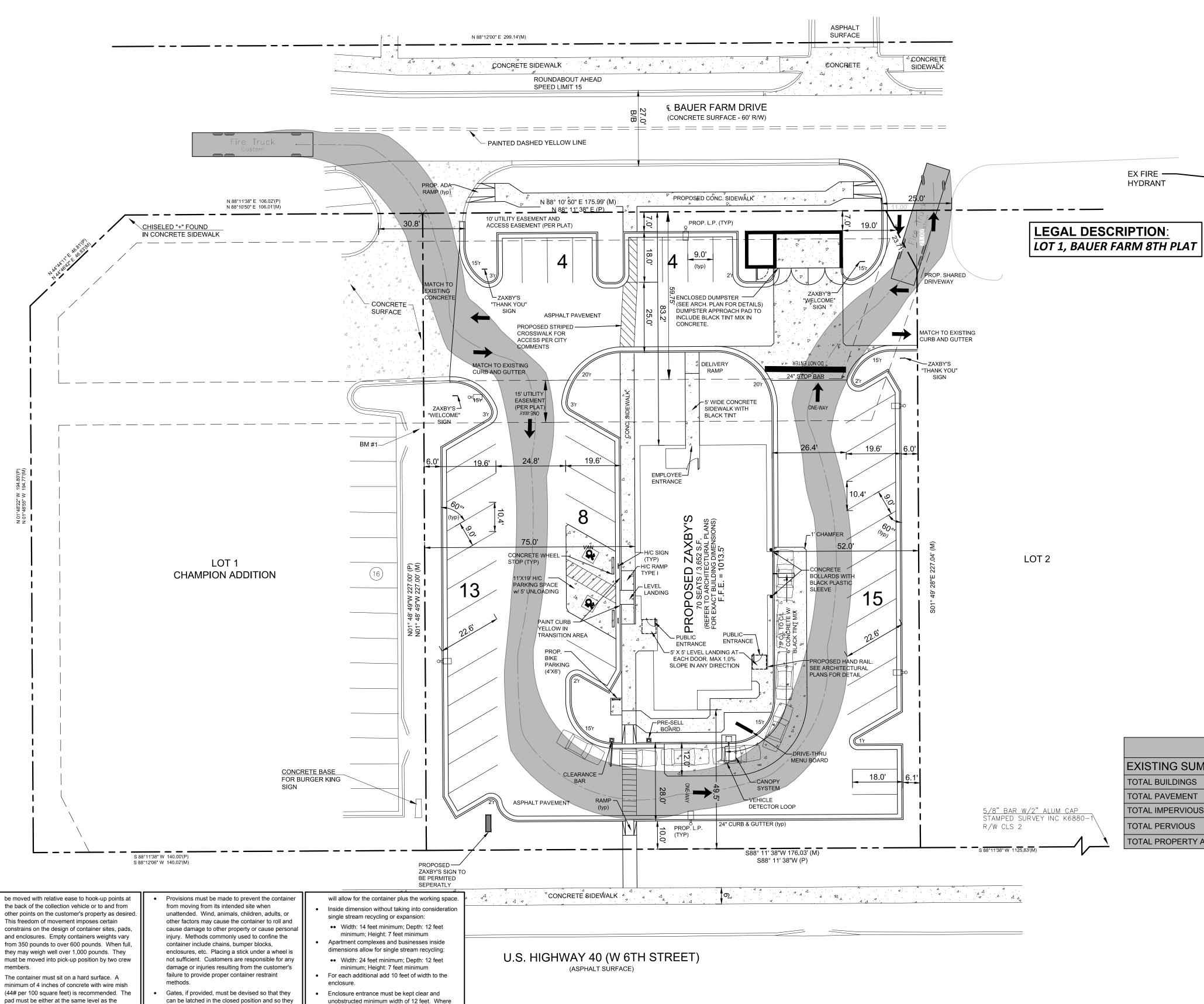
PROJECT NAME:

SIT

SHEET TITLE: **EXISTING CONDITIONS & DEMO PLAN**

SHEET NUMBER:

PROJECT NUMBER: 15135ZAX



OUMPSTER ENCLOSURE NOTES:

container weight.

clearance to 21 feet.

Refuse containers are serviced by large, heavy

location of the container. The customer bears full

driveway strength. The City is not responsible for

Approach lanes to the container sites must provide

Removal of snow and ice to permit safe approach

to the container is the customer's responsibility.

This is a particular if the approach is not level. It is

the customer's responsibility to remove snow and

ice from within enclosure and from approaches to

Enclosures are designed for trash and recycling

locations for grease bins and other items or make

accommodate other items such as grease bins so

the necessary adjustments to the enclosure to

the solid waste service will not be impeded and

Front load trucks are not highly maneuverable.

very limited visibility directly behind the truck.

These limitations should be considered when

They are operated by one-person crew and have

selecting sites for containers to prevent property

damage and injury. Front load containers are not

equipped with wheels; therefor, these containers

cannot be moved except by use of the refuse

collection truck or other heavy equipment. Rear

loaders containers used by the City are equipped

with four, non-locking, swivel casters so they can

that equipment and personnel is not at risk.

dumpsters ONLY. Plan for other appropriate

collection vehicle or a shallow grade ramp from

must be provided. Container pads must be level,

or nearly so, to facilitate movement by the crew.

The collection truck must be on a level or nearly

level plane when connecting to the container due

Collection crews will not be able to lift containers

to and from curb height, over bumper blocks, or

gravel. Container pads or enclosure floors must

The approach to the container site should provide

a concrete pad 6" thick with wire mesh (44# per

enclosure entrance out to a distance of 8 feet so

The area over the container and for 20 feet in from

of the container must be clear of overhead

obstructions to a height of 21 feet.

that the truck wheels are adequately supported

100 square feet) from the container front or

pull them through soft dirt, mud, snow, ice, or

have a hard surface.

during the dump process.

to the fixed height of the attachment point.

the surface of the pad to the lot or street level

can be secured in the fully open position while the

enclosure entrance. Gates may be required if the

"bumper posts" per container along the inside of

the back wall to prevent the container from being

pushed into the wall. The front loading collection

system imposes sever visibility limitations on the

driver while he is connecting and disconnecting

the container and while maneuvering the truck

with the container on the pick-up forks. Operating

in hours of darkness or adverse weather further

aggravates this limitation. The "bumper posts"

should be 4" diameter heavy steel posts set in

of each post should be 24" minimum.

concrete at least 4" from the back wall. The height

Containers which will not be in an enclosure but

will be placed near a building wall or fence must

be provided "bumper posts" as described above.

A clear working area of 12" is needed on all sides

of the container. Using the following dimensions

collection vehicle is entering and leaving the

All enclosures must have a minimum of two

enclosure is visible from the street.

gates are required on enclosures, a minimum

Enclosure walls must be protected from impact

• All enclosures must have a minimum of two

• All enclosures must be protected from impact

the inside of the enclosure; OR

bumper posts per container along the inside

of the back wall to prevent the container from

with the container by the provision of either:

••• Properly placed bumper blocks around

••• A striker board, or reinforcement boards

around the inside of the enclosure, 2" x

8" minimum, centered 49.5" above the

with the container (see diagram)

being pushed into the wall.

- SOUTH LINE OF SEC 28

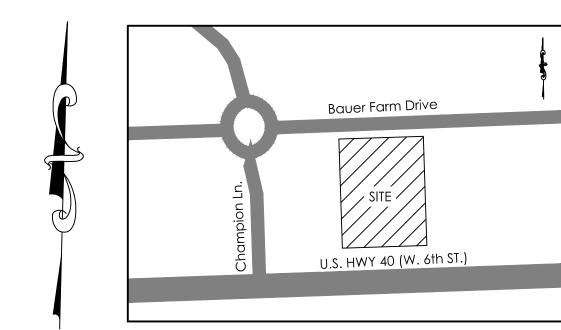
width of 12 feet openings between gate posts are

trucks. These trucks must be driven to the

responsibility for the privately owned lot and

damage to pavement resulting from truck or

12 feet of unobstructed width and overhead



LOCATION MAP SCALE: 1" = 200'

PROJECT NOTES: OWNER / DEVELOPER: JULI, LLC P.O. Box 1439 Watkinsville, GA 30677 Contact: Ben Williams Tel.: (706) 714-1197 ENGINEER: Carter Engineering Consultants, Inc. 3651 Mars Hill Road, Suite 2000 Watkinsville, Georgia 30677 Contact: Mark Campbell, P.E. Tel. (770) 725-1200 mark@carterengineering.net Property located at 4661 Bauer Farm Drive, Lawerence, KS. Current Zoning: PCD

Setbacks: Front 15' Rear 35'

Proposed use is a Fast Order Food, Drive-in

Proposed building height is 20'

Boundary and topographical information obtained from field run survey by KAW Valley Engineering dated: January 8, 2016 Phone: (865) 689-6169

Project tract contains 0.92 acres, disturbed area = 0.95 acres

Contour interval is 1 foot (NAVD 88)

physically located all the underground utilities.

The property shown hereon does not lie within a 100 year flood plain according to Flood Insurance Rate Map # 20045CO156E dated: September 2, 2015.

The underground utilities shown hereon have been located from field information and existing drawings. The surveyor nor engineer warrants that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor nor engineer warrants that the underground utilities shown are in the exact location indicated. The surveyor nor engineer has

It is the responsibility of the contractor to field locate all utilities prior to commencing work and notify engineer if a discrepancy is found.

The contractor shall verify the invert elevations of all existing storm and sanitary sewer structures prior to commencement of storm and sanitary sewer construction.

UNDERGROUND UTILTIES DISCLAIMER

Information regarding the reputed presence, size, character and location of existing underground utilities and structures related to underground utilities is shown heron. There is no certainty of the accuracy of this information and it shall be considered in that light by those using this drawing. The location and arrangement of underground utilities and structures related to underground utilities shown hereon may be inaccurate and utilities and structures related to underground utilities not shown may be encountered. The owner, his employees, his consultants and his contractors shall hereby distinctly understand that the surveyor is not responsible for the correctness or sufficiency of this information regarding the underground utilities and structures related to underground utilities shown hereon.

PROPERTY SURFACE SUMMARY							
EXISTING SUMMARY		SUMMARY AFTER PROJECT COMPLETION					
TOTAL BUILDINGS	0 S.F.	TOTAL BUILDINGS	3,652 S.F.				
TOTAL PAVEMENT	907 S.F.	TOTAL PAVEMENT	27,508 S.F.				
TOTAL IMPERVIOUS	907 S.F.	TOTAL IMPERVIOUS	31,160 S.F.				
TOTAL PERVIOUS	38,918 S.F.	TOTAL PERVIOUS	8,665 S.F.				
TOTAL PROPERTY AREA	39,825 S.F.	TOTAL PROPERTY AREA	39,825 S.F.				

1 PER 100 S.F. OF C.S. AREA PLUS 1 PER EMPLOYEE -1826 S.F. / 100 = 18.26 = 19 SPACES - 10 EMPLOYEES BASED ON LARGEST SHIFT TOTAL REQUIRED = 29 SPACES

PAVEMENT DISCLOSURE: THE CITY WILL NO BE HELD LIABLE FOR

DAMAGE TO PAVEMENT FROM TRUCKS NOTE:
NO OUTDOOR DINING AREA PROPOSED AS PART OF THIS PROJECT.

GRAPHIC SCALE SCALE 1" = 20'



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5/3/16

ENGINEERING

CONSULTANTS

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PLAN

OPMENT

SITE

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

PROJECT NUMBER: 15135ZAX

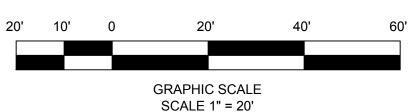
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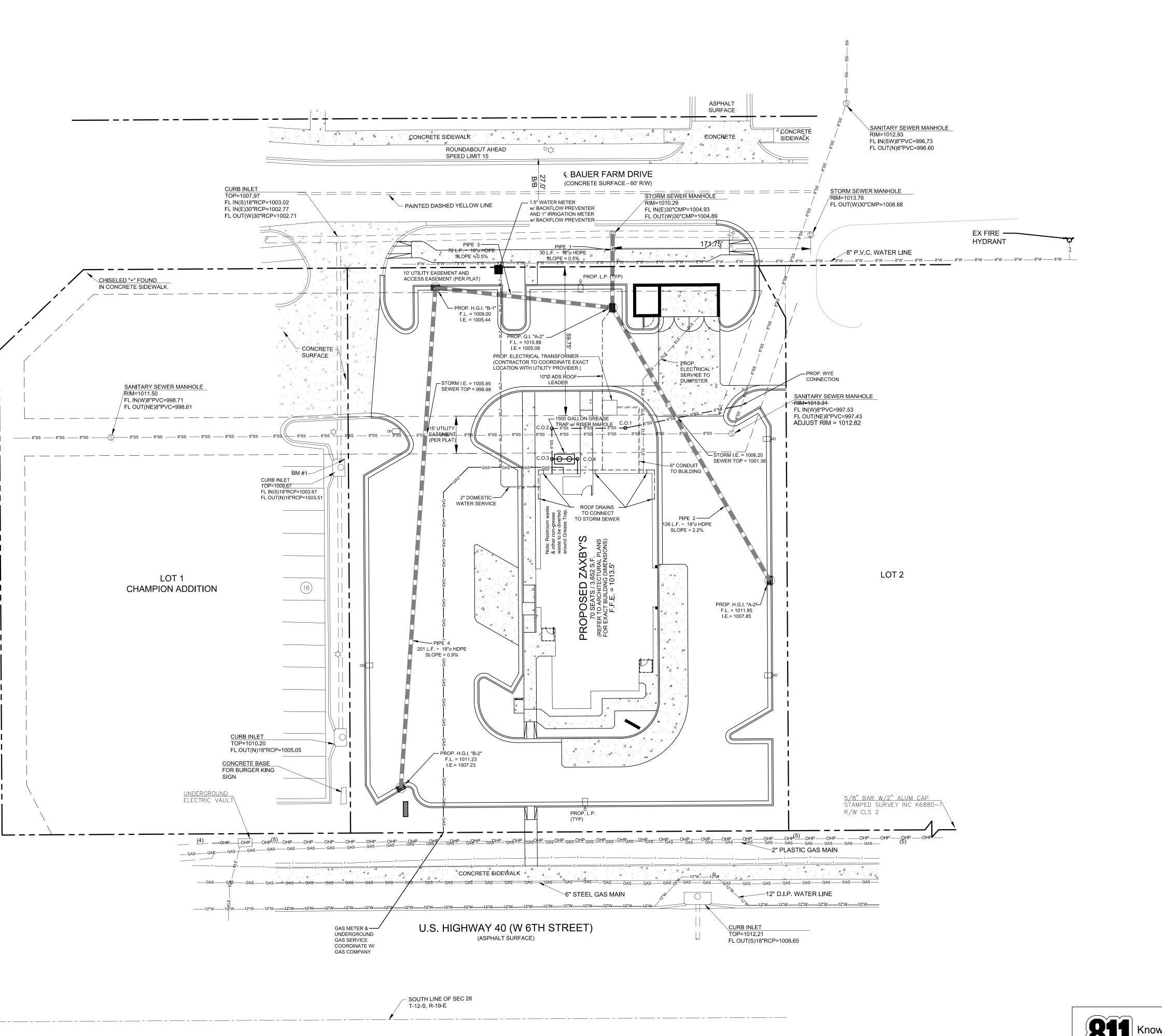
PARKING DATA:

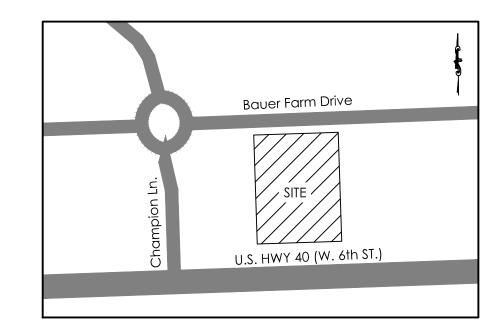
- PARKING SPACES REQUIRED:

44 SPACES PROPOSED (42 regular spaces provided) (2 handicap spaces provided)









LOCATION MAP SCALE: 1" = 200'

PROJECT NOTES: OWNER / DEVELOPER: JULI, LLC P.O. Box 1439 Watkinsville, GA 30677 Contact: Ben Williams Tel.: (706) 714-1197

> ENGINEER: Carter Engineering Consultants, Inc. 3651 Mars Hill Road, Suite 2000 Watkinsville, Georgia 30677 Contact: Mark Campbell, P.E. Tel. (770) 725-1200 mark@carterengineering.net

Property located at 4661 Bauer Farm Drive, Lawerence, KS. Current Zoning: PCD

Setbacks: Front 15' Rear 35' Proposed use is a Fast Order Food, Drive-in

Proposed building height is 20'

Boundary and topographical information obtained from field run survey by KAW Valley Engineering dated: January 8, 2016 Phone: (865) 689-6169

Project tract contains 0.92 acres, disturbed area = 0.95 acres

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SEWER CHART						
TOP INVERT						
PROP. WYE	1014.25'	997.37'				
C.O. 1	1013.50'	1003.57'				
C.O. 2	1013.50'	1007.62'				
C.O. 3	1013.50'	1008.34'				
C.O. 4	1014.50'	1008.44'				
BLDG	1015.50'	1008.50'				

GREASE TRAP SIZING CALCULATION:

(S) X (GS) X (HR/12) X (LF) = CAPACITY IN GALLONS (S) - Number of seats in dining area = 70 Seats

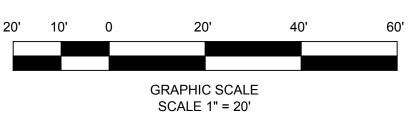
(GS) - Gallons of waste water per seat (Single Service Article Restaurant) = 10 gal. (HR) - Numbers of Hours of Establishment is open = 12 hr. (LF) - Loading Factor (Main Highway) = 1.00

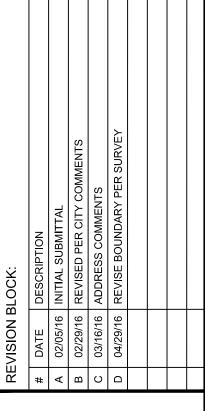
 $(70) \times (10) \times (12/12) \times (1.00) = 700 \text{ GALLONS CAPACITY MINIMUM}$ 1500 GALLON EXTERIOR PRECAST CONCRETE GREASE INTERCEPTOR PROVIDED IN LANDSCAPED AREA AT REAR OF BUILDING.

SEWER SERVICE LINE NOTE 6" SERVICE LINE SHALL MAINTAIN A MINIMUM 1% SLOPE.

METER APPLICATION NOTE: WATER METER APPLICATION TO BE SUBMITTED PRIOR TO RECEIVING THE METER AND INSTILLATION









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PLAN CD VELOPMENT

PROJECT NAME:

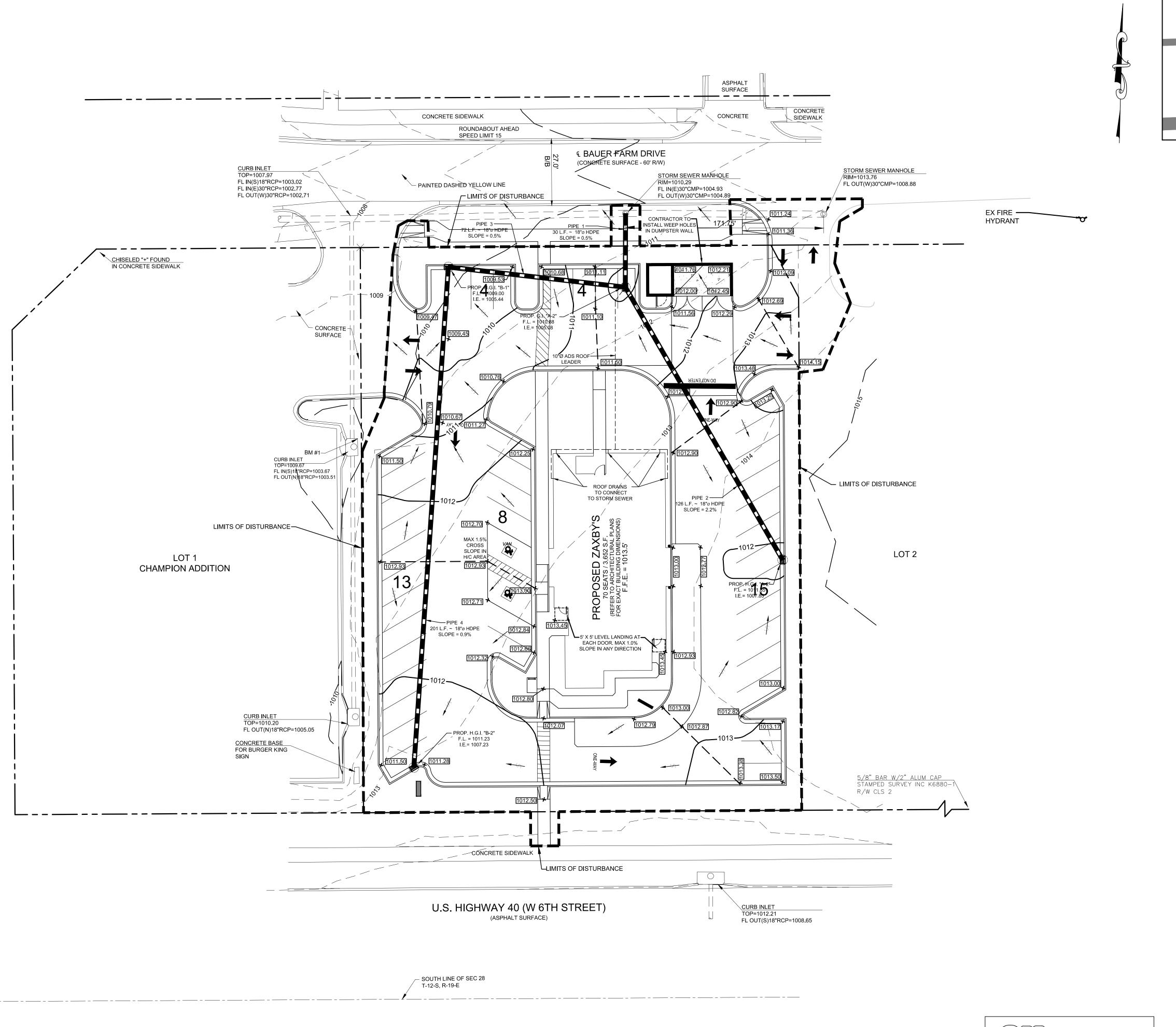
SITE

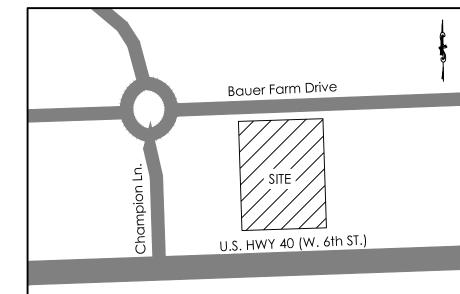
SHEET TITLE:

UTILITY PLAN

SHEET NUMBER:

PROJECT NUMBER: 15135ZAX





LOCATION MAP SCALE: 1" = 200'

STORM NOTE:

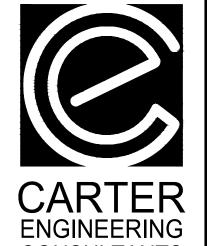
THE SITE DRAINS TO AN EXISTING STORM SYSTEM THAT DRAINS TO A MASTER STORMWATER MANAGMENT FACILTIE FOR THE OVERALL DEVELOPMENT.

GRAPHIC SCALE SCALE 1" = 20'



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5/3/16



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CONSULTANTS

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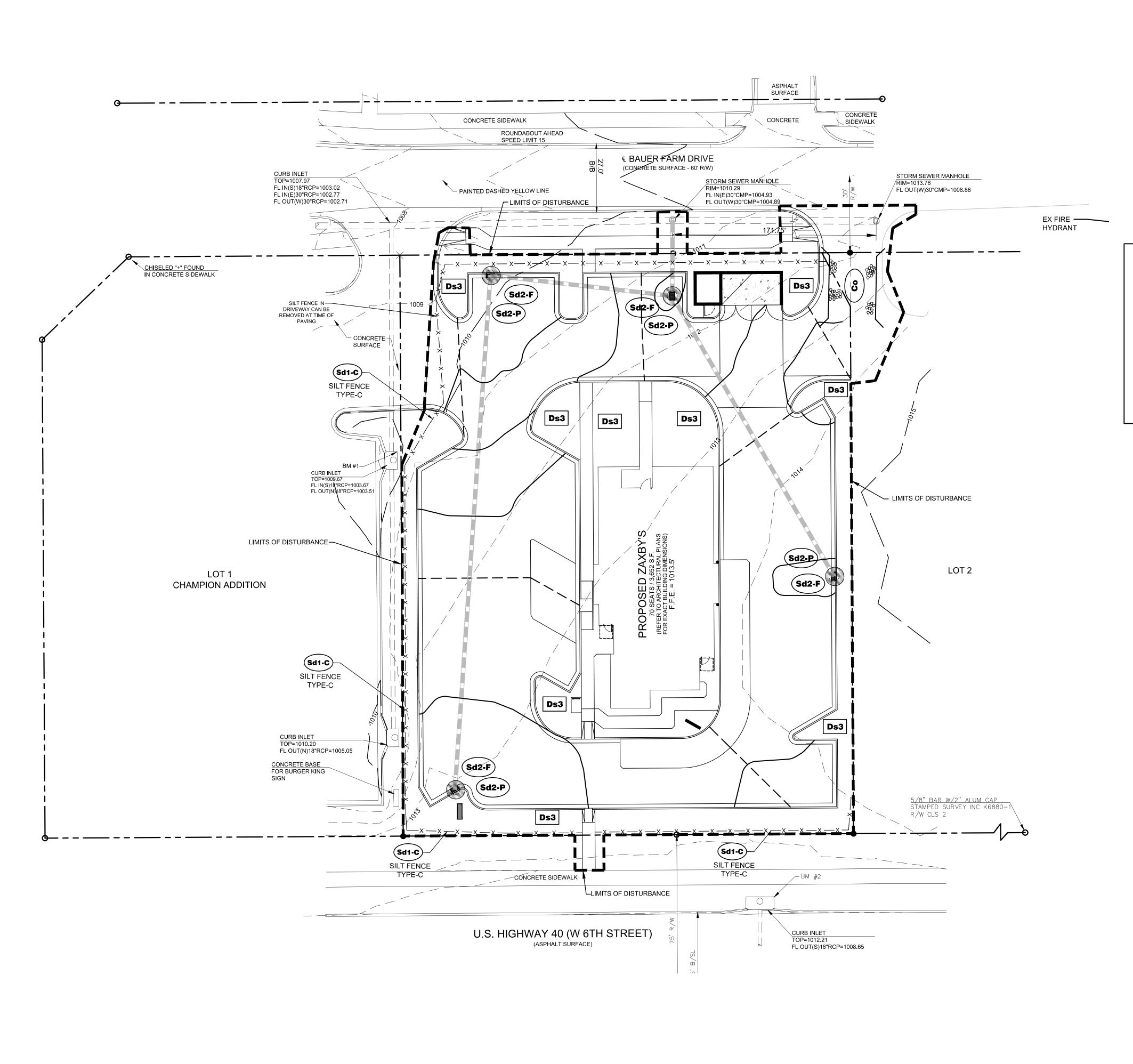
PLANS DEVELOPMENT SITE

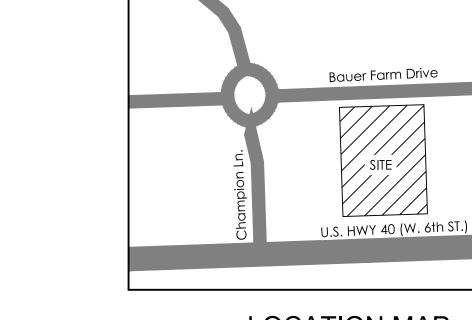
SHEET TITLE: **GRADING AND** DRAINAGE PLAN

SHEET NUMBER:

PROJECT NUMBER: 15135ZAX







LOCATION MAP SCALE: 1" = 200'

EROSION CONTROL NOTES:

- DEVELOPER/OWNER: JULI, LLC; P.O. BOX 1439, WATKINSVILLE, GA 30677 TEL. (706) 714-1197
 24 HOUR CONTACT: BEN WILLIAMS (706) 714-1197
- 3. PROJECT INCLUDES CONSTRUCTION OF A 3,652 S.F. BUILDING WITH ASSOCIATED UTILITIES.
- TOTAL TRACT AREA = 0.92 acres, TOTAL DISTURBED AREA = 0.95 acres
 4. ADDITIONAL MEASURES WILL BE ADDED IF DETERMINED TO BE NEEDED BY ON-SITE
- INSPECTION

 5. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT
- WITH, LAND-DISTURBING ACTIVITIES.

 6. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLANS DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO
- 7. STANDARD AND SPECIFICATIONS: ALL DESIGN WILL CONFORM TO AND ALL WORK WILL WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED "MANUAL FOR EROSION AND SEDIMENT CONTROL IN KANSAS"

CONTROL OR TREAT THE SEDIMENT SOURCE. PRACTICES WILL BE CHECKED DAILY.

ACTIVITY SCHEDULE:

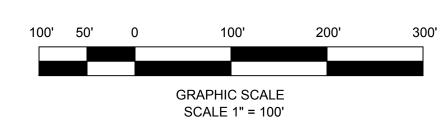
			<u> </u>	NTI	HS	20	16	
TASK DESCRIPTION:	MAY	JUNE	JULY	AUGUST	SEPTEMBER			
CONSTRUCTION EXIT AND PERIMETER SILT FENCE	X	_					Ш	Ļ
TEMPORARY SEDIMENT STORAGE FACILITIES	X							L
CLEARING & GRUBBING	X							L
ROUGH GRADING	X	Х						
TEMPORARY STABILIZATION (GRASSING)		Х	Х					
CURB AND GUTTER			Х					
GRAVEL SUBBASE FOR ROADS AND PARKING AREAS			Х					
BUILDING CONSTRUCTION		Х	Х	Х	Х			
FINAL GRADING				Х				
PAVING					Х			
FINAL STABILIZATION (LANDSCAPING)					Х			Γ

FINAL STABILIZATION (LANDSCAPING)	
LEGEND	
Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)	
Co CONSTRUCTION EXIT	# W
Sd1 SEDIMENT BARRIER	—x —x —
Sd2-F INLET SEDIMENT TRAP *	
Sd2p INLET SEDIMENT TRAP *	
Mb MATTING BLANKET	
LIMITS OF DISTURBANCE	

NOTE: * INLET SEDIMENT TRAP Sd2-F SHALL BE USED IN NON PAVED ARES UNTIL PAVING INS COMPLETE. WHILE Sd2-P SHALL BE USED IN AREAS THAT IS PAVED.

DISTURBANCE NOTE:
THE PROPOSED DISTURBANCE IS
LESS THAN 1.0 ACRE.



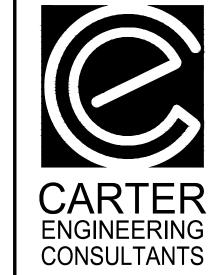


REVISION BLOCK:

DATE DESCRIPTION
A 02/05/16 INITIAL SUBMITTAL
B 02/29/16 REVISED PER CITY COMMENTS
C 03/16/16 ADDRESS COMMENTS
D 04/29/16 REVISE BOUNDARY PER SURVEY



5/3/16



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DEVELOPMENT PLANS for JULI, LLC BAUER FARM PCD

PROJECT NAME:

SHEET TITLE:

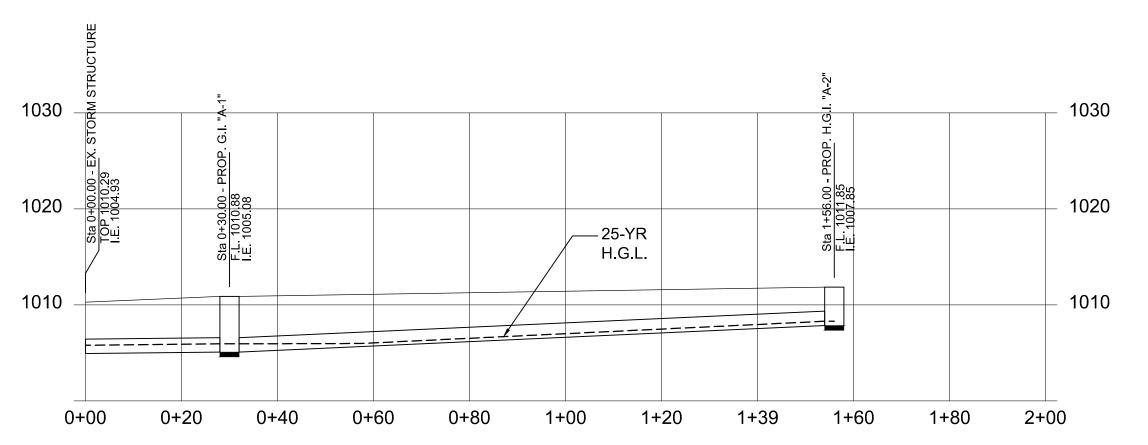
SITE

EROSION CONTROL PLAN

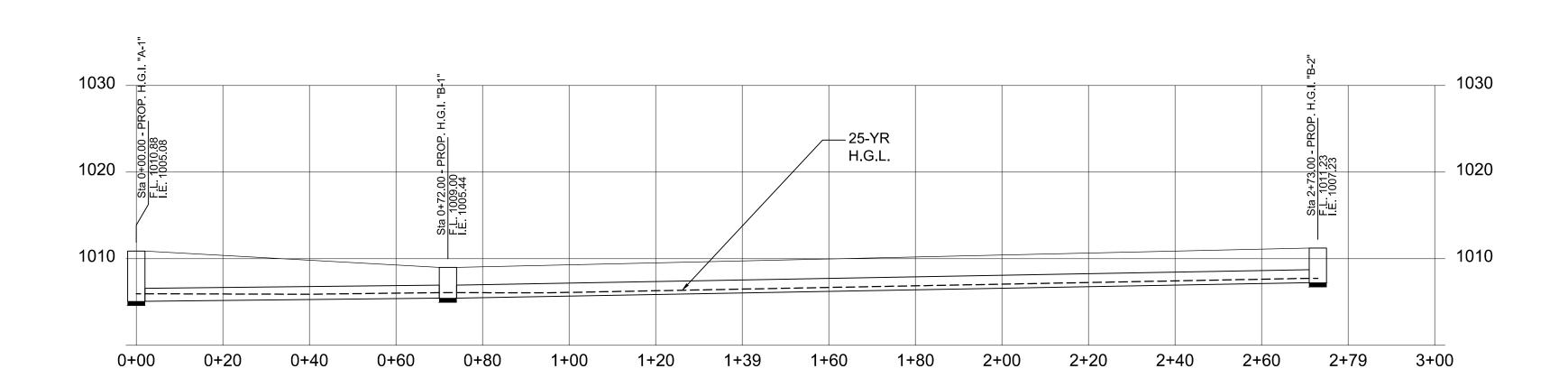
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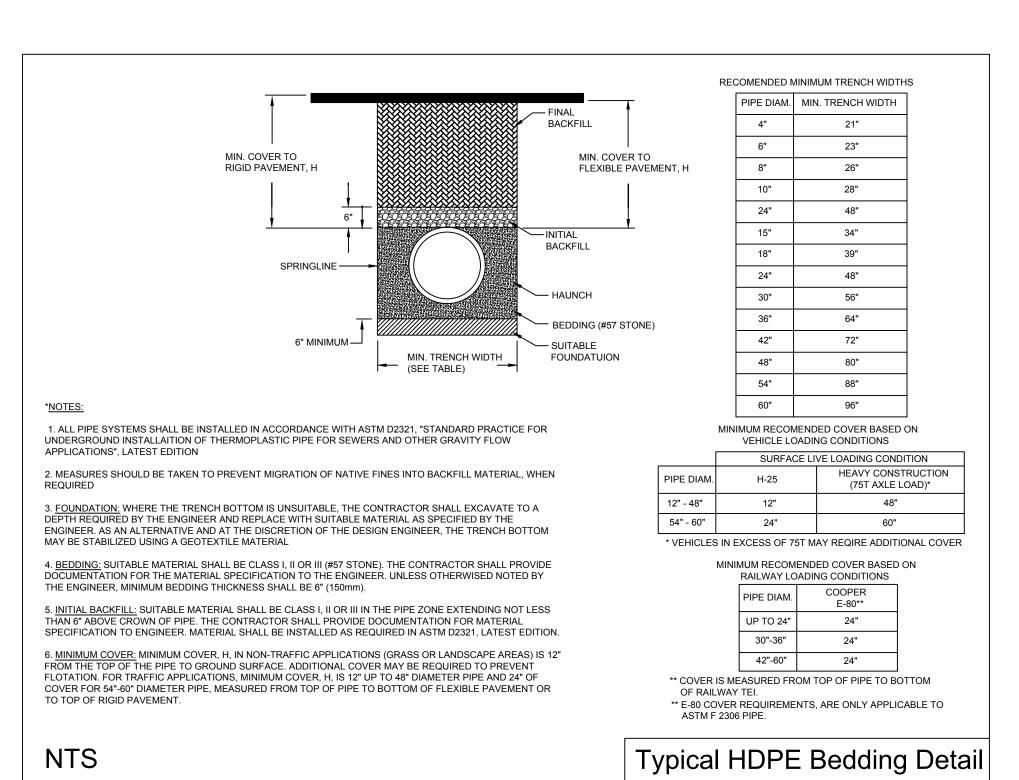
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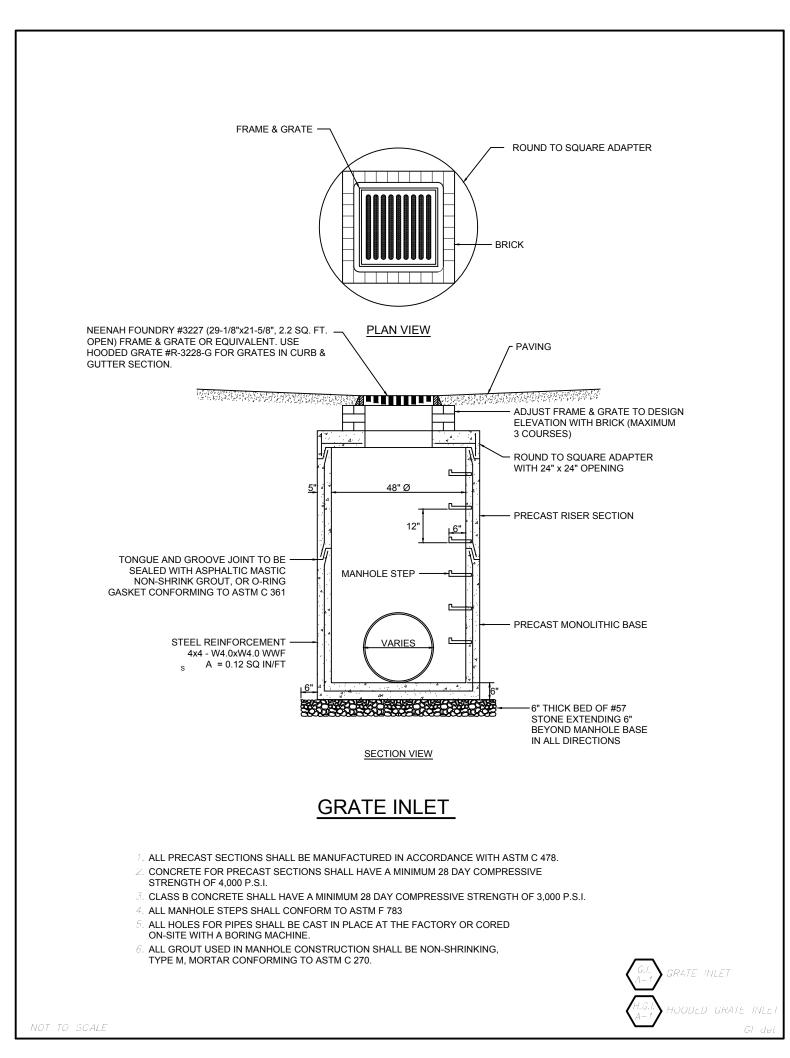
PROJECT NUMBER: 15135ZAX

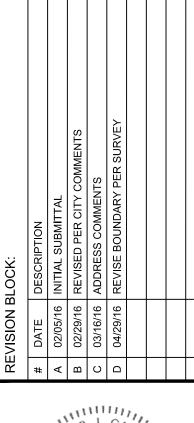


			25	- YR STO	ORM SEW	ER PROF	ILES			
				SCALE: 1	(in) = 20 (ft) H,	1(in) = 10(ft)	V			
Pipe No.	Flow	Size	Mat'l	Length	I.E. Down	I.E. Up	Slope	HGL Down	HGL Up	Velocity
	(cfs)	(in)		(ft)	(ft)	(ft)	(%)	(ft)	(ft)	(ft/s)
1	5.12	18	HDPE	30	1004.93	1005.08	0.5	1005.80	1005.95	4.81
2	1.44	19	HDPE	126	1005.08	1007.85	2.2	1005.95	1008.30	2.29
3	2.84	20	HDPE	72	1005.08	1005.44	0.5	1005.95	1006.08	3.31
4	1.79	21	HDPE	201	1005.44	1007.23	0.9	1006.08	1007.73	2.97











5/3/16



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PLAN CD OPMENT

PROJECT NAME:

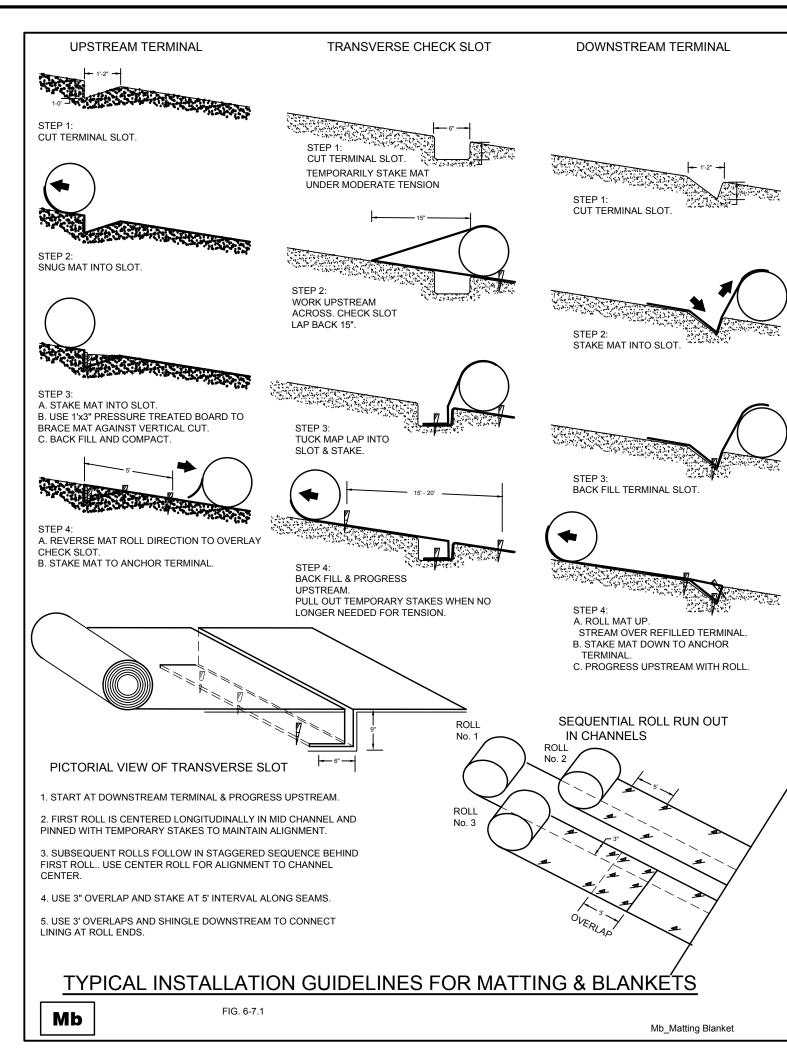
SHEET TITLE:

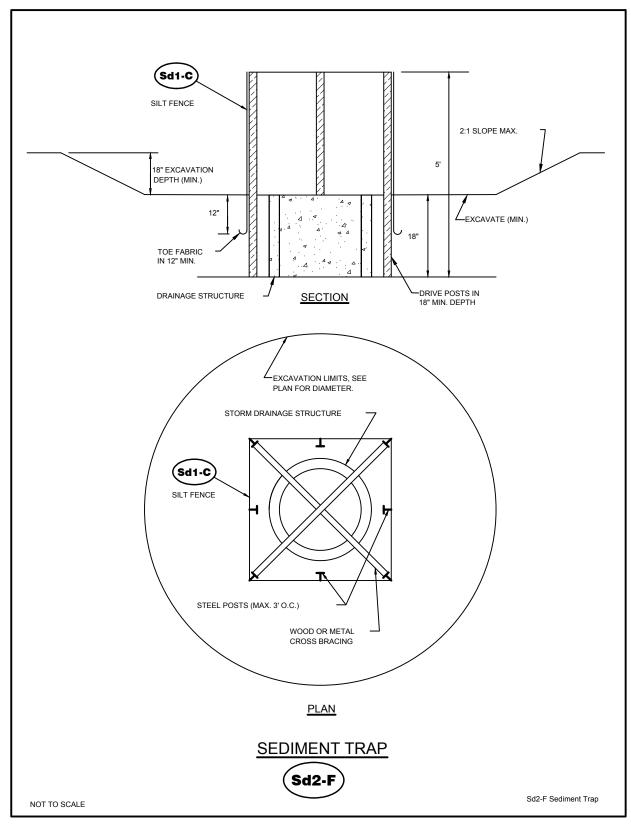
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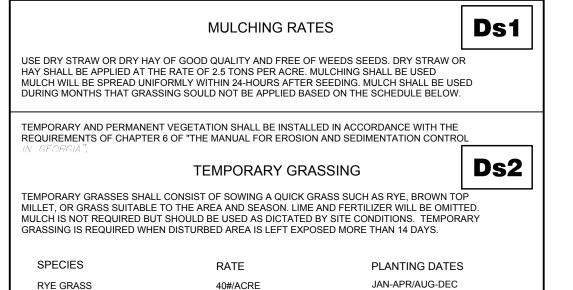
PIPE PROFILES

SHEET NUMBER:

PROJECT NUMBER: 15135ZAX







APRIL - JUNE AUGUST-DECEMBER

FEBRUARY-JUNE

FEBRUARY-APRIL

APRIL-AUGUST SEPTEMBER-DECEMBER 1/2-3bu./ACRE PERMANENT GRASSING Ds3 ERMANENT GRASSING SHALL CONSIST OF GROUND PREPARATION, LIMING, FERTILIZATION, MULCHING AND SEEDING. THE GROUND SHALL BE PREPARED BY PLOWING AND DISKING TO A DEPTH NOT LESS THAN 4". FERTILIZER AND LIME SHALL BE UNIFORMLY MIXED INTO THE

10-40#/ACRE

2-4#/ACRE

1/2-3 bu./ACRE

10-40#/ACRE

BROWN MILLET

SUDAN GRASS

WEEPING LOVEGRASS

ANNUAL LESPEDEZA

A DEL TITMOT LEGO TITAN 4 . I ENTICIZEN AND LIME STALL DE ONI ONMET MIXED INTO THE
GROUND, WITH FERTILIZER AT THE RATE OF 1500#/ACRE AND LIME AT THE RATE OF
2000#/ACRE. THE GROUND SHALL BE FINISHED OFF SMOOTH AND UNIFORM AND BE FREE OF
ROCKS, CLODS, ROOTS AND WEEDS. FERTILIZER SHALL BE APPLIED PER THE TABLE BELOW.
WEATHER PERMITTING, SEEDING SHALL BE DONE WITHIN 24 HOURS OF FERTILIZER APPLICATION.
SEED SHALL BE UNIFORMLY SPREAD AT THE RATES SHOWN BELOW. MULCHING IS REQUIRED
AND SHALL BE DONE IMMEDIATELY AFTER SEEDING. MULCH SHALL BE UNIFORMLY APPLIED OVER
THE AREA LEAVING APPROXIMATELY 25% OF THE GROUND SURFACE EXPOSED. THE RATE OF
APPLICATION SHALL BE DOUBLED ON SLOPES STEEPER THAN 4:1.
GRASSING RATES AND SCHEDULE
GIVAGGING IVATEG AND GOTTEDGEE

SPECIES	RATE	PLANTING DATES
TALL FESCUE	30-50#/ACRE	MARCH-APRIL/ AUGUST-OCTOBER
SERICEA LESPEDEZA (b) WEEPING LOVE GRASS UNHULLED BERMUDA HULLED BERMUDA BAHIA	60#/ACRE 2-4#/ACRE 6-10#/ACRE 6-10#/ACRE 30-60#/ACRE	MARCH-JUNE MARCH-JUNE JAN-FEB/OCT-DEC MARCH-JUNE APRIL-MARCH

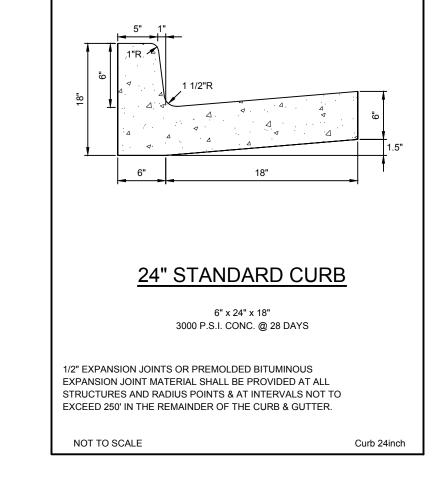
(a) USE A MINIMUM OF 40# SCARIFIED SEED. REMAINDER MAY BE UNSCARIFIED, CLEAN (b) USE EITHER COMMON SERALA, OR INTERSTATE SERICEA LESPEDEZA.

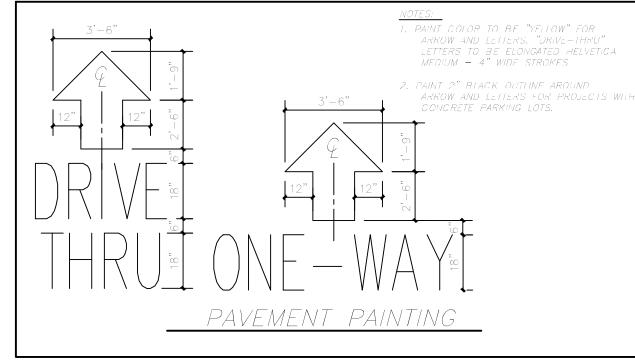
LIMING RATES

Agricultural lime is required at the rate of one to two tons per acre unless soil tests indicate otherwise. Graded areas require lime application. If lime is applied within six months of planting permanent perennial vegetation, additional lime is not required. Agricultural lime shall be within the specifications of the Kansas Department of Agriculture.

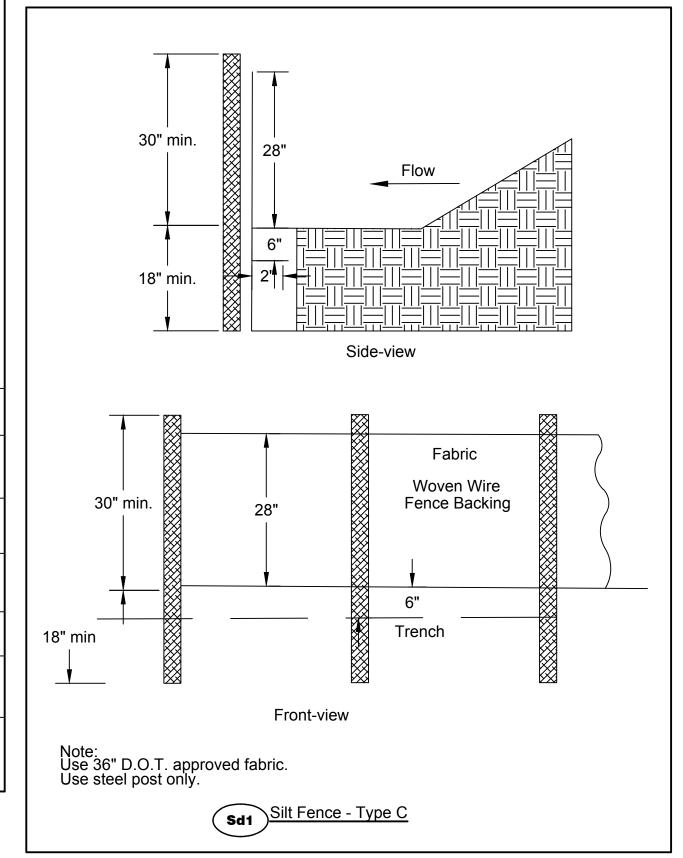
FERTILIZER REQUIREMENTS

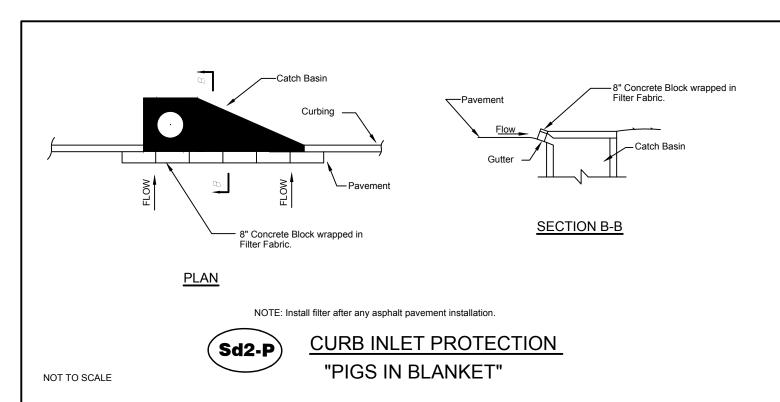
TYPES OF SPECIES	YEAR	ANALYSIS OR EQUIVALENT N-P-K	RATE	N TOP DRESSING RATE
Cool season grasses	First Second Maintenance	6-12-12 6-12-12 10-10-10	1500 lbs./ac. 1000 lbs./ac. 400 lbs./ac.	50-100 lbs./ac/ 1/2/ - 30
Cool season grasses and legumes	First Second Maintenance	6-12-12 0-10-10 0-10-10	1500 lbs./ac. 1000 lbs./ac. 400 lbs./ac.	0-50 lbs./ac. 1/ - -
3. Ground Covers	First Second Maintenance	10-10-10 10-10-10 10-10-10	1300 lbs./ac. 3/ 1300 lbx./ac. 3/ 1100 lbx./ac.	-
4. Shrub Lespedeza	First Maintenance	0-10-10 0-10-10	700 lbs./ac. 700 lbs./ac. 4/	-
5. Warm season grasses	First Second Maintenance	6-12-12 6-12-12 10-10-10	1500 lbs./ac. 800 lbs./ac. 400 lbs./ac.	50-100 lbs./ac. 2/ 6/ 50-100 lbs./ac. 2/ 30 lbs./ac.
Warm season grasses and legumes	First Second Maintenance	6-12-12 0-10-10 0-10-10	1500 lbs./ac. 1000 lbs./ac. 400 lbs./ac.	50 lbs./ac. 6/
				Ds1_Ds2_Ds3.dwg

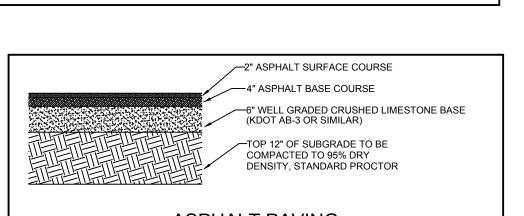




—— 6" PORTLAND CEMENT CONCRETE -4" WELL GRADED CRUSHED LIMESTONE BASE (KDOT AB-3, OR SIMILAR) TOP 12" OF SUBGRADE TO BE COMPACTED TO 95% DRY DENSITY, STANDARD PROCTOR **CONCRETE DETAIL**

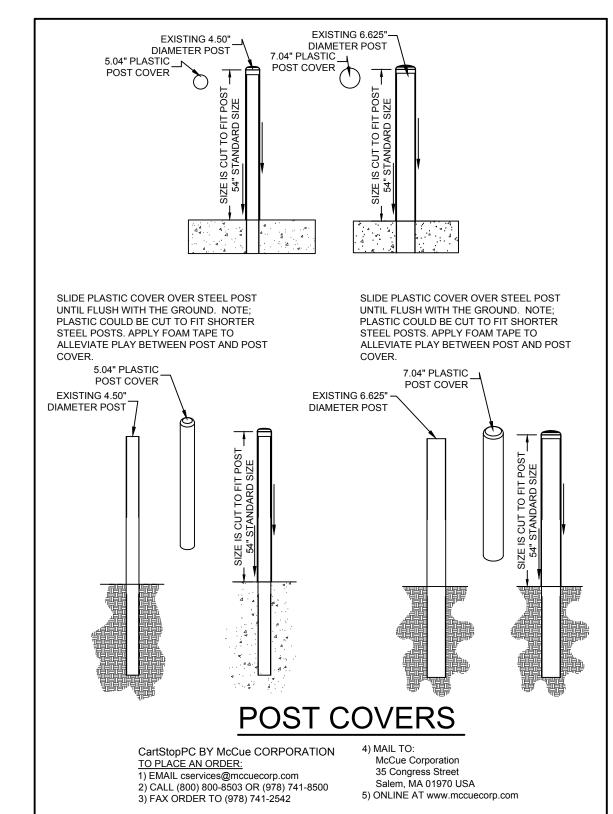


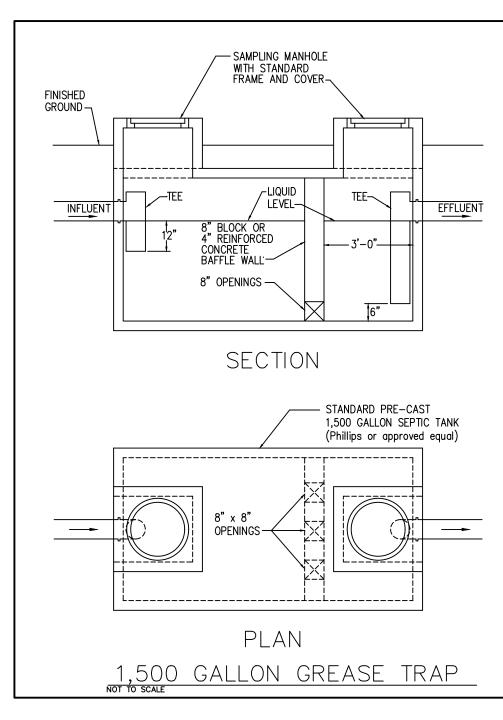


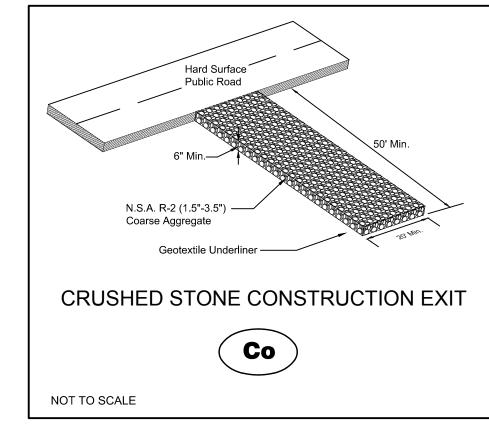


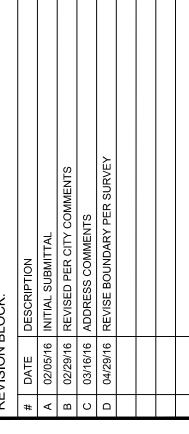
ASPHALT PAVING

The intent of this specification is to provide heavy duty asphalt in all applicable areas. The geotechnical report is provided by Terracon, dated: February 23, 2016.















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PLANS DEVELOPMENT for

ZAXBYS

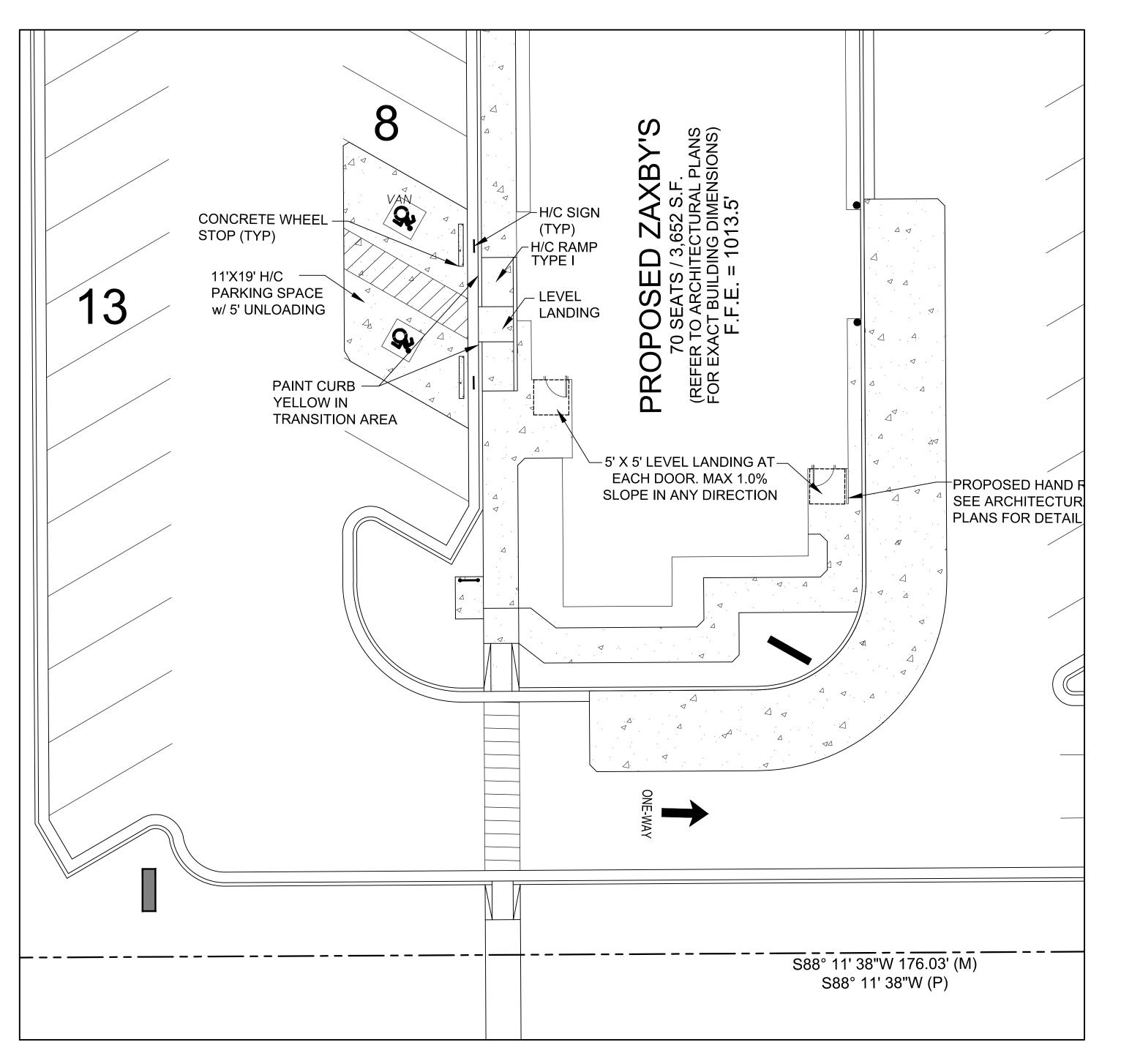
SHEET TITLE: STANDARD

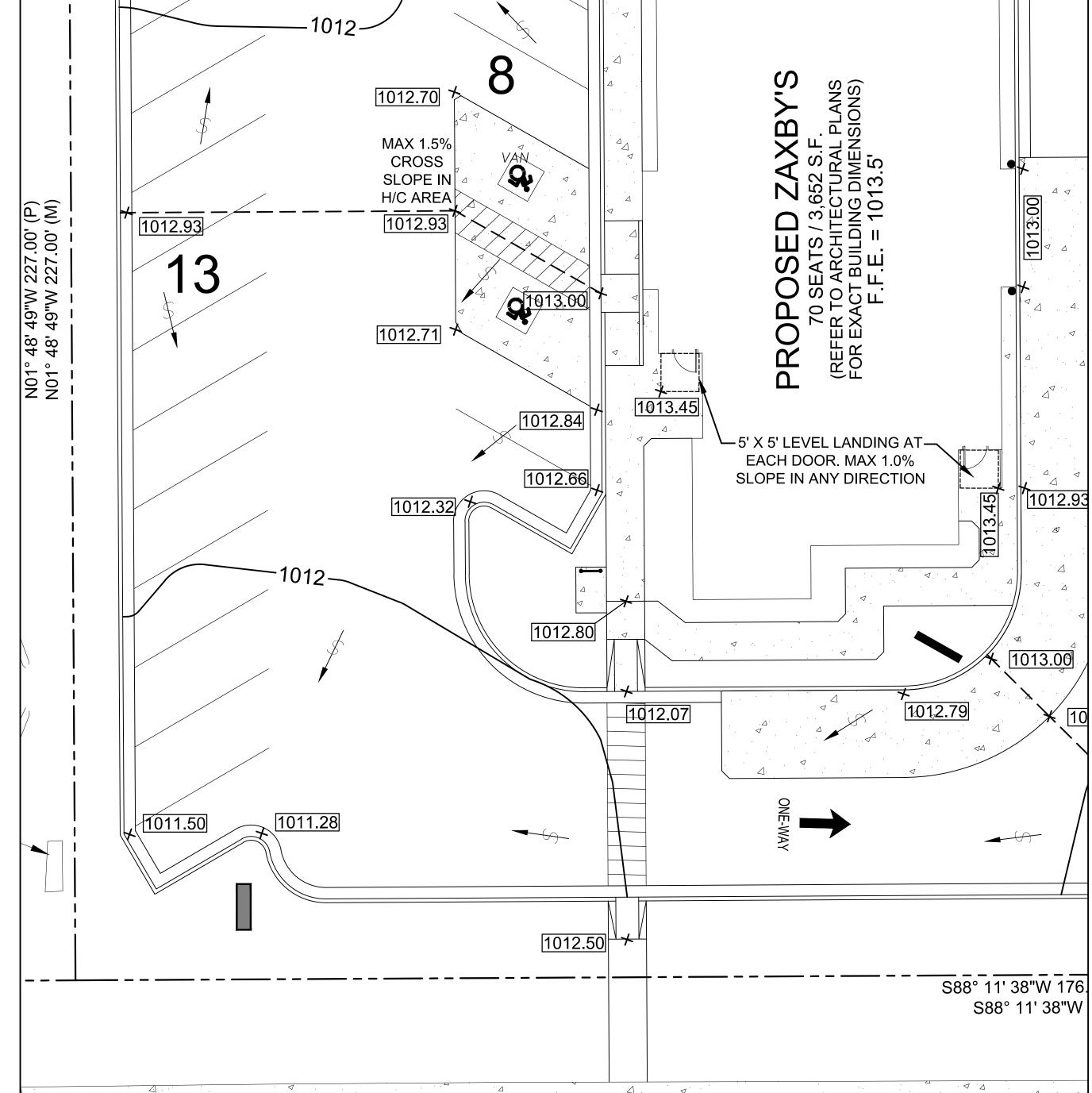
SITE

DETAILS

SHEET NUMBER:

PROJECT NUMBER: 15135ZAX

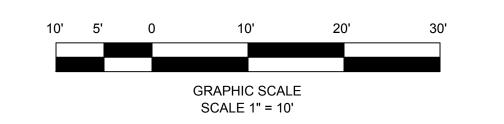


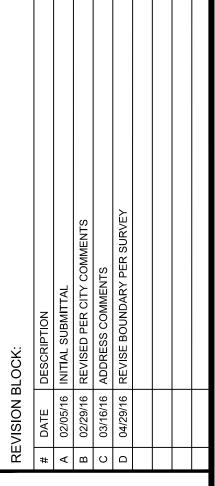


SITE PLAN SCALE: 1" = 10'

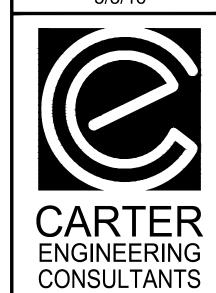


ACCESSIBLE PARKING SPACES, ACCESS AISLES AND PASSENGER LOADING ZONES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:67 (1.5%) IN ANY DIRECTION.









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SITE DEVELOPMENT PLAN for JULI, LLC BAUFR FARM PCD

PROJECT NAME:

SHEET TITLE:

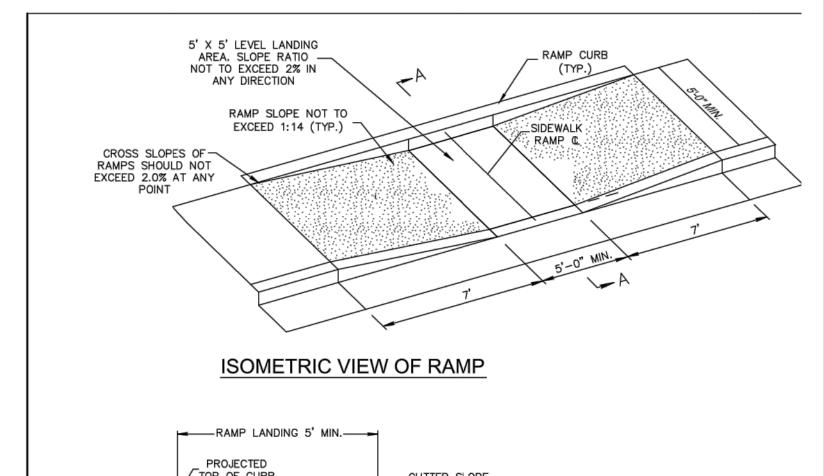
ADA ACCESS

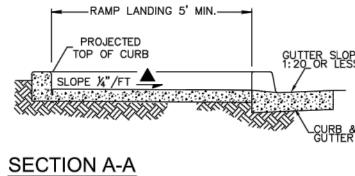
PLAN

SHEET NUMBER:

PROJECT NUMBER:

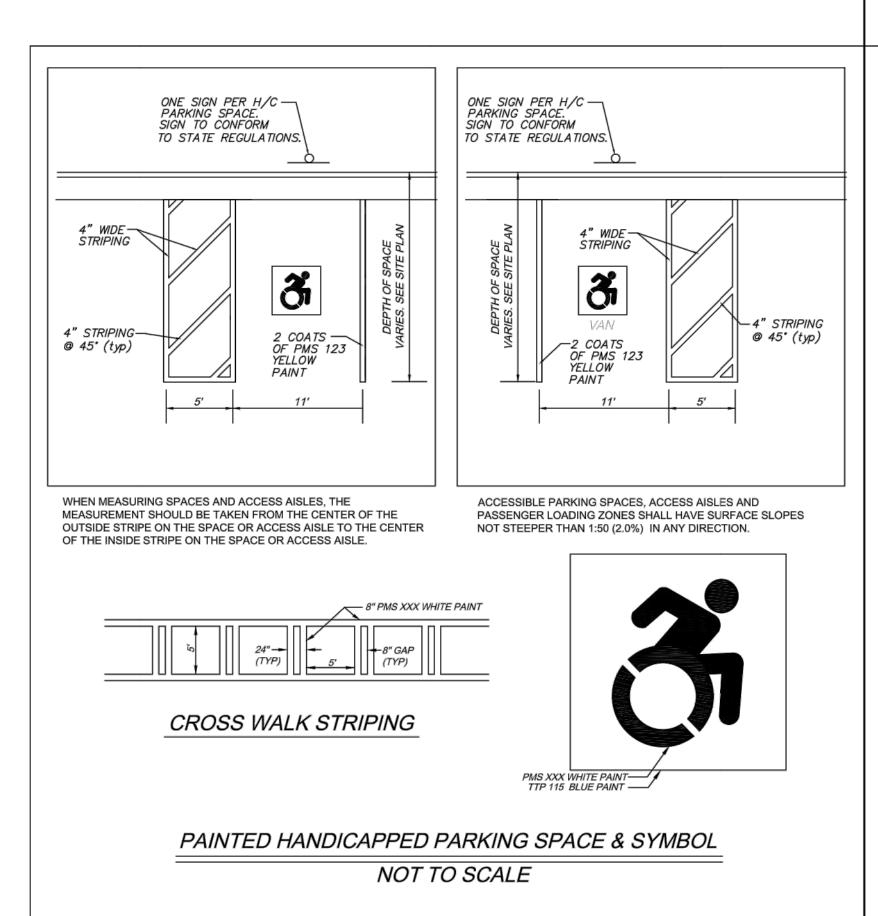
15135ZAX

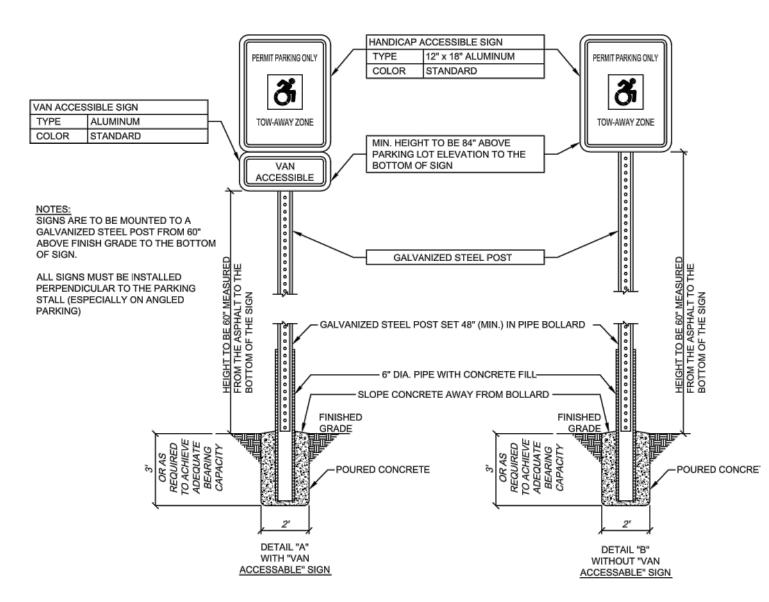




- 1. HANDICAP RAMP CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE AND CITY CODES AND SPECIFICATIONS.
- 2. SURFACES SHALL MEET THE REQUIREMENTS OF 2010 ADA AND THE 2004 ADAAG
- 3. THE SLOPE OF THE GUTTER MUST NOT EXCEED 1:20 ADJACENT TO THE RAMP.

STANDARD CONSTRUCTION DETAIL HANDICAP RAMP TYPE I





"HANDICAP PARKING ONLY" SIGNS NOT TO SCALE



5/3/16



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PLANS ARM PCD DEVELOPMENT SITE

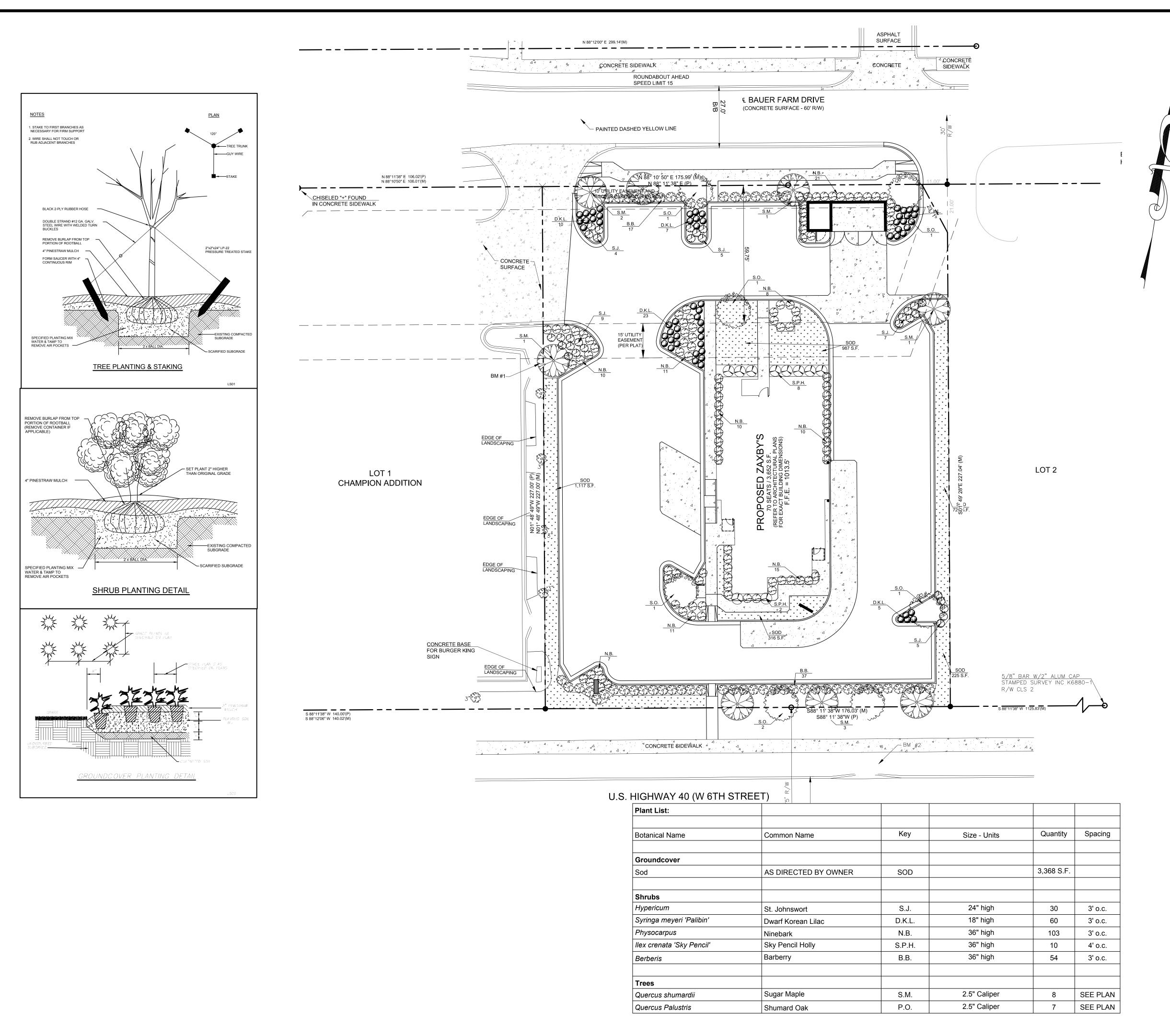
PROJECT NAME:

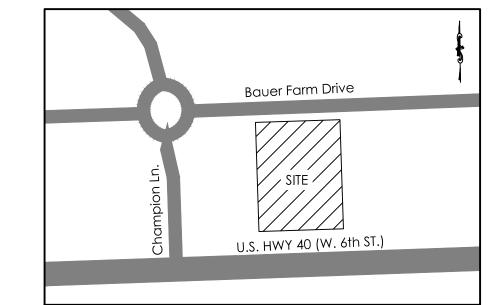
ADA DETAILS

SHEET NUMBER:

SHEET TITLE:

PROJECT NUMBER: 15135ZAX





LOCATION MAP SCALE: 1" = 200'

LANDSCAPING SHOWN ON THIS PLAN SHALL BE MAINTAINED IN COMPLIANCE WITH CITY LANDSCAPING ORDINANCE

- TREES SELECTED FOR PLANTING MUST BE FREE FROM INJURY, PESTS, DISEASE, NUTRITIONAL DISORDERS OR ROOT DEFECTS, AND MUST BE OF GOOD VIGOR, SO AS TO ASSURE A REASONABLE EXPECTATION OF SURVIVABILITY.
- ALL TREES TO BE BALLED AND BURLAPPED WHEN SHIPPED TO THE SITE FOR PLANTING. TREES TO BE A MINIMUM OF 10' IN HEIGHT AT TIME OF PLANTING.
- ALL DISTURBED GROUND SHALL HAVE GROUND COVER OF MULCH AND/OR GRASSING.
- SOD SHALL BE SPECIFIED BY OWNER. IRRIGATION SHALL BE PROVIDED.

LANDSCAPE CALCULATIONS:

STREET FRONTAGE (US HWY 40):

1 TREE PER 40 L.F. OF FRONTAGE 1 TREE / 40 L.F. X 176 = 4.4 = 5 TREES

5 TREES PROVIDED (3 S.M. & 2 S.O.)

STREET FRONTAGE (BAUER FARM DRIVE):

1 TREE PER 40 L.F. OF FRONTAGE 1 TREE / 40 L.F. X 165 OF FRONTAGE = 4.125 = 5 TREES

5 TREES PROVIDED (3 S.M. & 2 S.O.)

PARKING LOT REQUIREMENTS: 1 TREE PER 10 PARKING SPACES PROVIDED

44 SPACES PROVIDED = 1 TREE / 10 SPACES X 44 SPACES = 4.4 = 5 TREES REQUIRED

5 TREES PROVIDED (3 S.O., AND 2 S.M.) 3 SHRUB PER 10 PAKRKING SPACES PROVIDED

3 SHRUBS X 44 SPACES / 10 = 13.2 = 14 SHRUBS REQUIRED.

93 SHRUBS PROVIDED (74 N.B. & 19 S.J.) 40 S.F. OF LANDSCAPED AREA PER PARKING SPACE

40 S.F. X 44 SPACES = 1,760 S.F. REQUIRED

2,756 S.F. PROVIDED PARKING LOT FRONTAGE (US HWY 40):

1 TREE PER 25 L.F. OF PARKING ALONG FRONTAGE

110 L.F. X 1 TREE / 25 L.F. = 4.4 = 5 TREES REQUIRED 5 TREES PROVIDED

PARKING LOT FRONTAGE (BAUER FARM DRIVE):

1 TREE PER 25 L.F. OF PARKING ALONG FRONTAGE 81 L.F. X 1 TREE / 25 L.F. = 3.24 = 4 TREES REQUIRED

4 TREES PROVIDED



5/3/16



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F: 770.725.1204

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PLANS PCD VELOPMENT

SITE

PROJECT NAME:

SHEET TITLE:

LANDSCAPE PLAN

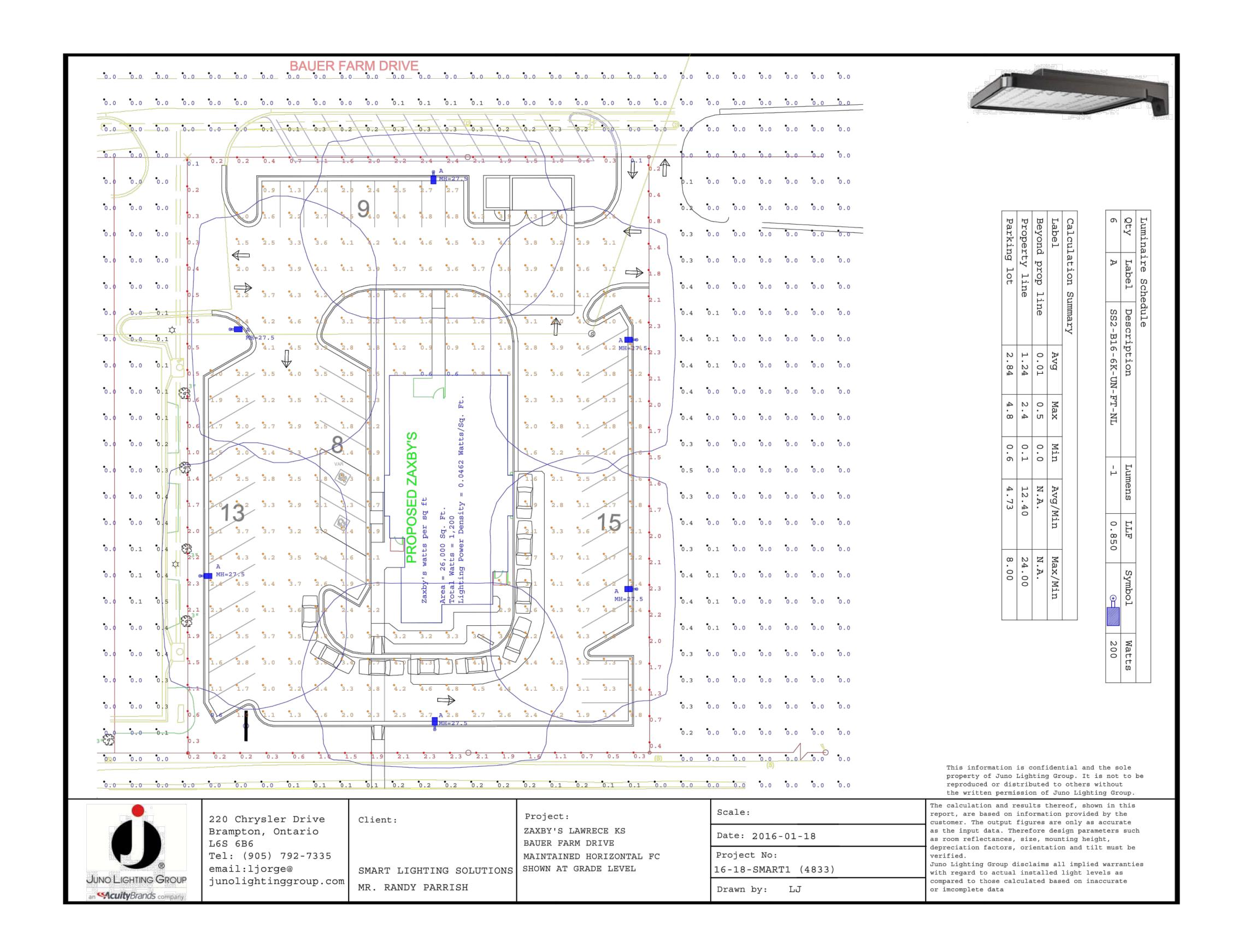
SHEET NUMBER:

PROJECT NUMBER:

02/05/16

15135ZAX

200' GRAPHIC SCALE SCALE 1" = 100'



m | # | 4 | m | ∪ | □ |



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PLANS DEVELOPMENT for



SHEET TITLE:

OUTDOOR LIGHTING PLAN

SHEET NUMBER:

PROJECT NUMBER: 15135ZAX

ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS UNLESS GOVERNING AUTHORITIES HAVE DIFFERENT REQUIREMENTS.

STANDARD BRICK UNIT 3 5/8" x 2" x 7 5/8" RUNNING 1/2 BOND

1) COLOR: BRICK - MOSSWOOD (BORAL BRICK) MORTAR - BUFF BRICK (BORAL BRICK)

ALTERNATE BRICK:

1 COLOR: BRICK - MOSSTOWN (CHEROKEE BRICK)

MORTAR - ANTIQUE BUFF (CEMEX)

15# ROOFING FELT OVER ALL SUBSTRATES OR SEALED DENS GLASS GOLD SHEATHING GROUT VOID SOLID @ FENCE AND BELOW F.F. PROVIDE VAPOR BARRIER AS INDICATED.

CONTINUOUS, THROUGH WALL FLASHING, EPDM (BY W.R. GRACE) OR EQUAL, AT BOTTOM OF WALLS & ABOVE OPENINGS. CUT FLASHING FLUSH WITH EXT. FACE. PROVIDE CELL VENT TYPE WEEPS, ABOVE FLASHING @ 32" O.C. MAX.

3/8" THICK MORTAR JOINTS. ASTM C-270, TYPE N.

HOHMANN & BARNARD, INC. HORIZ REINF. ON CMU FENCE HOHMANN & BARNARD, INC., DW-10 HS TRIANGULAR MTL. WALL TIES (OR EQUAL) @ 16" O.C. VERT. & AT HORIZ. STUD SPACING, 14 GA. SEE SECTIONS & SPECS. ATTACH TO STUDS WITH (2) 10 - 16 x 1-1/2" SCREWS.

- 2 STANDING SEAM MTL. ROOFING SEE 4
- STO TO HAVE "SWIRL" FINISH AND CAN BE PAINTED. FINISH COLORS, BELOW AND ON SHEET A-103 CAN BE PAINTED. STO BRAND EIFS ON CMU, OR SHEATHING: "STO ESSENCE" SPEC. E100 ICC EVALUATION REPORT NO. ESR-1720
- 3F = FIELD COLOR: SHERWIN WILLIAMS ZAXBY'S CREAM = ACCENT COLOR: SHERWIN WILLIAMS COLOR DARK TAN
- PREFINISHED, METAL COPING OR GRAVEL STOP & ROOFING COLOR: COPINGS: MATCH SURROUNDING CORNICE COLOR ROOFING @ REAR SHED: BLACK MATERIAL SHALL BE 24 GAUGE, HOT DIPPED GALVANIZED STEEL OR

0.032" THICK ALUM. FINISH SHALL BE KYNAR 500 FLUOROCARBON COATING. ACCEPTABLE MANUFACTURES ARE AS FOLLOWS:

A. BERRIDGE MANUF. CO., HOUSTON, TX. B. PAC-CLAD

C. McELROY METAL CO., PEACHTREE CITY, GA.

D. APPROVED EQUALS WILL BE ACCEPTED

PROVIDE ALL RELATED ACCESSORIES: FLASHING, END CLOSURES, GUTTERS, DOWNSPOUTS, ETC. IN MATCHING COLOR. INSTALL ALL MATERIALS PER MANUF.'S RECOMMENDATIONS.

A MANUFACTURER'S WARRANTY AGAINST DISCOLORATION & WEATHER-TIGHTNESS WILL BE REQUIRED.

NOT ALL ROOF PENETRATIONS & ACCESSORIES ARE SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE G.C. TO INSTALL ITEMS INDICATED ELSEWHERE.

5 STOREFRONT: WINDOWS & ENTRANCE DOORS (BLACK ANODIZED) ACCEPTABLE MANUFACTURER: KAWNEER, REFER TO SPECIFICATIONS ALL GLAZING SHALL BE IN ACCORDANCE W/ THE FOLLOWING VALUES:

GLAZING - UNCOATED TINTED GLASS								
APPEARANCE	LOCATION	TYPE & THICKNESS	U FACTOR	SHGC	VLT	VLR		
GRAY TINT	EXTERIOR SIDE	1/4" TEMPERED	.47	.45	39.6	7.3		
CLEAR -NO TINT	INTERIOR SIDE	1/4" TEMPERED	.58	.69	79	15		

CONTACT PERSON @ QUALITY GLASS: JOHNNY DOSTER @ 706-548-4481

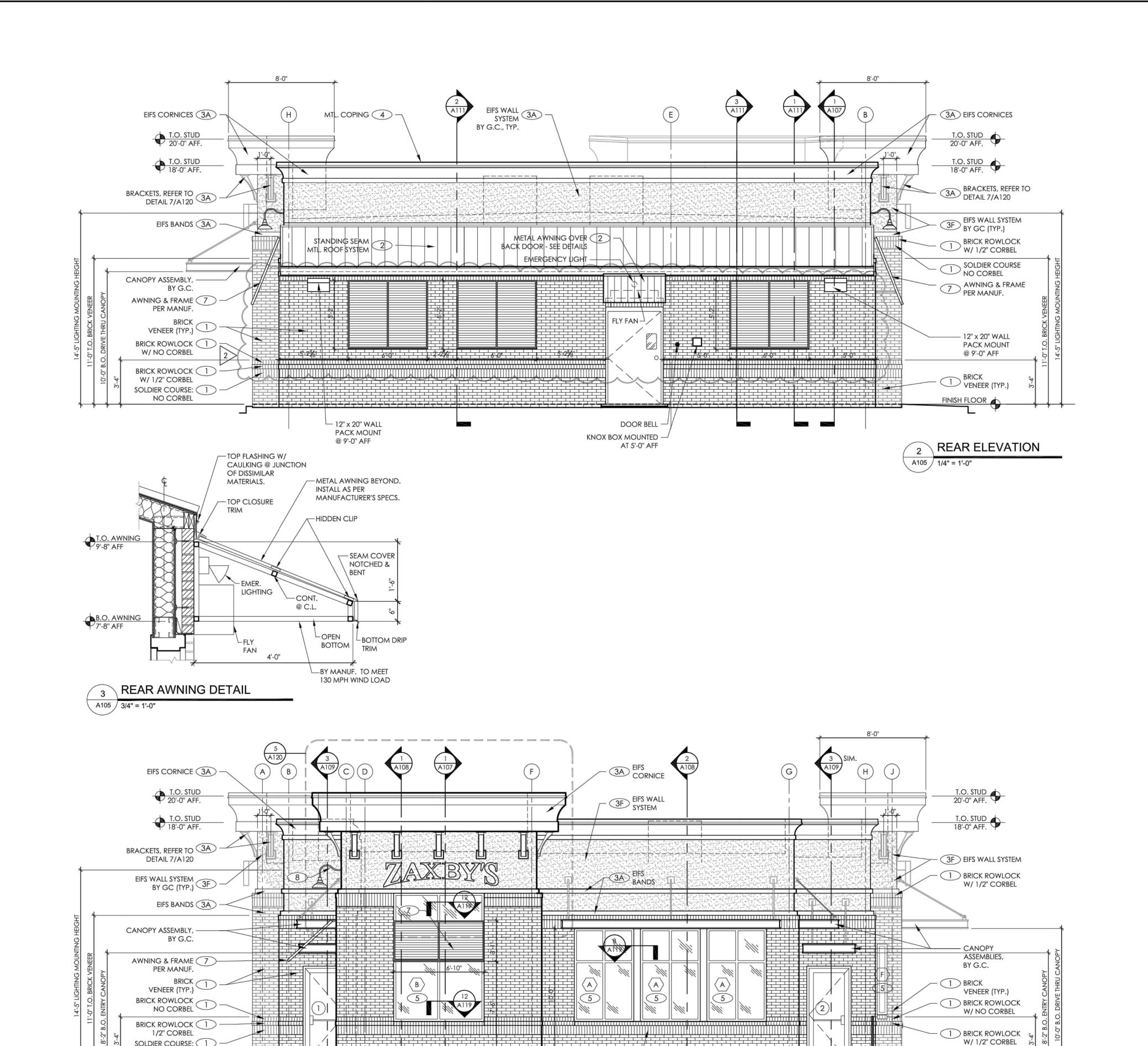
SELF-CLOSING & TEMPERED GLASS DRIVE-THRU WINDOW: ROUGH OPENING = 6'-0" WIDE x 5'-8" HIGH QUICKSERV MODEL SC-4030 SELF CLOSING HORIZ, SLIDER WINDOW FIT INTO A "STOREFRONT" FRAME, MATCH STOREFRONT IN COLOR & GLAZING.

> QUICKSERV-DIVISION OF MCE SYSTEMS CORP. P.O. BOX 40466, HOUSTON, TX 77240-0466 P. 800-388-8307 F. 713-462-1936 STOREFRONT & SLIDER ALSO BY: QUALITY GLASS P. 706-548-4481

- 7 PLANTATION STYLE AWNINGS PROJECT AWNING: ALUM. FRAME W/ RC SLATS, BLACK STRUCTURE BY AWNING SUPPLIER ANY FABRIC TO MEET: ASTM E84-95, FLAME SPREAD RATING CLASS A (10). FIELD VERIFY ALL AWNING CONDITION AND SIZES.
- 8 BLACK GOOSENECK FIXTURES ARE TO BE INSTALLED BY THE G.C.

ALL SPECIFIED MATERIALS MUST BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S REQUIREMENTS SHOULD BE IDENTIFIED BY THE CONTRACTOR PRIOR TO INSTALLATION AND DURING THE BID PHASE TO AVOID CHANGE ORDERS.

- 9 LADDER, PAINT BLACK
- GLAZING, REFER TO SHEET A117
- DOORS, REFER TO SHEET A115



SOLDIER COURSE: NO CORBEL

SOLDIER COURSE: (1) NO CORBEL

E.I.F.S. NOTE: THESE DRAWINGS USE "STO" BRAND E.I.F.S. SYSTEMS AS A BASIS OF DESIGN. "DRYVIT" OUTSULATION PLUS MD SYSTEMS WILL BE ALLOWED AS AN ALTERNATE. ICC EVALUATION REPORT # ESR - 1543.

ARCHITECTURE ENGINEERING

3680 Pleasant Hill Road

Suite 200

Duluth, Georgia 30096

p 770.622.9858

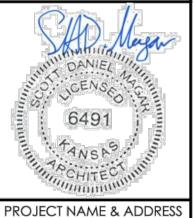
f 770.622.9535

www.hillfoleyrossi.com

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ISSUED FOR CONSTRUCTION ISSUE / REVISIONS: DATE DESCRIPTION: 3-04-16 SUBMIT FOR BID 3-04-16 SUBMIT FOR PERMIT 4.25.16 BUILDING REVISIONS 2>





PROTOTYPE SERIES 70 BR (C) - RDT

SHEET TITLE: FRONT & REAR **EXTERIOR ELEVATIONS**

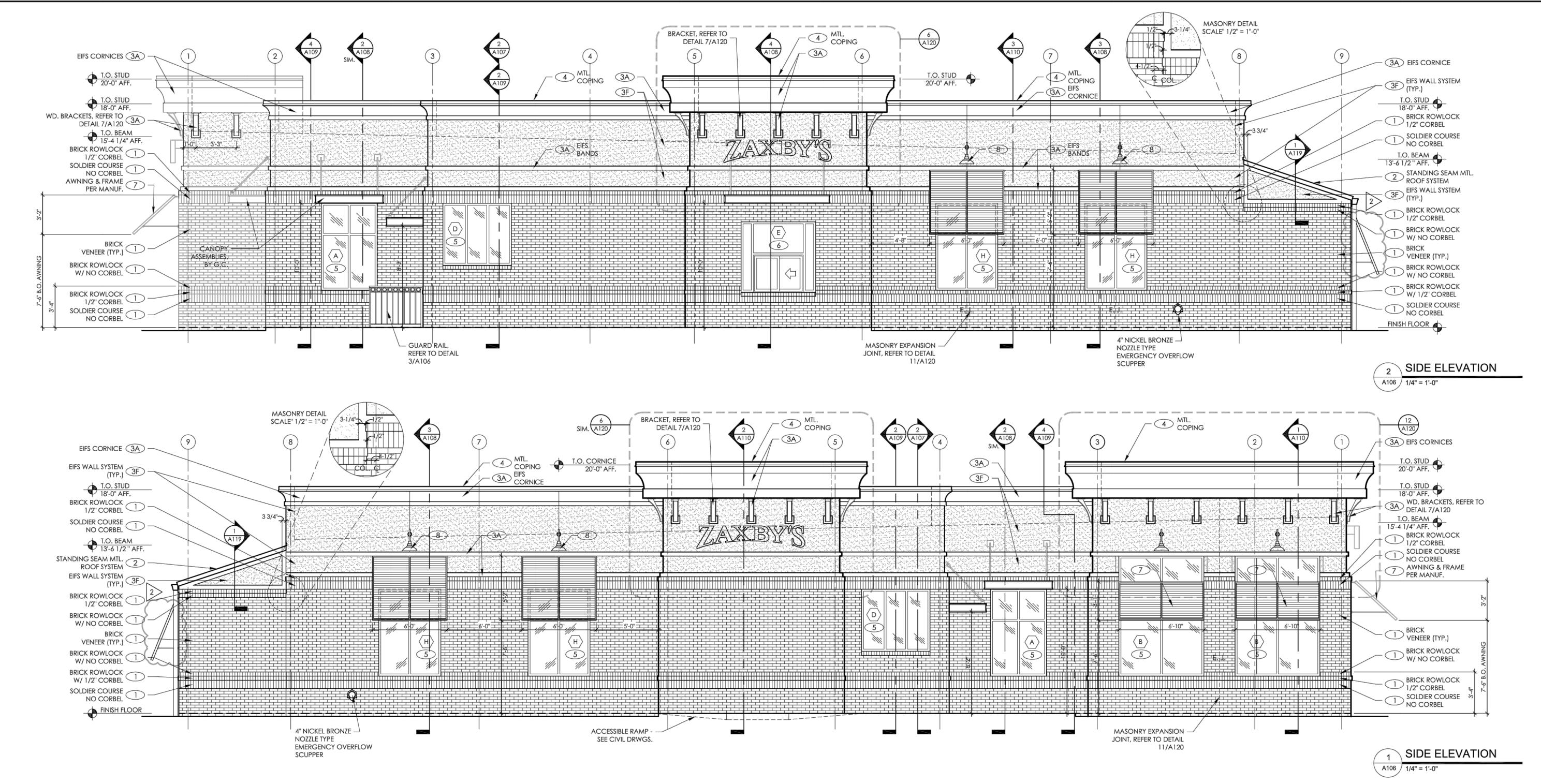
> PROJECT #: 16-824.00

FINISH FLOOR

A105 / 1/4" = 1'-0"

FRONT ELEVATION

A105



ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS UNLESS GOVERNING AUTHORITIES HAVE DIFFERENT REQUIREMENTS.

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1) COLOR: BRICK - MOSSTOWN (CHEROKEE BRICK) MORTAR - ANTIQUE BUFF (CEMEX)

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GROUT VOID SOLID @ FENCE AND BELOW F.F. PROVIDE VAPOR BARRIER AS IDICATED.

CONTINUOUS, THROUGH WALL FLASHING, EPDM (BY W.R. GRACE) OR EQUAL, AT BOTTOM OF WALLS & ABOVE OPENINGS. CUT FLASHING FLUSH WITH EXT. FACE. PROVIDE CELL VENT TYPE WEEPS, ABOVE FLASHING @ 32" O.C. MAX.

3/8" THICK MORTAR JOINTS. ASTM C-270, TYPE N.

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- 3 STO TO HAVE "SWIRL" FINISH AND CAN BE PAINTED.* FINISH COLORS, BELOW AND ON SHEET A-103 CAN BE PAINTED. STO BRAND EIFS ON CMU, OR SHEATHING: "STO ESSENCE" SPEC. E100 ICC EVALUATION REPORT NO. ESR-1720

- (3F) = FIELD COLOR: SHERWIN WILLIAMS ZAXBY'S CREAM (3A) = ACCENT COLOR: SHERWIN WILLIAMS COLOR DARK TAN
- 4 PREFINISHED, METAL COPING / GRAVEL STOP & ROOFING COLOR: COPINGS: MATCH SURROUNDING CORNICE COLOR ROOFING @ REAR SHED: BLACK MATERIAL SHALL BE 24 GAUGE, HOT DIPPED GALVANIZED STEEL OR 0.032" THICK ALUM. FINISH SHALL BE KYNAR 500 FLUOROCARBON COATING.
 - A. BERRIDGE MANUF. CO., HOUSTON, TX.
 - B. PAC-CLAD C. McELROY METAL CO., PEACHTREE CITY, GA.
 - D. APPROVED EQUALS WILL BE ACCEPTED

ACCEPTABLE MANUFACTURES ARE AS FOLLOWS:

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CLEAR -NO TINT	INTERIOR SIDE	1/4" TEMPERED	.58	.69	79	15		

CONTACT PERSON @ QUALITY GLASS: JOHNNY DOSTER @ 706-548-4481

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QUICKSERV-DIVISION OF MCE SYSTEMS CORP. P.O. BOX 40466, HOUSTON, TX 77240-0466 P. 800-388-8307 F. 713-462-1936 STOREFRONT & SLIDER ALSO BY: QUALITY GLASS P. 706-548-4481

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THESE DRAWINGS USE "STO" BRAND E.I.F.S. SYSTEMS AS A BASIS OF DESIGN. "DRYVIT" OUTSULATION PLUS MD SYSTEMS WILL BE ALLOWED

AS AN ALTERNATE. ICC EVALUATION REPORT # ESR - 1543.

ALL SPECIFIED MATERIALS MUST BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S REQUIREMENTS SHOULD BE IDENTIFIED BY THE CONTRACTOR PRIOR TO INSTALLATION AND DURING THE BID PHASE TO AVOID CHANGE ORDERS.

- 9 LADDER, PAINT BLACK
- GLAZING, REFER TO SHEET A117
- DOORS, REFER TO SHEET A115

BASE 1 GALLON A82W51 A-100 SATIN EXTERIOR LATEX HOUSE PAINT EXTRA WHITE ACCENT COLOR: SHERWIN WILLIAMS "ZAXBY'S DARK TAN" - PAINT MIXTURE COLORANT 1/32 OZ. 2Y21 BASE 1 GALLON A82W51

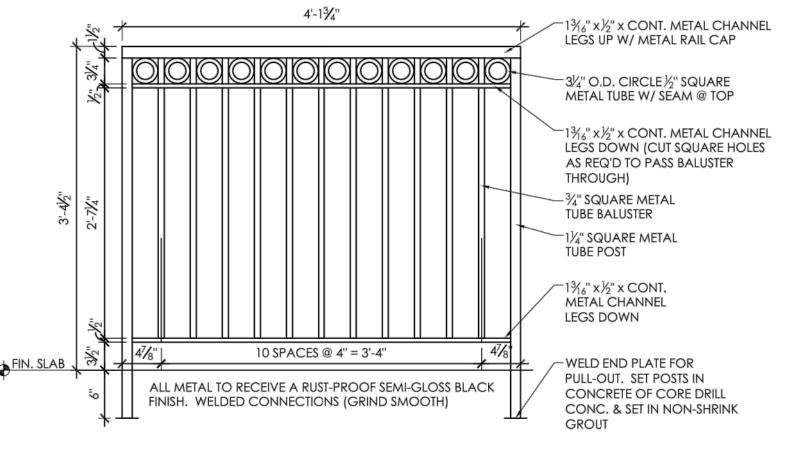
A-100 SATIN EXTERIOR LATEX

HOUSE PAINT EXTRA WHITE

FIELD COLOR: SHERWIN WILLIAMS

1/32 OZ.

COLORANT



DECORATIVE GUARD RAIL

ARCHITECTURE ENGINEERING 3680 Pleasant Hill Road Suite 200

Duluth, Georgia 30096

p 770.622.9858 f 770.622.9535

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ISSUED FOR CONSTRUCTION

4.25.16 BUILDING REVISIONS 2>

ISSUE / REVISIONS: DATE DESCRIPTION: 3-04-16 SUBMIT FOR BID 13-04-16 SUBMIT FOR PERMIT



PROTOTYPE SERIES 70 BR (C) - RDT

SHEET TITLE: DRIVE THRU & RIGHT

EXTERIOR ELEVATIONS

PROJECT #: 16-824.00

A106

ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS UNLESS GOVERNING AUTHORITIES HAVE DIFFERENT REQUIREMENTS.

STANDARD BRICK UNIT 3 5/8" x 2" x 7 5/8" RUNNING 1/2 BOND

1 COLOR: BRICK - MOSSWOOD (BORAL BRICK)
MORTAR - BUFF BRICK (BORAL BRICK)

ALTERNATE BRICK:

1 COLOR: BRICK - MOSSTOWN (CHEROKEE BRICK)

MORTAR - ANTIQUE BUFF (CEMEX)

15# ROOFING FELT OVER ALL SUBSTRATES OR SEALED DENS GLASS GOLD SHEATHING GROUT VOID SOLID @ FENCE AND BELOW F.F. PROVIDE VAPOR BARRIER AS INDICATED.

CONTINUOUS, THROUGH WALL FLASHING, EPDM (BY W.R. GRACE) OR EQUAL, AT BOTTOM OF WALLS & ABOVE OPENINGS. CUT FLASHING FLUSH WITH EXT. FACE. PROVIDE CELL VENT TYPE WEEPS, ABOVE FLASHING @ 32" O.C. MAX.

3/8" THICK MORTAR JOINTS. ASTM C-270, TYPE N.

HOHMANN & BARNARD, INC. HORIZ REINF. ON CMU FENCE HOHMANN & BARNARD, INC., DW-10 HS TRIANGULAR MTL. WALL TIES (OR EQUAL) @ 16" O.C. VERT. & AT HORIZ. STUD SPACING, 14 GA. SEE SECTIONS & SPECS. ATTACH TO STUDS WITH (2) 10 - 16 x 1-1/2" SCREWS.

- 2 STANDING SEAM MTL. ROOFING SEE 4
- STO TO HAVE "SWIRL" FINISH AND CAN BE PAINTED.

 FINISH COLORS, BELOW AND ON SHEET A-103 CAN BE PAINTED.

 STO BRAND EIFS ON CMU, OR SHEATHING:

 "STO ESSENCE" SPEC. E100

 ICC EVALUATION REPORT NO. ESR-1720
- 3F = FIELD COLOR: SHERWIN WILLIAMS ZAXBY'S CREAM 3A = ACCENT COLOR: SHERWIN WILLIAMS COLOR DARK TAN
- PREFINISHED, METAL COPING OR GRAVEL STOP & ROOFING
 COLOR: COPINGS: MATCH SURROUNDING CORNICE COLOR
 ROOFING @ REAR SHED: BLACK
 MATERIAL SHALL BE 24 GAUGE, HOT DIPPED GALVANIZED STEEL OR

0.032" THICK ALUM. FINISH SHALL BE KYNAR 500 FLUOROCARBON COATING. ACCEPTABLE MANUFACTURES ARE AS FOLLOWS:

B. PAC-CLAD
C. McELROY METAL CO., PEACHTREE CITY, GA.
D. APPROVED EQUALS WILL BE ACCEPTED

A. BERRIDGE MANUF. CO., HOUSTON, TX.

PROVIDE ALL RELATED ACCESSORIES: FLASHING, END CLOSURES, GUTTERS, DOWNSPOUTS, ETC. IN MATCHING COLOR. INSTALL ALL MATERIALS PER MANUF.'S RECOMMENDATIONS.

A MANUFACTURER'S WARRANTY AGAINST DISCOLORATION & WEATHER-TIGHTNESS WILL BE REQUIRED.

NOT ALL ROOF PENETRATIONS & ACCESSORIES ARE SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE G.C. TO INSTALL ITEMS INDICATED ELSEWHERE.

5 STOREFRONT: WINDOWS & ENTRANCE DOORS (BLACK ANODIZED)
ACCEPTABLE MANUFACTURER: KAWNEER, REFER TO SPECIFICATIONS
ALL GLAZING SHALL BE IN ACCORDANCE W/ THE FOLLOWING VALUES:

GLAZING - UNCOATED TINTED GLASS								
APPEARANCE	PPEARANCE LOCATION TYPE & THICKNESS		U FACTOR	SHGC	VLT	VLR		
GRAY TINT	EXTERIOR SIDE	1/4" TEMPERED	.47	.45	39.6	7.3		
CLEAR -NO TINT	INTERIOR SIDE	1/4" TEMPERED	.58	.69	79	15		

CONTACT PERSON @ QUALITY GLASS: JOHNNY DOSTER @ 706-548-4481

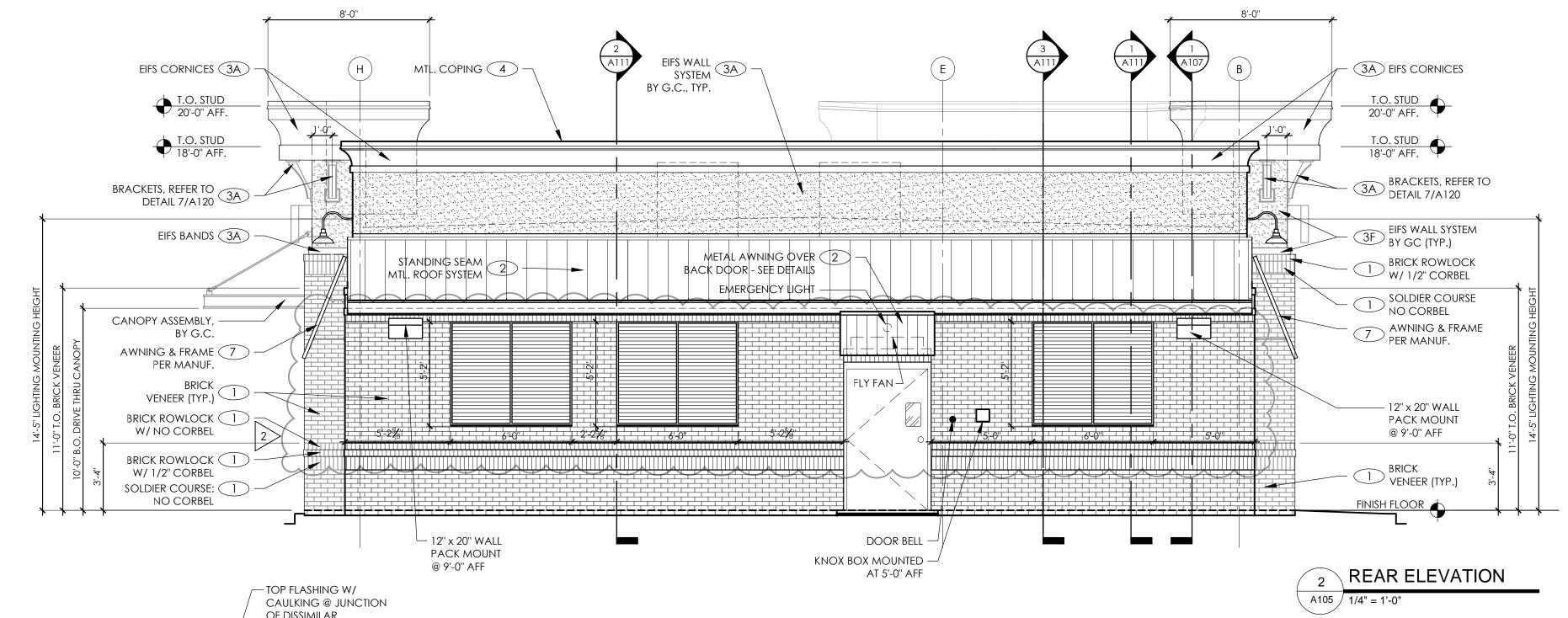
6 SELF-CLOSING & TEMPERED GLASS
DRIVE-THRU WINDOW: ROUGH OPENING = 6'-0" WIDE x 5'-8" HIGH
QUICKSERV MODEL SC-4030 SELF CLOSING HORIZ. SLIDER WINDOW
FIT INTO A "STOREFRONT" FRAME, MATCH STOREFRONT IN COLOR & GLAZING.

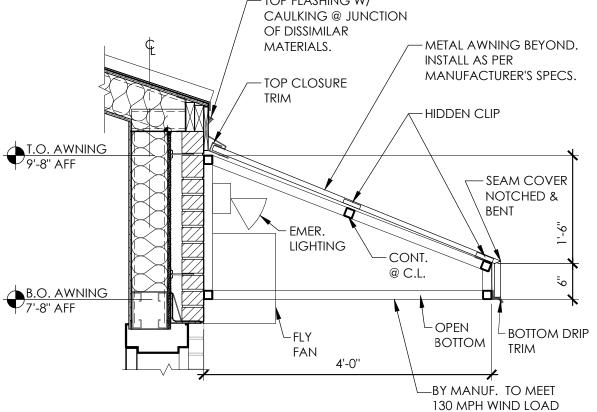
QUICKSERV-DIVISION OF MCE SYSTEMS CORP. P.O. BOX 40466, HOUSTON, TX 77240-0466 P. 800-388-8307 F. 713-462-1936 STOREFRONT & SLIDER ALSO BY: QUALITY GLASS P. 706-548-4481

- 7 PLANTATION STYLE AWNINGS
 PROJECT AWNING: ALUM. FRAME W/ RC SLATS, BLACK
 STRUCTURE BY AWNING SUPPLIER
 ANY FABRIC TO MEET: ASTM E84-95, FLAME SPREAD RATING CLASS A (10).
 FIELD VERIFY ALL AWNING CONDITION AND SIZES.
- 8 BLACK GOOSENECK FIXTURES ARE TO BE INSTALLED BY THE G.C.

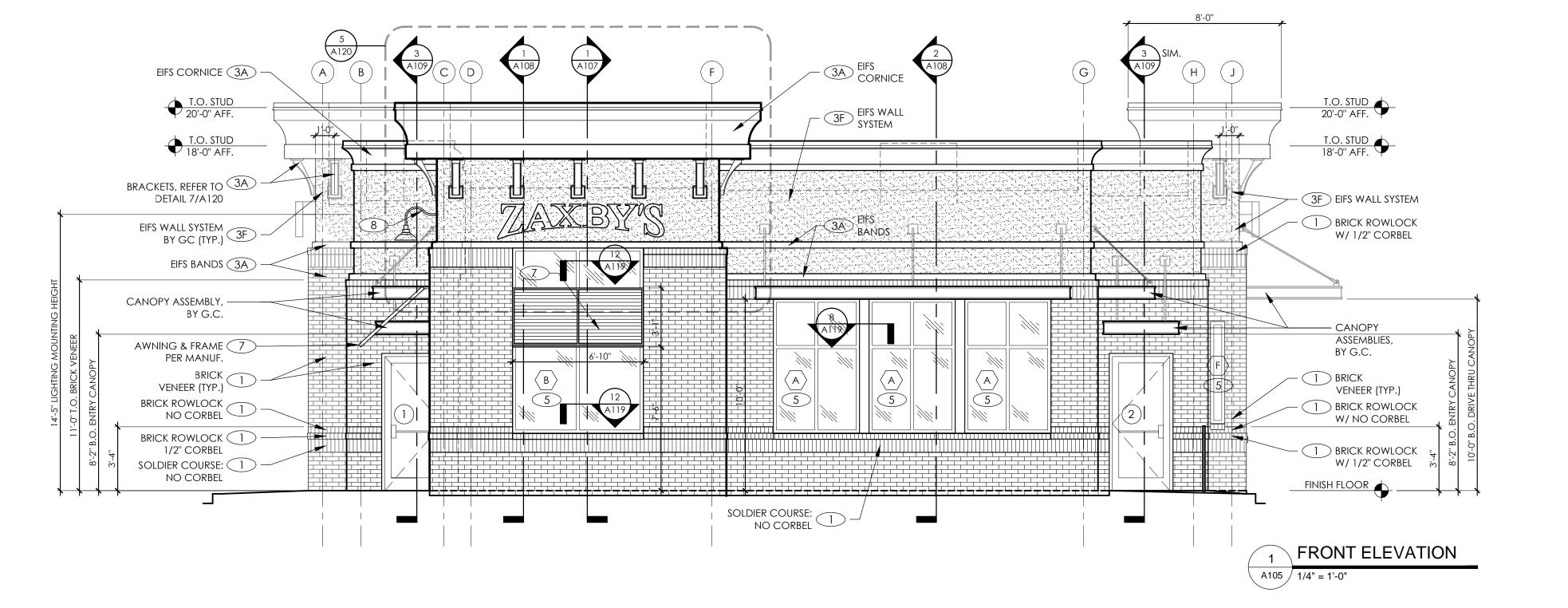
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- 9 LADDER, PAINT BLACK
- GLAZING, REFER TO SHEET A117
- DOORS, REFER TO SHEET A115





3 REAR AWNING DETAIL
A105 3/4" = 1'-0"





ARCHITECTURE
ENGINEERING
3680 Pleasant Hill Road

Suite 200

Duluth, Georgia 30096

p 770.622.9858

f 770.622.9535

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ISSUE / REVISIONS:

DATE DESCRIPTION:
03-04-16 SUBMIT FOR BID
03-04-16 SUBMIT FOR PERMIT
04.25.16 BUILDING REVISIONS 2

SEAL:

PROJECT NAME & ADDRESS

TO MODEL

LOT 1 BAUER FARM DRIVE

LAWRENCE, KS

PROTOTYPE SERIES

70 BR (C) - RDT

SHEET TITLE:
FRONT & REAR
EXTERIOR ELEVATIONS

PROJECT #: 16-824.00

A105

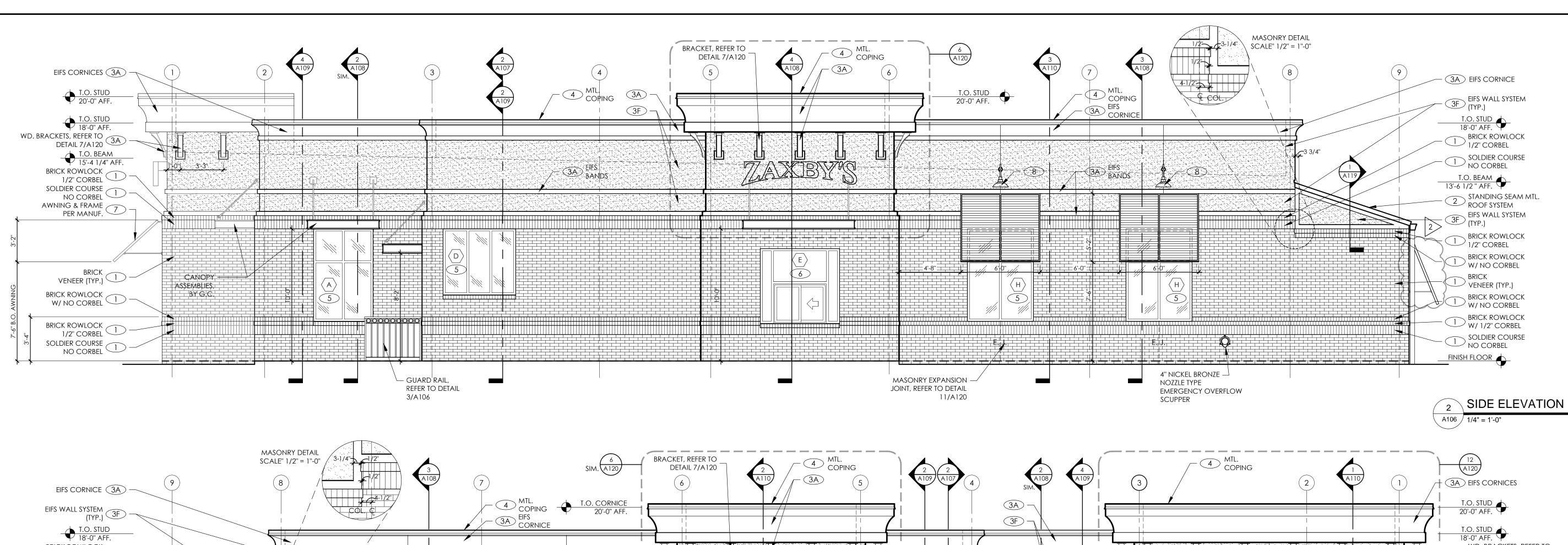
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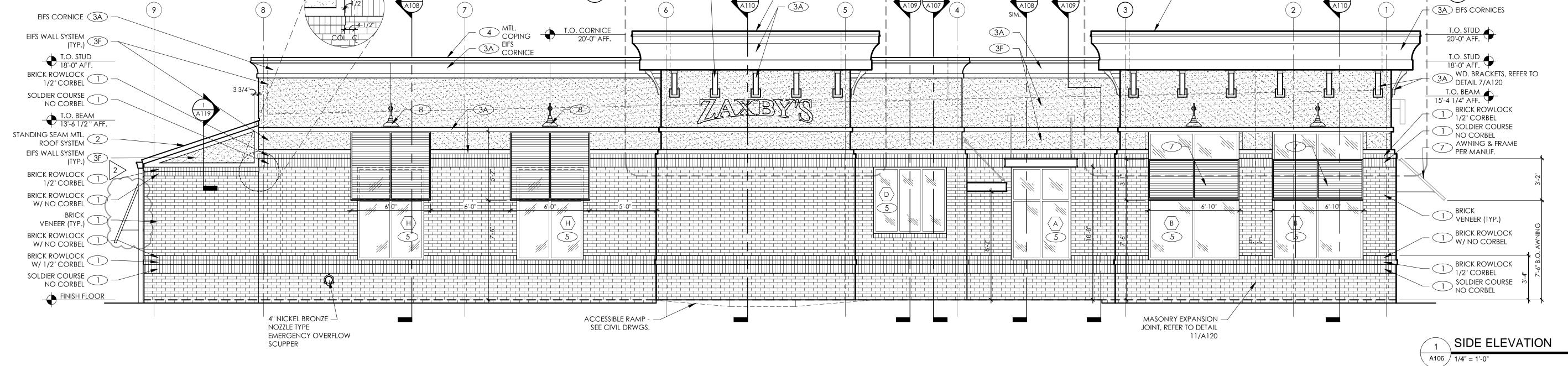
E.I.F.S. NOTE:

THESE DRAWINGS USE "STO" BRAND E.I.F.S. SYSTEMS AS A BASIS OF DESIGN.

"DRYVIT" OUTSULATION PLUS MD SYSTEMS WILL BE ALLOWED AS AN ALTERNATE.

ICC EVALUATION REPORT # ESR - 1543.





ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS UNLESS GOVERNING AUTHORITIES HAVE DIFFERENT REQUIREMENTS.

STANDARD BRICK UNIT 3 5/8" x 2" x 7 5/8" RUNNING 1/2 BOND

1) COLOR: BRICK - MOSSWOOD (BORAL BRICK) MORTAR - BUFF BRICK (BORAL BRICK)

ALTERNATE BRICK:

(1) COLOR: BRICK - MOSSTOWN (CHEROKEE BRICK) MORTAR - ANTIQUE BUFF (CEMEX)

> 15# ROOFING FELT OVER ALL SUBSTRATES OR SEALED DENS GLASS GOLD SHEATHING. USE ICE & WATER SHIELD BY W.R. GRACE WHERE INDICATED, SEE SECTIONS &

GROUT VOID SOLID @ FENCE AND BELOW F.F. PROVIDE VAPOR BARRIER AS IDICATED.

CONTINUOUS, THROUGH WALL FLASHING, EPDM (BY W.R. GRACE) OR EQUAL, AT BOTTOM OF WALLS & ABOVE OPENINGS. CUT FLASHING FLUSH WITH EXT. FACE. PROVIDE CELL VENT TYPE WEEPS, ABOVE FLASHING @ 32" O.C. MAX.

3/8" THICK MORTAR JOINTS. ASTM C-270, TYPE N.

HOHMANN & BARNARD, INC. HORIZ REINF. ON CMU FENCE HOHMANN & BARNARD, INC., DW-10 HS TRIANGULAR MTL. WALL TIES (OR EQUAL) @ 16" O.C. VERT. & AT HORIZ. STUD SPACING, 14 GA. SEE SECTIONS & SPECS. ATTACH TO STUDS WITH (2) 10 - 16 x 1-1/2" SCREWS.

- 2 STANDING SEAM MTL. ROOFING SEE 4
- 3 STO TO HAVE "SWIRL" FINISH AND CAN BE PAINTED.* FINISH COLORS, BELOW AND ON SHEET A-103 CAN BE PAINTED. STO BRAND EIFS ON CMU, OR SHEATHING: "STO ESSENCE" SPEC. E100 ICC EVALUATION REPORT NO. ESR-1720

- (3F) = FIELD COLOR: SHERWIN WILLIAMS ZAXBY'S CREAM (3A) = ACCENT COLOR: SHERWIN WILLIAMS COLOR DARK TAN
- 4 PREFINISHED, METAL COPING / GRAVEL STOP & ROOFING COLOR: COPINGS: MATCH SURROUNDING CORNICE COLOR ROOFING @ REAR SHED: BLACK MATERIAL SHALL BE 24 GAUGE, HOT DIPPED GALVANIZED STEEL OR 0.032" THICK ALUM. FINISH SHALL BE KYNAR 500 FLUOROCARBON COATING.
 - A. BERRIDGE MANUF. CO., HOUSTON, TX. B. PAC-CLAD
 - C. McELROY METAL CO., PEACHTREE CITY, GA.
 - D. APPROVED EQUALS WILL BE ACCEPTED

ACCEPTABLE MANUFACTURES ARE AS FOLLOWS:

PROVIDE ALL RELATED ACCESSORIES: FLASHING, END CLOSURES, GUTTERS, DOWNSPOUTS, ETC. IN MATCHING COLOR. INSTALL ALL MATERIALS PER MANUF.'S RECOMMENDATIONS. A MANUFACTURER'S WARRANTY AGAINST DISCOLORATION & WEATHER-TIGHTNESS WILL BE REQUIRED. SEE SPECIFICATIONS.

NOT ALL ROOF PENETRATIONS & ACCESSORIES ARE SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE G.C. TO INSTALL ITEMS INDICATED ELSEWHERE.

5 STOREFRONT: WINDOWS & ENTRANCE DOORS (BLACK ANODIZED)

ACCEPTABLE MANUFACTURER: KAWNEER, REFER TO SPECIFICATIONS.

GLAZING SHALL BE IN ACCORDANCE W/ THE FOLLOWING VALUES:

APPEARANCE	LOCATION	TYPE & THICKNESS	U FACTOR	SHGC	VLT	VLR		
GRAY TINT	EXTERIOR SIDE	1/4" TEMPERED	.47	.47 .45		7.3		
CLEAR -NO TINT	INTERIOR SIDE	1/4" TEMPERED	.58	.69	79	15		
CONTACT PERSON @ QUALITY GLASS: JOHNNY DOSTER @ 706-548-4481								

6 SELF-CLOSING & TEMPERED GLASS DRIVE-THRU WINDOW: ROUGH OPENING = 6'-0" WIDE x 5'-8" HIGH QUICKSERV MODEL SC-4030-IP SELF CLOSING HORIZ. SLIDER WINDOW FIT INTO A "STOREFRONT" FRAME, MATCH STOREFRONT IN COLOR & GLAZING. | "ZAXBY'S CREAM" - PAINT MIXTURE

- QUICKSERV-DIVISION OF MCE SYSTEMS CORP. P.O. BOX 40466, HOUSTON, TX 77240-0466 P. 800-388-8307 F. 713-462-1936 STOREFRONT & SLIDER ALSO BY:
- QUALITY GLASS P. 706-548-4481 7 PLANTATION STYLE AWNINGS PROJECT AWNING: ALUM. FRAME W/ RC SLATS, BLACK STRUCTURE BY AWNING SUPPLIER

ANY FABRIC TO MEET: ASTM E84-95, FLAME SPREAD RATING CLASS A (10).

8 BLACK GOOSENECK FIXTURES ARE TO BE INSTALLED BY THE G.C.

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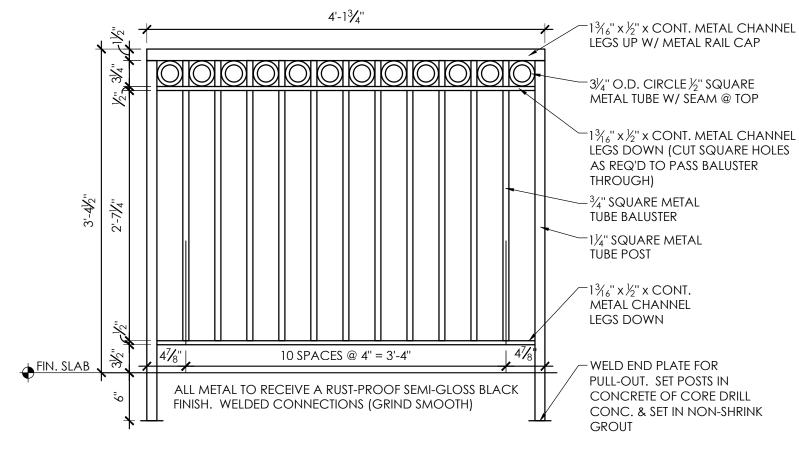
- 9 LADDER, PAINT BLACK
- $\langle \;\;\;
 angle \;\;\;$ Glazing, refer to sheet a 1 1 7
- DOORS, REFER TO SHEET A115

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FIELD COLOR: SHERWIN WILLIAMS COLORANT 1/32 OZ. BASE 1 GALLON A82W51 A-100 SATIN EXTERIOR LATEX

HOUSE PAINT EXTRA WHITE ACCENT COLOR: SHERWIN WILLIAMS "ZAXBY'S DARK TAN" - PAINT MIXTURE

COLORANT 1/32 OZ. 2Y21 BASE 1 GALLON A82W51 A-100 SATIN EXTERIOR LATEX HOUSE PAINT EXTRA WHITE



\ DECORATIVE GUARD RAIL

ARCHITECTURE

ENGINEERING 3680 Pleasant Hill Road Suite 200

Duluth, Georgia 30096 p 770.622.9858 f 770.622.9535 www.hillfoleyrossi.com

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ISSUE / REVISIONS: DATE DESCRIPTION: -04-16 SUBMIT FOR BID 03-04-16 SUBMIT FOR PERMIT 04.25.16 BUILDING REVISIONS

6491 TANSPS CHITEC

PROJECT NAME & ADDRES



PROTOTYPE SERIES 70 BR (C) - RDT

SHEET TITLE:

DRIVE THRU & RIGHT **EXTERIOR ELEVATIONS**

> PROJECT #: 16-824.00

A106



Traffic Impact Study for

Revised Bauer Farm PCD

6th St., between Wakarusa Dr. and Folks Rd.

Lawrence, Kansas

Prepared for Treanor Architects P.A.

> Prepared By



<u>Servina Communities Through Excellence</u> Kansas - Missouri - Michigan - California



Mehrdad Givechi, P.E., P.T.O.E.

February 2014

Trip Generation Summary - Proposed Changes (Jan 2014) + Undeveloped Average Weekday Driveway Volumes

Project: Entire Bauer Farm Development (Revised) Open Date: 1/14/2014 Alternative: Proposed Changes (Jan 2014) + Undeveloped Analysis 1/14/2014

			Average Daily Trips		AM Peak Hour Adjacent Street Traffic		PM Peak Hour Adjacent Street Traffic				
ITE	Land Use		_Enter_	_Exit_	Total	_Enter_	_Exit_	_Total_	_Enter_	_Exit_	_Total_
220	APT 1		406	405	811	12	50	62	49	27	76
	122 Dwelling Units										
310	HOTEL 1		441	441	882	34	23	57	33	32	65
	108 Rooms										
826	CENTERSPECIALTY 1		643	642	1285				35	44	79
	29 Gross Leasable A	rea 1000 SF									
850	SUPERMARKET 1		1393	1392	2785	58	35	93	132	126	258
	27.24 Gross Floor Area	1000 SF									
912	BANKDRIVEIN 1		371	370	741	34	26	60	61	61	122
	5 Gross Floor Area	1000 SF									
932	RESTAURANTHT 1		401	400	801	37	31	68	37	25	62
	6.3 Gross Floor Area	1000 SF									
934	934 FASTFOODDT 1		670	670	1340	63	60	123	46	42	88
	2.7 Gross Floor Area	1000 SF									
Unadj	Unadjusted Driveway Volume		4325	4320	8645	238	225	463	393	357	750
Unadjusted Pass-By Trips		0	0	0	31	29	60	116	106	222	
Internal Capture Trips		755	755	1510	0	0	0	49	49	98	
Adjusted Driveway Volume		3570	3565	7135	238	225	463	344	308	652	
Adjusted Pass-By Trips		0	0	0	31	29	60	102	91	193	
Adjusted Volume Added to Adjacent Streets		3570	3565	7135	207	196	403	242	217	459	

Total AM Peak Hour Internal Capture = 0 Percent

Total PM Peak Hour Internal Capture = 13 Percent

1