

PLANNING COMMISSION REPORT
Non-Public Hearing Item

PC Staff Report
05/23/2016

**ITEM NO. 2 FINAL DEVELOPMENT PLAN FOR BAUER FARM ZAXBY'S; 4661
BAUER FARM DR (SLD)**

FDP-16-00104: Consider a Final Development Plan for Zaxby's, a Fast Order Food with Drive-In, located at 4661 Bauer Farm Dr. Submitted by Carter Engineering Consultants, Inc., for JULI, LLC, contract purchaser, Free State Holdings Inc, property owner of record.

STAFF RECOMMENDATION: Planning staff recommends approval of the Final Development Plan based upon the findings of fact presented in the body of the Staff Report, subject to the following conditions:

1. Execution of a site plan performance agreement.
2. Submission of a revised Final Development Plan to show the following notes and changes:
 - a. Revise sanitary sewer service line location to meet City design standards per the approval of the City Utility Engineer.
 - b. Show additional pedestrian ramps for sidewalk connections between building and Bauer Farm Drive.
 - c. Show the deed book and page of separately recorded document for shared access and cross access for this property.
3. Filing of the Minor subdivision with the Register of Deeds Office.

Attachment:

A. Proposed Final Development Plan.

Design Standards to Consider

- Consistency with approved Preliminary Development Plan, PDP-14-00055.
- Consistency with Article 10 of the 1966 Zoning Code and the standards contained in the 2006 Land Development Code.

KEY POINTS:

- Final Development Plans for projects with preliminary approvals prior to the adoption of the 2006 Land Development Code require Planning Commission approval.
- A revised Preliminary Development Plan for Bauer Farms [PDP-15-00529] was approved by the Planning Commission on December 14, 2015 and by the City Commission on January 6, 2016.

ASSOCIATED CASES

- PDP-15-00529; Bauer Farm Preliminary Development Plan.
- PF -15-00094; Bauer Farm 7th Plat
- MS-16-00126; Minor Subdivision

OTHER ACTION REQUIRED

- Applicant shall apply for and obtain Building Permits prior to development.

PUBLIC COMMENT

- No public comment was received prior to the printing of this staff report.

PLANS AND STUDIES REQUIRED

- *Traffic Study* – a Revised Traffic Impact Study (TIS) was provided and accepted with the Preliminary Development Plan. An updated letter was received on March 16, 2016 with this application. Summary was accepted by staff.
- *Downstream Sanitary Sewer Analysis* – The downstream sanitary sewer analysis and cover letter dated January 20, 2010 from Landplan Engineering was previously accepted for the Bauer Farm Development Plan to satisfy the criteria required for the DSSA as outlined in Administrative Policy 76. The proposed project meets the land use description used in the DSSA for this location.
- *Drainage Study* – The drainage study dated 2-20-2014 meets the specified requirements and is approved.
 - City of Lawrence Right of Way Permit will be needed to tie the proposed storm sewer line into the south side of the existing junction box on Bauer Farm Drive.
- *Retail Market Study* – Not applicable to application.

GENERAL INFORMATION

Current Zoning and Land Use: PCD [Bauer Farm] (Planned Commercial Development) District; developing mixed use project.

Surrounding Zoning and land use: To the north, east and west:
PCD [Bauer Farm] (Planned Commercial Development) District. A *Theater* is located on the north side of Bauer Farm Drive. A *Fast Order Food, Drive-In* use building located to the west known as Burger King. Undeveloped lot is located to the east

To the south:
PCD [Westgate] (Planned Commercial Development) located on the south side of W 6th Street; existing multi-tenant retail commercial building.

STAFF SUMMARY

This Final Development Plan proposes the development of a 3,662 SF single story *Fast Order Food, Drive-In* on approximately 39,940 sq ft parcel [Proposed Lot 1, Bauer Farm Eighth Plat] located on the south side of Bauer Farm Drive. This proposed use is consistent with the approved Preliminary Development Plan.

STAFF REVIEW

The Bauer Farm Development was proposed and planned as a New Urbanism type of development which would utilize several Traditional Neighborhood Design concepts. The waivers which were approved by the Planning Commission were necessary to accommodate these TND concepts such as smaller lots, narrower rights-of-way, and reduced peripheral setbacks. Several Development Plans have been approved for both the commercial and residential portions of the development. The Planning Commission approved revised waivers with their consideration of the 2015 revised Preliminary Development Plan, PDP-15-00529, based on the type of development being proposed. The proposed use is located on the south

side of Bauer Farm Drive. Uses on the south side were intended for more auto-oriented access with pedestrian sidewalks connecting uses within the development.

A development item related to this application is a pending Minor Subdivision. The Minor Subdivision has been submitted and is being processed. The subdivision review shall be completed and the document recorded prior to the issuance of a building permit for this property.

Off-Street Parking

In the pre-2006 Zoning Code off-street parking is calculated at a different ratio and an alternative methodology was specifically applicable to Planned Developments. Per the 1966 Code, parking was based on net square feet of building space rather than gross square feet in the current Code. Additionally, Planned Development off-street parking was calculated at a rate of 1 space per 200 net square feet regardless of use. The following table summarizes the off-street parking shown on the approved Preliminary Development Plan and the proposed Final Development Plan.

Table 1: Off-Street Parking Summary

Approved PDP	Proposed FDP
Building SF: 3,803 SF	Building SF:
Required Parking at 1:200 = 11 Spaces	Required Parking at 1:100 Customer Service Area + 1 per employee = 29 spaces 1,826 SF Customer Service Area (19 spaces) 10 employees at largest shift (10 spaces)
Proposed Parking: 46 Spaces	Proposed Parking: 44 spaces

This plan provides a parking summary based on the current parking design requirements. The proposed development will result in excess spaces but two fewer than the approved Preliminary Development Plan.

The approved Preliminary Development Plan shows parking along Bauer Farm Drive. This parking is not shown on this proposed Final Development Plan. The on street parking will be provided by the developer of Bauer Farm at a future date with the development of the adjacent

lot to the east. The proposed development exceeds the required off-street parking for this use and is consistent with the approved Preliminary Development Plan.

REVIEW CRITERIA

The Planning Commission is responsible for the final decision-making of a Final Development Plan of the pre-2006 Code. Applications submitted for Final Development Plan approval must be in substantial compliance with the approved Preliminary Development Plan. This section of the report provides a summary of the proposed development's *"substantial compliance the approved Preliminary Development Plan"* based on the 1966 Zoning Code for which it was originally approved and for the current Land Development Code standards.

Section 20-1013 (b) of the 1966 Zoning Code states that a plan submitted for final approval shall be in substantial compliance with the plan previously given preliminary approval and that modifications may not:

1. *Increase gross residential density or intensity by more than 5% or involve a reduction in the area set aside for common open space.*
2. *Increase the total floor area proposed for non-residential or commercial uses by more than 10%.*
3. *Increase the total ground area covered by a building by more than 5% or involves a substantial change in the height of buildings.*

The proposed Final Development Plan:

1. Does not include any residential use or include a reduction in common open space within the phase or development.
2. The proposed building is slightly smaller than the building shown on the Preliminary Development Plan.
 - a. The approved plan included a 3,803 SF building.
 - b. The proposed plan includes a 3,652 SF building.
3. The proposed final development plan does not increase the ground covered by a building. The proposed building is smaller than the building shown on the approved Preliminary Development Plan. The building height is not altered by this request.

The proposed development meets the requirements of being in substantial compliance with the plan previously given preliminary approval. The approved Preliminary Development Plan included a *Fast Order Food, Drive-In* use.

This application complies with the 1966 Zoning Code for consideration of a Final Development Plan. A new public hearing is not required. The 1966 Code requires the Planning Commission to approve a Final Development Plan as the determining authority.

Drive thru Uses in Bauer Farm Planned Development

A significant feature of the Traditional Neighborhood Design concept is the limited number of vehicle oriented uses, specifically drive-thru uses. The development plan, including all the areas zoned PCD, PRD and POD, was modified in 2008 to restrict drive-thru uses to the following mix:

- Three restaurant uses (3)
- One Bank (1)
- One other non-restaurant such as a pharmacy (1)

The plan included automotive service uses that did not count toward these “drive-thru” restrictions.

The CVS, 4841 Bauer Farm Drive, and Taco Bell, 4721 Bauer Farm Drive, buildings were the first in the area to be developed with a drive-thru. To date, two other restaurant uses have been developed with a drive-thru: 4701 Bauer Farm Drive, Starbucks and 4671 Bauer Farm Drive, Burger King.

The Preliminary Development Plan was modified in 2015 to increase the total number of drive-thru uses, excluding automotive service uses, within the Bauer Farm Planned Development (inclusive).

- Four restaurant uses (4)
- Two bank uses (2)
- One other non-restaurant such as a pharmacy (1)

Development of this site will result in the final allowable drive-thru restaurant use for the Bauer Farm Planned Development. One remaining non-restaurant drive-thru use (bank) may be developed on the northwest corner of Folks Road and W. 6th Street (4431 Bauer Farm Drive).

Common Open Space

A minimum of 20% of the area in the Planned Development is required to be placed into Common Open Space. The majority of common open space for the Bauer Farm Planned Development is located within the residential portions of the project. Open space for individual commercial lots is located along the perimeter of the lots and along the street frontages. The proposed development includes 22% of the total lot as open space.

Access and Circulation

Vehicular access to this site is provided from Bauer Farm Drive and is consistent with that approved on the Preliminary Development Plan. Access to the site is shared with the adjacent properties to the east and west. Access driveways are centered on the shared property lines.

Pedestrian Connectivity

A pedestrian walkway connects the building with the sidewalks on Bauer Farm Drive. The walkway provides access to the building entrance.

Lighting

A photometric plan including a point by point illumination array has been provided. The lighting levels and fixture type are compliant with the standards in Section 20-1103(d) (3).

Landscaping

Peripheral boundary buffer yards are not required between PUDs in the same development. Parking lots are also required to be screened. The original Preliminary Development Plan included a screening wall located along the south side of the commercial properties along W. 6th Street. This screening wall was not constructed along the Burger King site or where the buildings west of Champion Lane abut W. 6th Street.



Figure 1: Location of screening walls along W. 6th Street



Figure 2: Screening walls west of Champion Lane



Figure 3: Landscape screening east of Champion Lane
East of Champion Lane.

Use of landscaping to screen the parking lot is an acceptable solution and will provide a unifying appearance along W. 6th Street east of Champion Lane.

The plan notes that all mechanical equipment will be building mounted and will be screened per City Code.

Solid Waste is accommodated in a screened storage area located along Bauer Farm Drive as shown on the plan. The location and design have been approved by the City Solid Waste Division.

Commercial Design Guidelines

Planned Developments provide the developer greater flexibility to achieve their desired design and development. They also allow for greater control over the aesthetics of a site. Proposed

building elevations include variation in material, building planes, a varied roof line and a strongly defined main entry. The proposed building meets the intent of the Design Guidelines.

Infrastructure Improvements

Much of the needed infrastructure exists for this site. The applicant will be responsible for connecting service lines between the building and the water and sanitary sewer main lines. Sidewalk is located along Bauer Farm Drive and W. 6th Street. This project will relocate the sidewalk along Bauer Farm Drive in anticipation of construction of the on-street parking along the south side of Bauer Farm Drive. The City Traffic Engineer noted that "Pedestrian pathway to Bauer Farm Drive needs ramps where appropriate." The plan should be revised to show the ramps as noted.

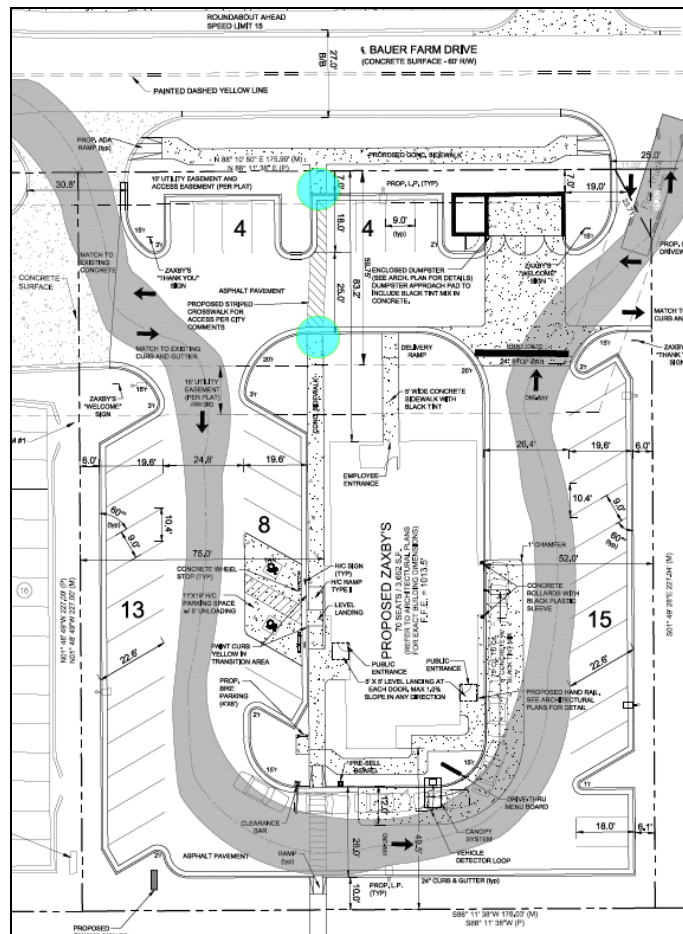


Figure 4: Location for additional pedestrian ramps

The on-street parking as noted will be a future site improvement made by the development group with the development of the adjacent lot to the east.

The City Stormwater Engineer has noted that a right-of-way permit will be needed to connect to the City Storm Sewer. This requirement will be managed through the building permit process.

Conclusion

The development proposed with this Final Development Plan is consistent with the intent of the development that was approved with the Preliminary Development Plan and is compliant with the provisions of the Development Code.

EARTHWORK SPECIFICATIONS:

1. CLEARING AND GRUBBING

1.1. CLEARING AND GRUBBING SHALL CONSIST OF CLEARING THE SURFACE OF THE GROUND OF THE DESIGNATED AREAS OF ALL TREES, LOGS, SNAGS, BRUSH, UNDERGROWTH, HEAVY GROWTH OF GRASS, WEEDS, FENCE STRUCTURES, DEBRIS AND RUBBISH OF ANY NATURE, NATURAL OBSTRUCTIONS SUCH AS OBJECTIONAL SOIL MATERIAL UNSATISFACTORY FOR FOUNDATIONS. IT SHALL ALSO CONSIST OF GRUBBING OF STUMPS, ROOTS FOUNDATIONS AND DISPOSAL OF ALL SUCH MATERIAL. ALL HOLES REMAINING AFTER THE GRUBBING OPERATION IN EMBANKMENT AREAS AND IN EXCAVATION AREAS LESS THAN TWO (2) FEET IN DEPTH, SHALL HAVE SIDES BROKEN DOWN AND LEVELED IF NECESSARY TO FLATTEN OUT SLOPES, REFILLED WITH ACCEPTABLE MATERIAL THAT IS PROPERLY COMPACTED IN LAYERS BY TAMPERS, ROLLERS OR CONSTRUCTION EQUIPMENT.

1.2. BURNING ON SITE IS NOT PERMITTED WITHOUT WRITTEN APPROVAL OF THE LOCAL GOVERNING AUTHORITIES HAVING JURISDICTION

2. EXISTING TREES AND AREA OUTSIDE OF GRADING LIMITS LINE

2.1. TREES AND VEGETATION TO BE SAVED SHALL BE PROTECTED FROM DAMAGE BY A FENCE BARRICADE PRIOR TO, OR DURING, CLEARING OPERATIONS. TREES TO BE SAVED SHALL BE DESIGNATED BY THE OWNER. NO TREES ARE TO BE REMOVED FROM THE AREA OUTSIDE THE LIMITS OF GRADING OR FROM SPECIFICALLY DESIGNATED AREAS WITHIN THE CONSTRUCTION AREAS. IF, IN THE OPINION OF THE ENGINEER, A CONTRACTOR DAMAGES A TREE NOT TO BE REMOVED, THE CONTRACTOR WILL BE FINED A PREDETERMINED AMOUNT FOR EACH DAMAGED TREE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL COSTS ASSOCIATED IN REMOVING THE DAMAGED TREES FROM THE SITE.

3. FILL

3.1. ALL VEGETATION SUCH AS ROOTS, BRUSH, HEAVY GROWTH OF GRASS, TOPSOIL, ALL DECAYED VEGETABLE MATTER, RUBBISH, AND OTHER UNSUITABLE MATERIAL WITHIN THE AREA UPON WHICH FILL IS TO BE PLACED SHALL BE STRIPPED OR BE OTHERWISE REMOVED BEFORE THE FILL OPERATION IS STARTED. IN NO CASE SHALL UNSUITABLE MATERIAL REMAIN IN OR UNDER THE FILL AREA. SLOPED GROUND SURFACE STEEPER THAN ONE VERTICAL TO FOUR HORIZONTAL, ON WHICH FILL IS TO BE PLACED, SHALL BE PLACED, STEPPED OR BENCHED IN SUCH A MANNER THAT THE FILL TO BE PLACED SHALL BE 97 PERCENT OF THE MAXIMUM LABORATORY DRY DENSITY ACCORDING TO STANDARD PROCTOR (ASTM T99, ASTM D-698), MOISTURE CONTENT SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT. PRIOR TO ROLL THE AREAS TO BE FILLED OR ON WHICH STRUCTURES ARE TO BE PLACED, A LOADED DUMP TRUCK OR OTHER RUBBER TIERED EQUIPMENT SHALL BE USED PROOF ROLLING, OVERLAPPING PASSES OF A VEHICLE SHOULD BE MADE ACROSS THE SITE IN ONE DIRECTION AND THEN PERPENDICULAR TO THE ORIGINAL DIRECTION OF ROLLING.

3.2. ANY YIELDING, PUMPING OR SOFT AREAS SHOULD BE CUT OUT AND REPLACED WITH FILL COMPACTED AS DESCRIBED HEREIN.

3.3. THE PROPOSED FILL SHOULD BE LIMITED TO SOILS CLASSIFIED IN ACCORDANCE WITH ASTM D-2487 AS GM, GC, SW, SM, SC, ML AND CL SOIL CLASSIFIED AS PT, OH, OL, CH AND MH ARE NOT SATISFACTORY AS COMPACTED FILL.

3.4. FILLS AND EMBANKMENTS SHALL BE CONSTRUCTED AT THE LOCATIONS AND TO THE LINES AND GRADES INDICATED ON CONSTRUCTION PLANS. THE SLOPE SHALL NOT EXCEED 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL. (3 FOOT HORIZONTAL TO 1 FOOT VERTICAL IN THE PUBLIC RIGHT OF WAY) THE COMPLETED FILL SHALL CORRESPOND TO THE SHAPE OF THE TYPICAL SECTIONS INDICATED ON THE CONSTRUCTION PLANS. MATERIAL REMOVED FROM THE EXCAVATION SHALL BE USED IN FORMING THE FILL. FILL MATERIAL SHALL BE REASONABLY FREE FROM ROOTS, OTHER ORGANIC MATERIAL, TRASH AND STONES HAVING MAXIMUM DIMENSIONS GREATER THAN 6 INCHES (4 INCHES IN TRENCHES FOR UTILITIES). NO FROZEN MATERIAL WILL BE PERMITTED IN THE FILL. STONES HAVING A MAXIMUM DIMENSION OF 4 INCHES WILL NOT BE PERMITTED IN THE UPPER SIX INCHES OF FILL OR EMBANKMENT. THE MATERIAL SHALL BE PLACED IN SUCCESSIVE HORIZONTAL LAYERS NOT MORE THAN 8 INCHES THICK, UNLESS OTHERWISE NOTED, IN LOOSE DEPTH FOR THE WIDTH OF THE CROSS-SECTION AND SHALL BE COMPACTED TO AT LEAST 97 PERCENT OF THE MAXIMUM LABORATORY DRY DENSITY ACCORDING TO STANDARD PROCTOR (ASTM D-698, AASHTO T-99), MOISTURE SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT. THE TOP 12 INCHES OF THE PAVING, PARKING AND/OR ROADWAY SUB-GRADE SHALL BE COMPACTED TO 97 PERCENT OF THE MAXIMUM DRY DENSITY (STANDARD PROCTOR). EACH LIFT SHALL BE ROLLED WITH A VIBRATORY ROLLER, A SHEEPSFOOT ROLLER, OR A LOADED RUBBER TIERED DUMP TRUCK, SCRAPER OR LOADER. IF THE SOIL IS TOO DRY, A WATER TRUCK WITH SPRAYER BAR OR SPRAY HOSE SHALL BE USED TO BRING THE SOIL TO THE PROPER MOISTURE RANGE. THE WATER SHALL BE THOROUGHLY AND PROPERLY MIXED WITH THE SOIL PRIOR TO COMPACTION.

3.5. STORM DRAIN PIPES SHALL BE PLACED ON FIRM BOTTOM AND HAND TAMPED TO SAFE UP THE PIPE. A CUSHION OF SOIL SHALL BE TAMPED ABOVE THE CROWN OF THE PIPE IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS SO THAT THE HEAVIER COMPACTION EQUIPMENT CAN THEN BE USED TO BRING THE SOIL TO A DENSITY AS DESCRIBED ABOVE FOR FILL AREAS.

3.6. IF SOILS INVESTIGATION REPORT IS PROVIDED, THEN FOLLOW THE RECOMMENDATIONS OF THE REPORT IF THEY EXCEED THE RECOMMENDATIONS OF THESE SPECIFICATIONS.

4. TOPSOIL

4.1. UNLESS OTHERWISE SPECIFIED, AREAS DESIGNATED FOR GRADING OPERATIONS THAT CONTAIN A BLANKET OF TOPSOIL SHALL BE STRIPPED AND PLACED IN CONVENIENT STOCKPILES FOR LATER USE AS A TOPSOIL BLANKET ON THE NEW GRADED AREAS SPECIFIED HEREIN, OR AS DESIGNATED. TOPSOIL SHALL BE STRIPPED FROM ALL AREAS DESIGNATED TO RECEIVE FILL. THE STRIPPING OF MATERIAL FOR TOPSOIL SHALL BE CAREFULLY DETERMINED AND ONLY THE QUANTITY REQUIRED SHALL BE STOCKPILED. MATERIAL STOCKPILED SHALL BE STORED IN A SATISFACTORY MANNER TO AFFORD PROPER DRAINAGE. WHEN GRADING OPERATIONS PERMIT, INSTEAD OF STOCKPILING, THE TOPSOIL SHALL BE HAULED AND SPREAD DIRECTLY ON THE AREAS DESIGNATED TO RECEIVE TOPSOIL.

5. ROCK EXCAVATION

5.1. IF ROCK IS ENCOUNTERED, CLEAR AWAY EARTH TO EXPOSE MATERIAL, NOTIFY OWNER AND RECEIVE WRITTEN INSTRUCTIONS PRIOR TO EXCAVATION. REMOVE ROCK TO A DEPTH OF 6 INCHES BELOW AND 8 INCHES ON EACH SIDE OF PIPES IN TRENCHES. A MEASUREMENT OF EXTENT OF ROCK TO BE REMOVED SHALL BE MADE. ROCK EXCAVATION SHALL BE PAID FOR IN ACCORDANCE WITH AGREEMENT WITH THE OWNER.

CONSTRUCTION NOTES:

1. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT, READY TO USE, AND ALL ITEMS NECESSARY FOR A COMPLETE AND WORKABLE JOB SHALL BE FURNISHED AND INSTALLED. ANY DISCREPANCY SHALL BE IMMEDIATELY REPORTED TO THE OWNER OR HIS REPRESENTATIVE.

2. NOTIFY THE INSPECTOR OF THE LOCAL GOVERNING AUTHORITY 24 HOURS BEFORE EVERY PHASE OF CONSTRUCTION.

3. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR, AT HIS EXPENSE, UNLESS ALREADY OBTAINED BY THE OWNER.

4. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBING CURBING, PAVING, AND ALL OTHER UTILITIES.

5. THE EXISTING UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE DRAWINGS. THE UTILITIES SHOWN ARE THOSE LOCATED BY THE SURVEYOR OF RECORD. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF THE UTILITIES SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR CONSENT OF THE ENGINEER AND THE MUNICIPALITY MAY CAUSE FOR THE WORK TO BE UNACCEPTABLE.

7. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER.

8. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.

9. ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.

10. THE CONTRACTOR SHALL PROVIDE SHEETING AND SHORING FOR ALL TRENCH CONSTRUCTION IN ACCORDANCE WITH OSHA GUIDELINES.

11. ALL PIPE LENGTHS SHOWN ARE TO THE CENTERLINE OF THE STRUCTURES UNLESS SPECIFICALLY NOTED.

12. PIPES (STORM AND SANITARY SEWER) SHALL BE LAID ON SMOOTH, CONTINUOUS GRADES WITH NO VISIBLE BENDS AT THE JOINTS.

13. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUM REQUIRED FOR RELATIVELY DRY STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES TO PROVIDE SUCH ADDITIONAL BEDDING AS REQUIRED TO PROPERLY CONSTRUCT WORK.

14. ALL STORM DRAINAGE INLET STRUCTURES SHALL HAVE METAL RING AND COVER FOR ACCESS.

15. ALL ANGLES SHOWN ARE 90 DEGREES UNLESS SHOWN OTHERWISE.

16. ALL GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY DIMENSIONS, GRADES, AND EXISTING ELEVATIONS PRIOR TO CONSTRUCTION.

17. CONCRETE CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN ON PLANS. MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO STATE D.O.T. STANDARD SPECIFICATIONS.

18. ALL CONCRETE SHALL HAVE 3000 PSI COMPRESSIVE STRENGTH AFTER 28 DAYS, WITH A MAXIMUM SLUMP OF FOUR (4) INCHES, UNLESS SPECIFIED OTHERWISE.

19. ALL EXPOSED CONCRETE SHALL HAVE A FINE HAIR BROOMED FINISH.

20. PARKING AND DRIVEWAY BASE COURSE AND ASPHALTIC CONCRETE SURFACE AND PRIME MATERIALS, EQUIPMENT, METHODS FOR CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO STATE D.O.T. STANDARD SPECIFICATIONS.

21. CONTRACTOR TO FIELD VERIFY ALL STORM, SANITARY, WATER AND OTHER UTILITIES LOCATIONS AND INVERTS PRIOR TO INSTALLATION OF ANY UTILITIES. NOTIFY ENGINEER PRIOR TO PROCEEDING WITH ANY WORK IF DISCREPANCIES FOUND.

22. CONTRACTOR SHALL USE CONCRETE THRUST BLOCKS FOR INSTALLATION OF WATER MAINS.

23. ALL DIMENSIONS ARE MEASURED TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

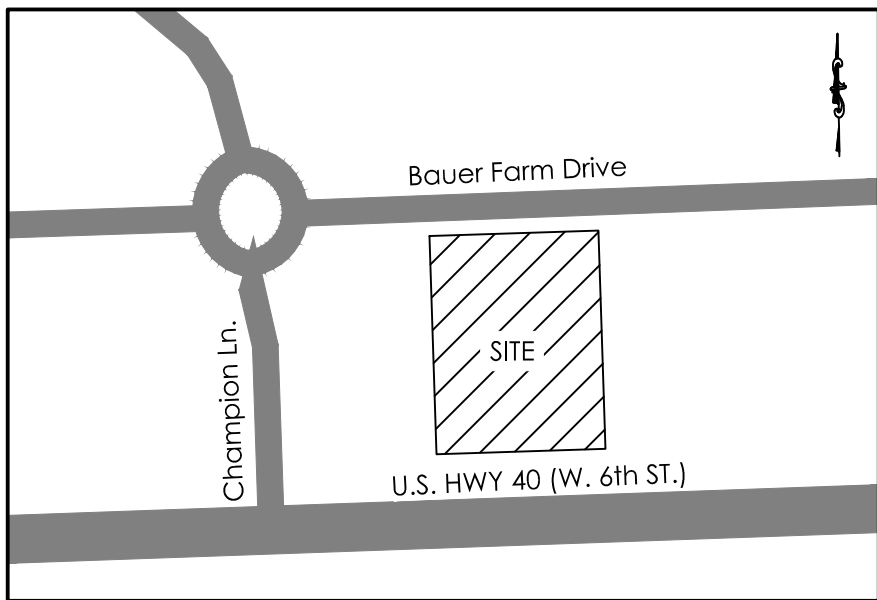
SITE DEVELOPMENT PLANS

ZAXBY'S



FOR
JULI, LLC
BAUER FARM PCD
4661 BAUER FARM DRIVE
CITY OF LAWRENCE
DOUGLAS COUNTY, KANSAS

FEBRUARY 5, 2016



LOCATION MAP
SCALE: 1" = 200'

APPROVED AS A FINAL DEVELOPMENT PLAN UNDER
THE REGULATIONS OF THE CITY OF LAWRENCE & THE
UNINCORPORATED AREAS OF DOUGLAS COUNTY

SCOTT McCULLOUGH
DIRECTOR, PLANNING &
DEVELOPMENT SERVICES

DATE

APPROVED AS A FINAL DEVELOPMENT PLAN UNDER
THE REGULATIONS OF THE CITY OF LAWRENCE & THE
UNINCORPORATED AREAS OF DOUGLAS COUNTY

PLANNING COMMISSIONER
CHAIR

DATE

PROJECT NOTES:

OWNER / DEVELOPER:
JULI, LLC
P.O. Box 1439
Watkinsville, GA 30677
Contact: Ben Williams
Tel.: (706) 714-1197

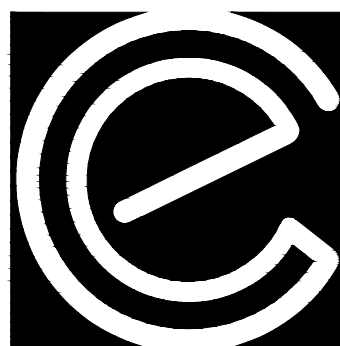
ENGINEER:
Carter Engineering Consultants, Inc.
3651 Mars Hill Road
Suite 2000
Watkinsville, Georgia 30677
Contact: Mark Campbell, P.E.
Tel.: (770) 725-1200
e-mail: mark@carterengineering.net

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS & DEMO PLAN
3	SITE PLAN
4	UTILITY PLAN
5	GRADING & DRAINAGE PLAN
6	EROSION CONTROL PLAN
7	STORM PIPE PROFILES
8	STANDARD DETAILS
9	ADA ACCESS PLAN
10	ADA DETAILS
11	LANDSCAPE PLAN
12	OUTDOOR LIGHTING PLAN
A105	FRONT & REAR EXTERIOR ELEVATIONS
A106	DRIVE THRU & RIGHT EXTERIOR ELEVATIONS

REVISION BLOCK

REV. NO.	DATE	DESCRIPTION
A	02/05/16	INITIAL SUBMITTAL
B	02/29/16	REVISED PER CITY COMMENTS
C	03/16/16	ADDRESS COMMENTS
D	04/29/16	REVISE BOUNDARY PER SURVEY



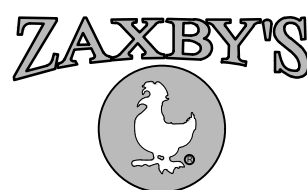
Carter Engineering Consultants, Inc.
3651 Mars Hill Road
Suite 2000
Watkinsville, GA 30677
P: 770.725.1200
F: 706.559.7435
www.carterengineering.net



5/3/16

24-HOUR CONTACT: Ben Williams (706) 714-1197

SITE DEVELOPMENT PLANS
OF



FOR
JULI, LLC
ZONED: PCD
TOTAL SITE AREA: 0.92 ACRES
DISTURBED AREA: 0.95 ACRES

NOTE:
FINAL DEVELOPMENT PLANS MUST BE
RECORDED WITH THE DOUGLAS COUNTY
REGISTER OF DEEDS OFFICE.

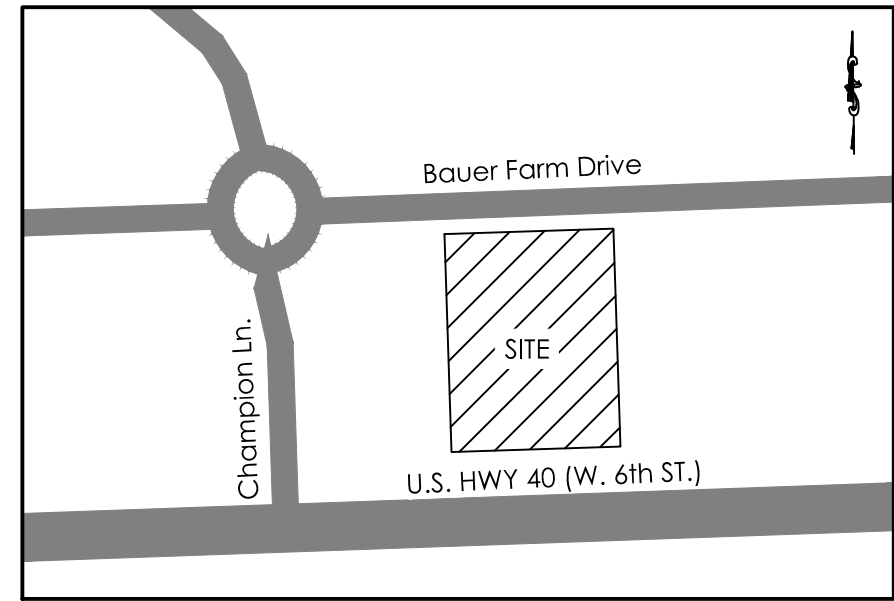
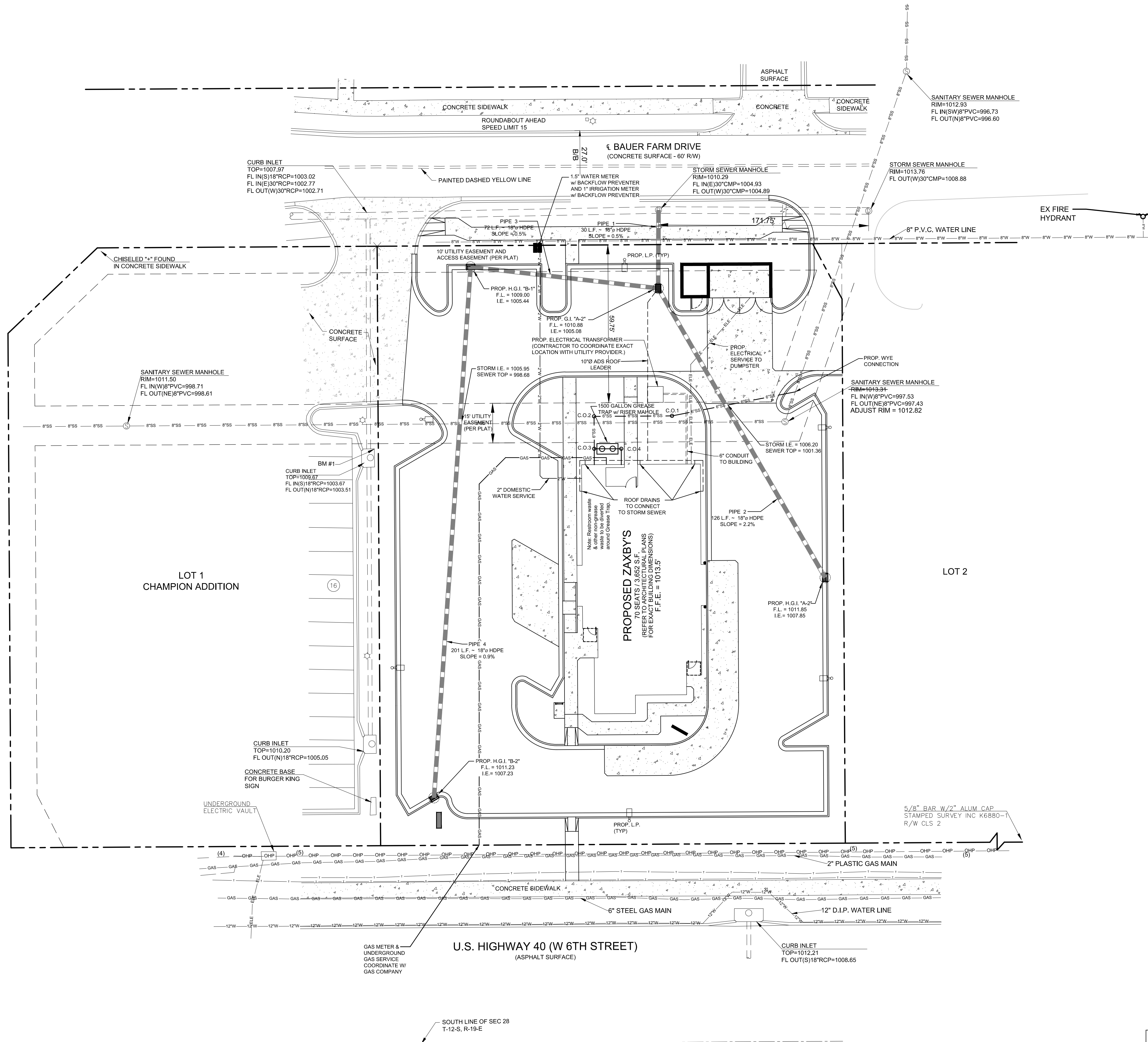


-
- 20' 10' 0 20' 40' 60'
- GRAPHIC SCALE
SCALE 1" = 20'

JULI, LLC
BAUER FARM PCD
1661 BAUER FARM DRIVE, LAWRENCE, KS.

DATE: 02/05/16





LOCATION MAP
SCALE: 1" = 200'

PROJECT NOTES:

OWNER / DEVELOPER:
JULI, LLC
P.O. Box 1439
Watkinsville, GA 30677
Contact: Ben Williams
Tel.: (706) 714-1197

ENGINEER:
Carter Engineering Consultants, Inc.
3651 Mars Hill Road, Suite 2000
Watkinsville, Georgia 30677
Contact: Mark Campbell, P.E.
Tel. (770) 725-1200
mark@carterengineering.net

Property located at 4661 Bauer Farm Drive, Lawrence, KS.
Current Zoning: PCD

Setbacks: Front 15' Rear 35' Side 20'

Proposed use is a Fast Order Food, Drive-in

Proposed building height is 20'

Boundary and topographical information obtained from field run survey by KAW Valley Engineering dated: January 8, 2016 Phone: (865) 689-6169

Project tract contains 0.92 acres, disturbed area = 0.95 acres

Contour interval is 1 foot (NAVD 88)

The property shown hereon does not lie within a 100 year flood plain according to Flood Insurance Rate Map # 20045CO156E dated: September 2, 2015.

The underground utilities shown hereon have been located from field information and existing drawings. The surveyor nor engineer warrants that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor nor engineer warrants that the underground utilities shown are in the exact location indicated. The surveyor nor engineer has physically located all the underground utilities.

It is the responsibility of the contractor to field locate all utilities prior to commencing work and notify engineer if a discrepancy is found.

The contractor shall verify the invert elevations of all existing storm and sanitary sewer structures prior to commencement of storm and sanitary sewer construction.

UNDERGROUND UTILITIES DISCLAIMER

Information regarding the reputed presence, size, character and location of existing underground utilities and structures related to underground utilities is shown hereon. There is no certainty of the accuracy of this information and it shall be considered in that light by those using this drawing. The location and arrangement of underground utilities and structures related to underground utilities shown hereon may be inaccurate and utilities and structures related to underground utilities not shown may be encountered. The owner, his employees, his consultants and his contractors shall hereby distinctly understand that the surveyor is not responsible for the correctness or sufficiency of this information regarding the underground utilities and structures related to underground utilities shown hereon.

SEWER CHART		
	TOP	INVERT
PROP. WYE	1014.25'	997.37'
C.O. 1	1013.50'	1003.57'
C.O. 2	1013.50'	1007.62'
C.O. 3	1013.50'	1008.34'
C.O. 4	1014.50'	1008.44'
BLDG	1015.50'	1008.50'

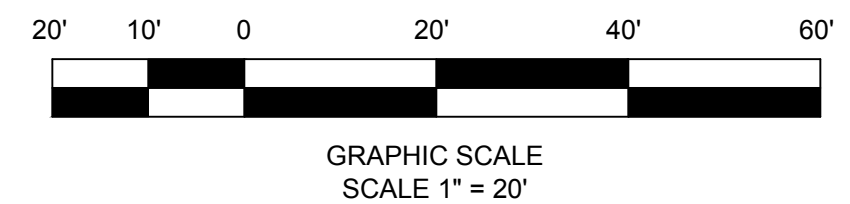
GREASE TRAP SIZING CALCULATION:

(S) X (GS) X (HR/12) X (LF) = CAPACITY IN GALLONS
(S) - Number of seats in dining area = 70 Seats
(GS) - Gallons of waste water per seat (Single Service Article Restaurant) = 10 gal.
(HR) - Numbers of Hours of Establishment is open = 12 hr.
(LF) - Loading Factor (Main Highway) = 1.00

(70) X (10) X (1/12) X (1.00) = 700 GALLONS CAPACITY MINIMUM
1500 GALLON EXTERIOR PRECAST CONCRETE GREASE INTERCEPTOR PROVIDED IN LANDSCAPED AREA AT REAR OF BUILDING.

SEWER SERVICE LINE NOTE:
6" SERVICE LINE SHALL MAINTAIN A MINIMUM 1% SLOPE.

METER APPLICATION NOTE:
WATER METER APPLICATION TO BE SUBMITTED PRIOR TO RECEIVING THE METER AND INSTALLATION



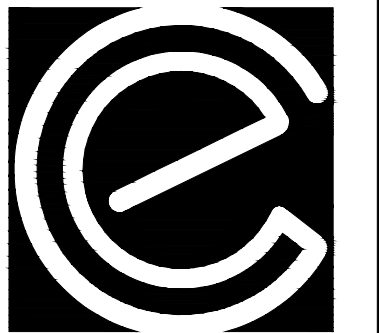
REVISION BLOCK:

#	DATE	DESCRIPTION
---	------	-------------

A	02/05/16	INITIAL SUBMITTAL
B	02/29/16	REVISED PER CITY COMMENTS
C	03/01/16	ADDRESS COMMENTS
D	04/29/16	REVISE BOUNDARY PER SURVEY



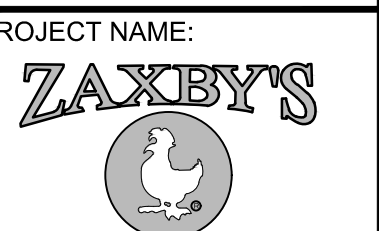
5/3/16



**CARTER
ENGINEERING
CONSULTANTS**

Carter Engineering Consultants, Inc.
3651 Mars Hill Road, Suite 2000
Watkinsville, GA 30677
P: 770.725.1200
F: 770.725.1204
www.carterengineering.net

SITE DEVELOPMENT PLANS
for
JULI, LLC
BAUER FARM PCD
4661 BAUER FARM DRIVE, LAWRENCE, KS.



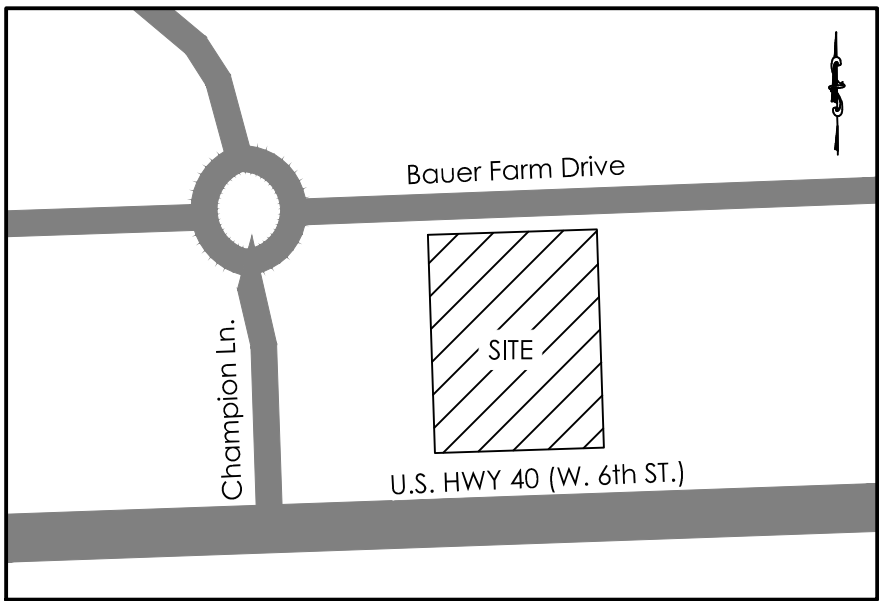
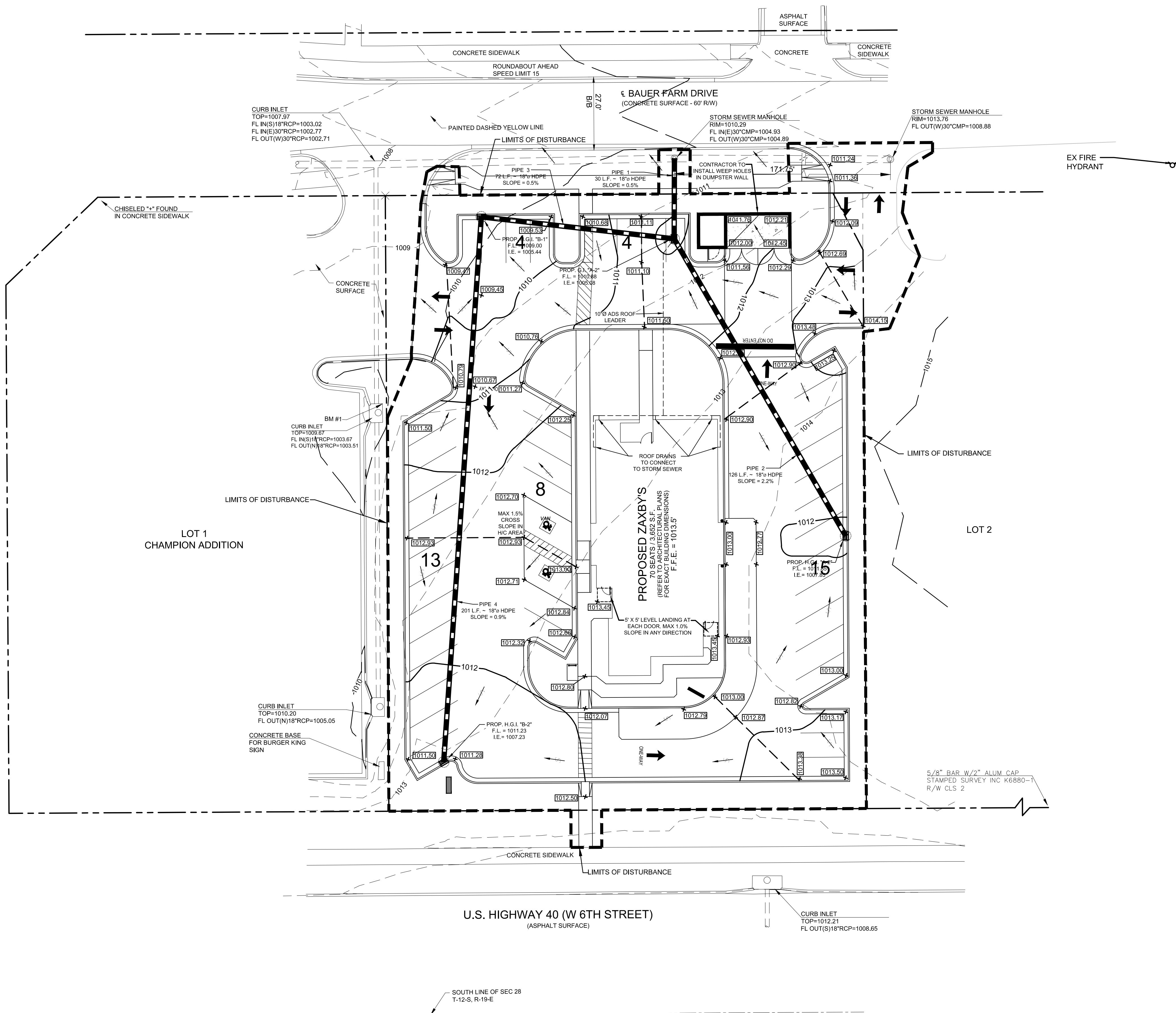
PROJECT NAME:
ZAXBY'S

SHEET TITLE:
**UTILITY
PLAN**

SHEET NUMBER:
4

PROJECT NUMBER:
15135ZAX

DATE:
02/05/16



LOCATION MAP
SCALE: 1" = 200'

STORM NOTE:
THE SITE DRAINS TO AN EXISTING STORM SYSTEM THAT DRAINS TO A MASTER STORMWATER MANAGEMENT FACILITY FOR THE OVERALL DEVELOPMENT.

REVISION BLOCK:	
#	DATE DESCRIPTION
A	02/05/16 INITIAL SUBMITTAL
B	02/29/16 REUSE PER CITY COMMENTS
C	03/16/16 ADDRESS COMMENTS
D	04/29/16 REUSE BOUNDARY PER SURVEY

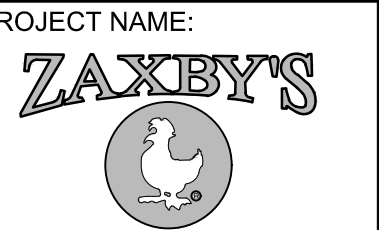


5/3/16

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SITE DEVELOPMENT PLANS
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4861 BAUER FARM DRIVE, LAWRENCE, KS.



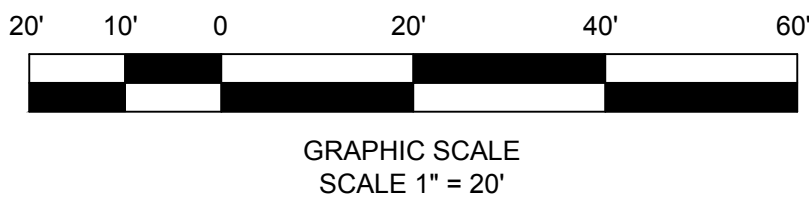
SHEET TITLE:
GRADING AND DRAINAGE PLAN

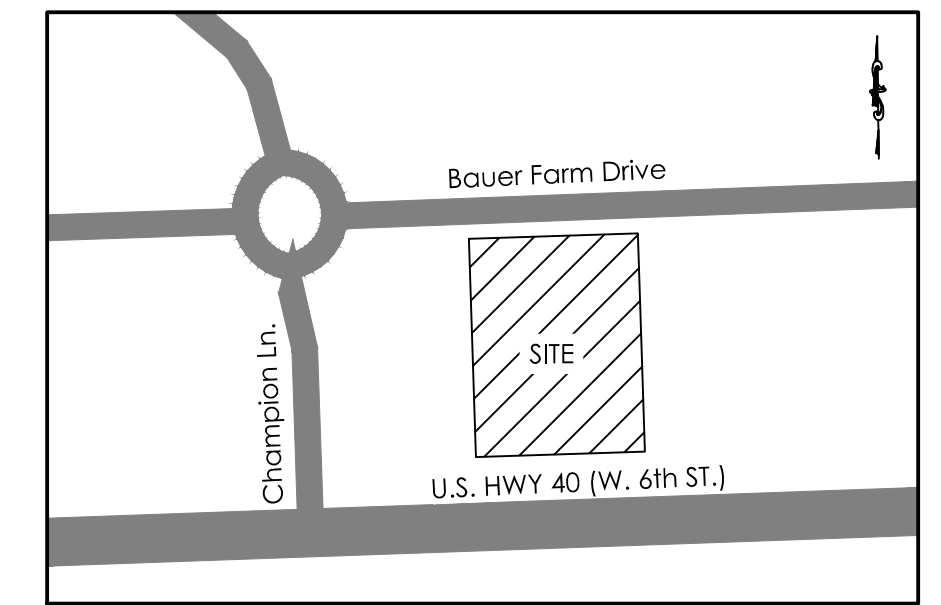
SHEET NUMBER:
5

PROJECT NUMBER:
15135ZAX






DATE:
02/05/16

Know what's below
Call before you dig
dial 811

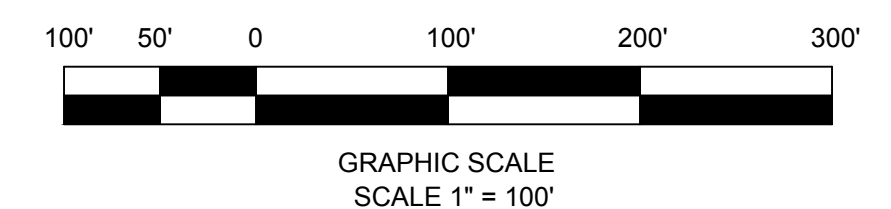




	MONTHS 2015				
	MAY	JUNE	JULY	AUGUST	SEPTEMBER
TASK DESCRIPTION:					
CONSTRUCTION EXIT AND PERIMETER SILT FENCE	X				
TEMPORARY SEDIMENT STORAGE FACILITIES	X				
CLEARING & GRUBBING	X				
ROUGH GRADING	X	X			
TEMPORARY STABILIZATION (GRASSING)					
CURB AND GUTTER		X			
GRAVEL SUBBASE FOR ROADS AND PARKING AREAS		X	X		
BUILDING CONSTRUCTION		X	X	X	
FINAL GRADING					
PAVING				X	
FINAL STABILIZATION (LANDSCAPING)				X	

LEGEND		
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)	
Co	CONSTRUCTION EXIT	
Sd1	SEDIMENT BARRIER	— X — X —
Sd2-F	INLET SEDIMENT TRAP *	
Sd2p	INLET SEDIMENT TRAP *	
Mb	MATTING BLANKET	
LIMITS OF DISTURBANCE		

811 Know what's below
Call before you dig
dial 811



#	DATE	DESCRIPTION
A	02/05/16	INITIAL SUBMITTAL
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D	04/29/16	REVISE BOUNDARY PER SURVEY



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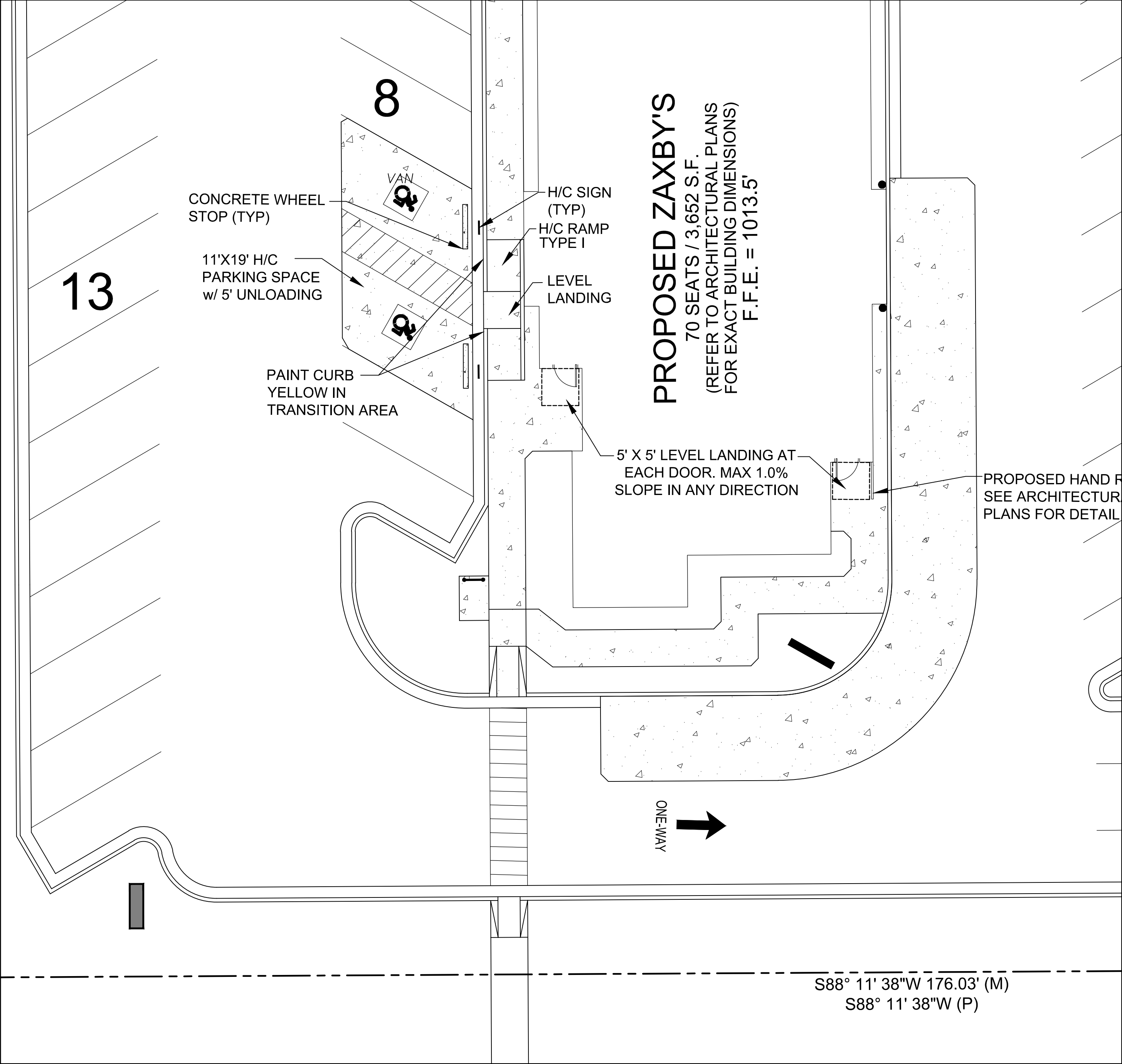
SITE DEVELOPMENT PLANS
for
JULI, LLC
BAUER FARM PCD
4661 BAUER FARM DRIVE, LAWRENCE, KS.

EROSION CONTROL PLAN

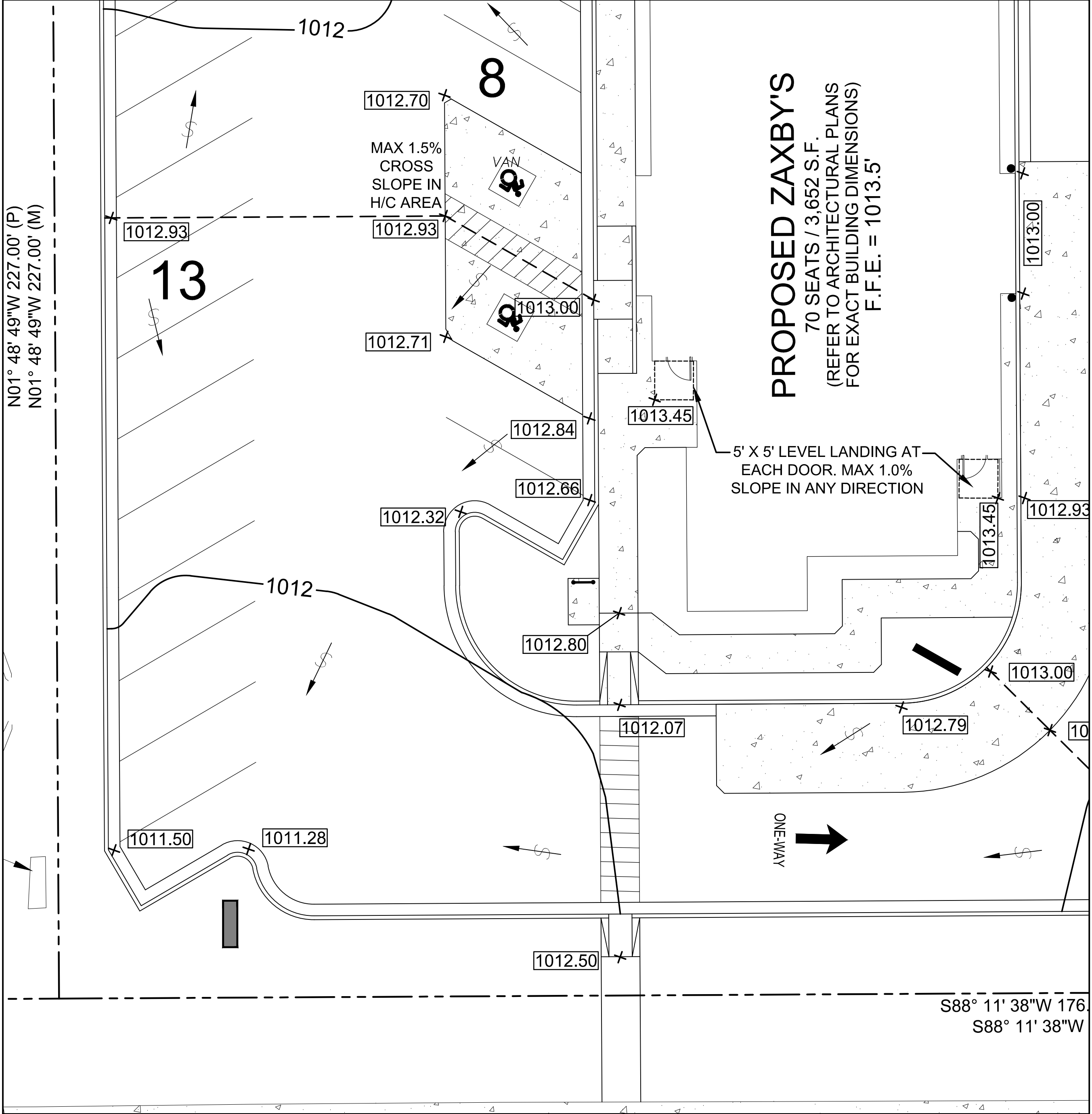
6

PROJECT NUMBER:
15135ZAX

DATE: 02/05/16

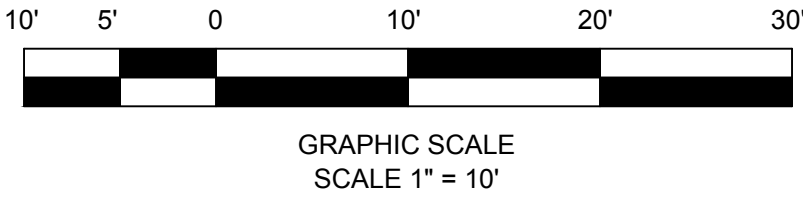


SITE PLAN
SCALE: 1" = 10'

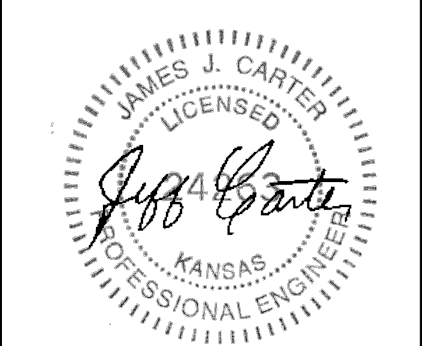


GRADING PLAN
SCALE: 1" = 10'

ACCESSIBLE PARKING SPACES,
ACCESS AISLES AND PASSENGER
LOADING ZONES SHALL HAVE
SURFACE SLOPES NOT STEEPER
THAN 1:67 (1.5%) IN ANY DIRECTION.



REVISION BLOCK:	
#	DESCRIPTION
A	02/05/16 INITIAL SUBMITTAL
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5/3/16

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SITE DEVELOPMENT PLANS
for
JULI, LLC
BAUER FARM PCD
4861 BAUER FARM DRIVE, LAWRENCE, KS.

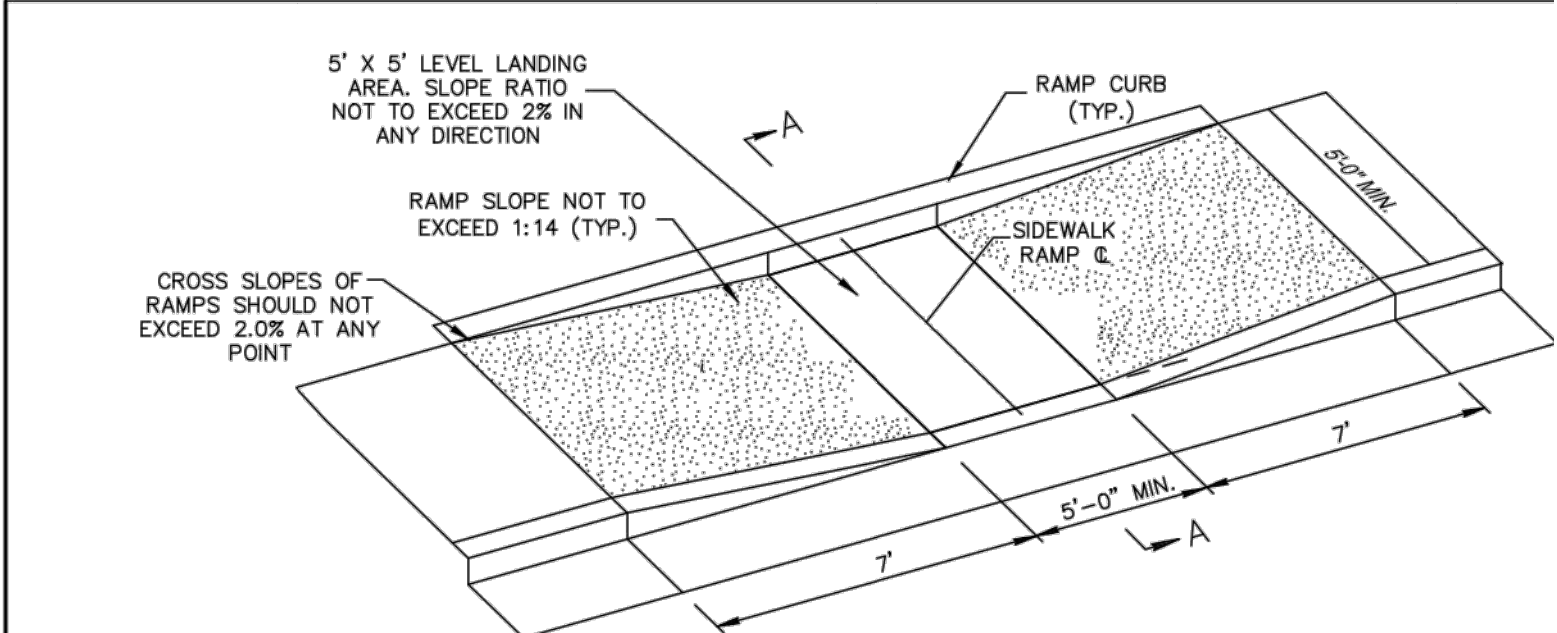
PROJECT NAME:
ZAXBY'S

SHEET TITLE:
**ADA ACCESS
PLAN**

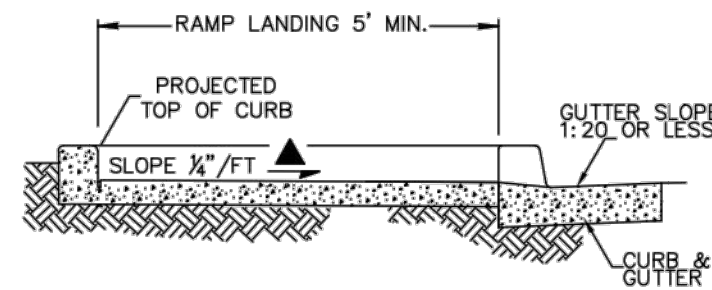
SHEET NUMBER:
9

PROJECT NUMBER:
15135ZAX

DATE:
02/05/16



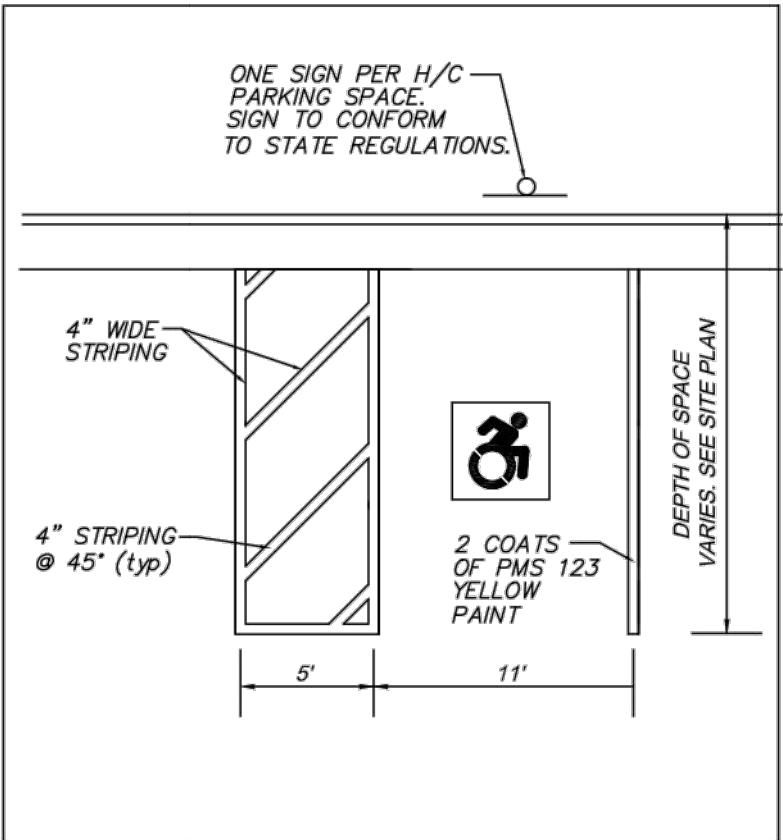
ISOMETRIC VIEW OF RAMP



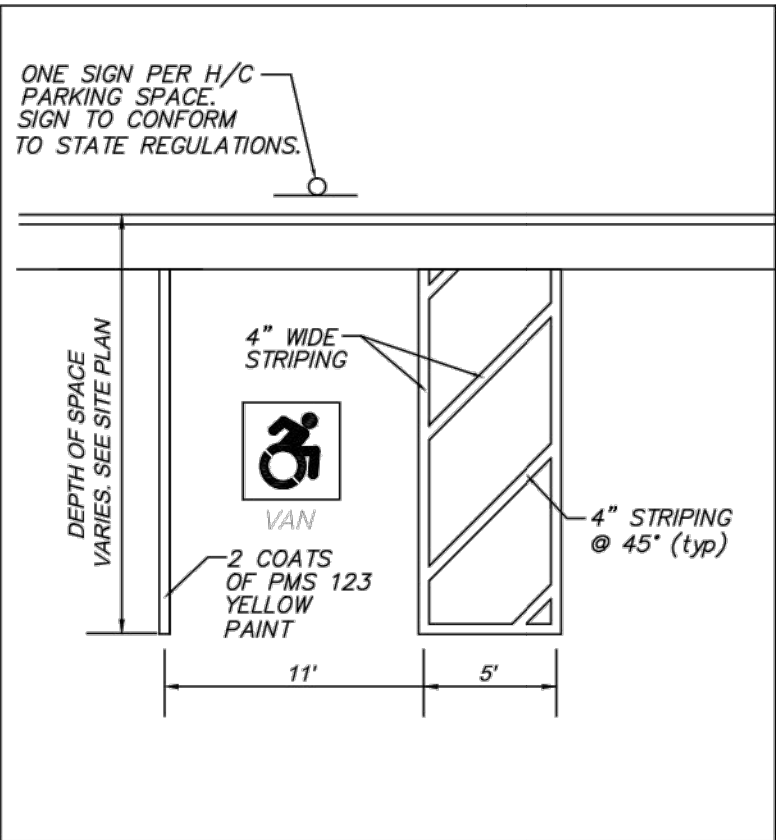
SECTION A-A

- NOTES:
- HANDICAP RAMP CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE AND CITY CODES AND SPECIFICATIONS.
 - SURFACES SHALL MEET THE REQUIREMENTS OF 2010 ADA AND THE 2004 ADAAG
 - THE SLOPE OF THE GUTTER MUST NOT EXCEED 1:20 ADJACENT TO THE RAMP.

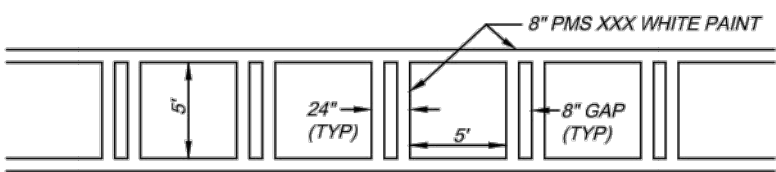
STANDARD CONSTRUCTION DETAIL
HANDICAP RAMP TYPE I



WHEN MEASURING SPACES AND ACCESS AISLES, THE MEASUREMENT SHOULD BE TAKEN FROM THE CENTER OF THE OUTSIDE STRIPE ON THE SPACE OR ACCESS AISLE TO THE CENTER OF THE INSIDE STRIPE ON THE SPACE OR ACCESS AISLE.



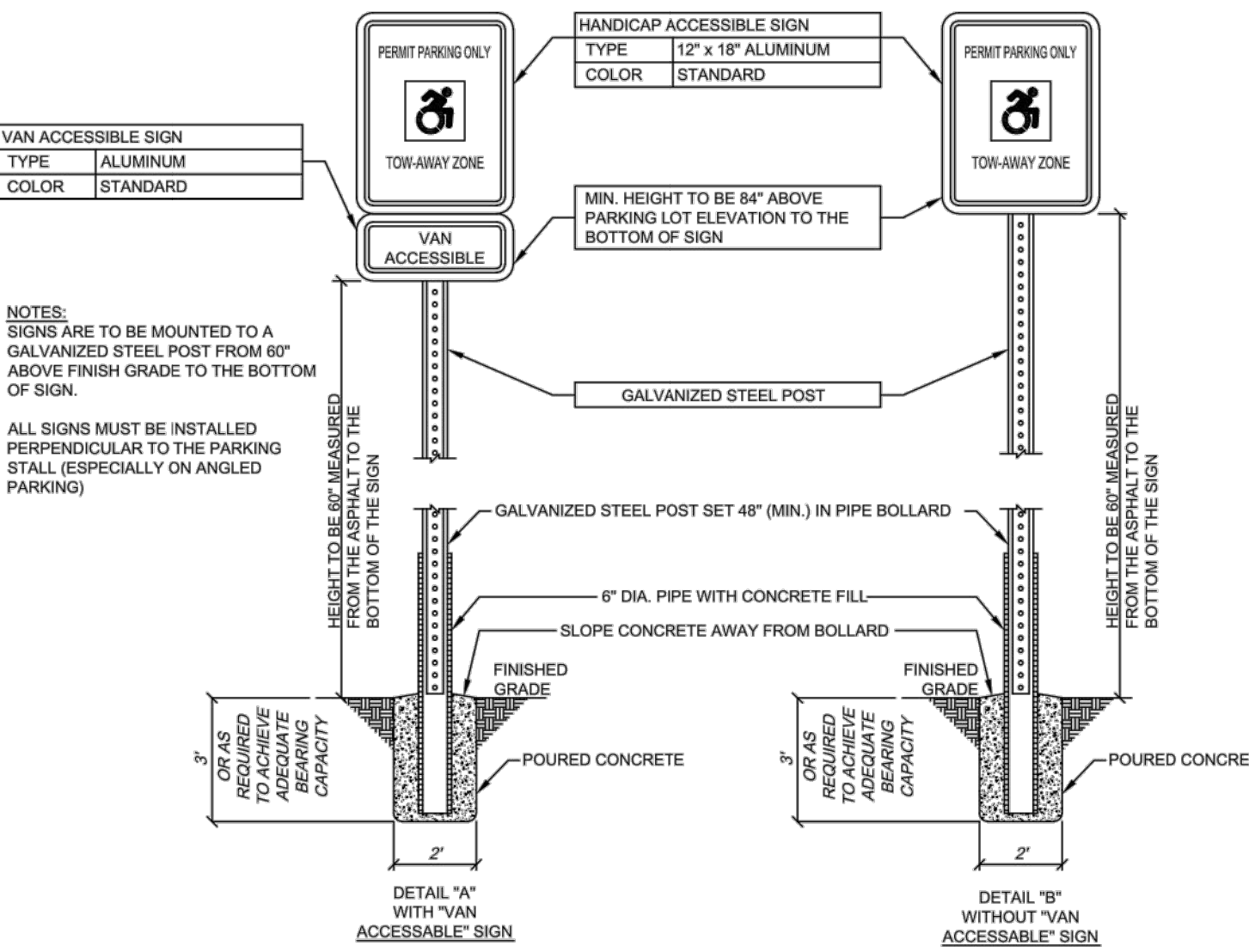
ACCESSIBLE PARKING SPACES, ACCESS AISLES AND PASSENGER LOADING ZONES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:50 (2.0%) IN ANY DIRECTION.



CROSS WALK STRIPING

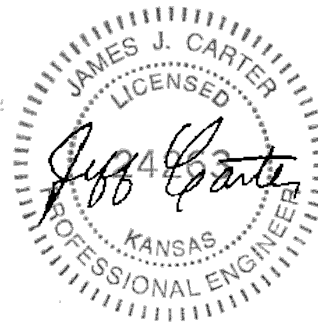


PAINTED HANDICAPPED PARKING SPACE & SYMBOL
NOT TO SCALE

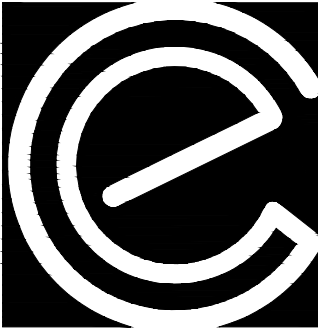


"HANDICAP PARKING ONLY" SIGNS
NOT TO SCALE

REVISION BLOCK:		DATE	DESCRIPTION
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5/3/16



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SITE DEVELOPMENT PLANS
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BAUER FARM PCD
4661 BAUER FARM DRIVE, LAWRENCE, KS.




SHEET TITLE:
ADA DETAILS

SHEET NUMBER:
10

PROJECT NUMBER:
15135ZAX

DATE:
02/05/16



Luminaire Schedule						
Qty	Label	Description	Lumens	LLF	Symbol	Watts
6	A	SS2-BL6-6K-UN-PR-NL	-1	0.850		200

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
Beyond prop Line	0.01	0.5	0.0	N.A.	N.A.
Property line	1.24	2.4	0.1	12.40	24.00
Parking lot	2.84	4.8	0.6	4.73	8.00

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220 Chrysler Drive
Brampton, Ontario
L6S 6B6
Tel: (905) 792-7335
email:ljorge@
junolightinggroup.com

Client:

SMART LIGHTING SOLUTIONS
MR. RANDY PARRISH

Project:
ZAXBY'S LAWRECE KS
BAUER FARM DRIVE
MAINTAINED HORIZONTAL FC
SHOWN AT GRADE LEVEL

Scale:

Date: 2016-01-18

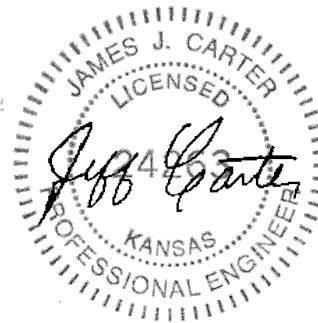
Project No:
16-18-SMART1 (4833)

Drawn by: LJ

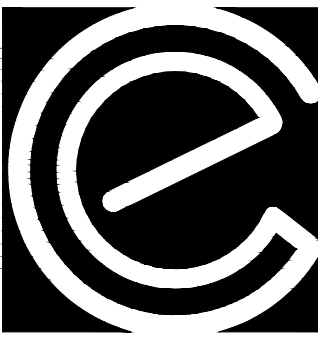
The calculation and results thereof, shown in this report, are based on information provided by the customer. The output figures are only as accurate as the input data. Therefore design parameters such as room reflectances, size, mounting height, depreciation factors, orientation and tilt must be verified.

Juno Lighting Group disclaims all implied warranties with regard to actual installed light levels as compared to those calculated based on inaccurate or incomplete data

REVISION BLOCK:	
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D	04/20/16 REVISE BOUNDARY PER SURVEY



5/3/16



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DEVELOPMENT PLANS
for
JULI, LLC
BAUER FARM PCD
4661 BAUER FARM DRIVE, LAWRENCE, KS.

PROJECT NAME:



SHEET TITLE:

OUTDOOR
LIGHTING PLAN

SHEET NUMBER

12

PROJECT NUMBER:
15135ZAX

DATE: 02/05/16

EXTERIOR FINISH SCHEDULE

ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS UNLESS GOVERNING AUTHORITIES HAVE DIFFERENT REQUIREMENTS.

STANDARD BRICK UNIT 3 5/8" x 2" x 7 5/8" RUNNING 1/2 BOND

- ① COLOR: BRICK - MOSSWOOD (BORAL BRICK)
MORTAR - BUFF BRICK (BORAL BRICK)

ALTERNATE BRICK:

- ① COLOR: BRICK - MOSSTOWN (CHEROKEE BRICK)
MORTAR - ANTIQUE BUFF (CEMEX)

15# ROOFING FELT OVER ALL SUBSTRATES OR SEALED DENS GLASS GOLD SHEATHING GROUT VOID SOLID @ FENCE AND BELOW F.F. PROVIDE VAPOR BARRIER AS INDICATED.

CONTINUOUS, THROUGH WALL FLASHING, EPDM (BY W.R. GRACE) OR EQUAL, AT BOTTOM OF WALLS & ABOVE OPENINGS. CUT FLASHING FLUSH WITH EXT. FACE. PROVIDE CELL VENT TYPE WEEPS, ABOVE FLASHING @ 32" O.C. MAX.

3/8" THICK MORTAR JOINTS. ASTM C-270, TYPE N.

HOHMANN & BARNARD, INC. HORIZ REIN. ON CMU FENCE
HOHMANN & BARNARD, INC., DW-10 HS TRIANGULAR MTL. WALL TIES (OR EQUAL)
@ 16" O.C. VERT. & AT HORIZ. STUD SPACING, 14 GA. SEE SECTIONS & SPECS.
ATTACH TO STUDS WITH (2) 10 - 16 x 1-1/2" SCREWS.

- ② STANDING SEAM MTL. ROOFING - SEE ④

- ③ STO TO HAVE "SWIRL" FINISH AND CAN BE PAINTED. *
FINISH COLORS, BELOW AND ON SHEET A-103 CAN BE PAINTED.
STO BRAND EIFS ON CMU, OR SHEATHING;
"STO ESSENCE" SPEC. E100
ICC EVALUATION REPORT NO. ESR-1720

- ③F = FIELD COLOR: SHERWIN WILLIAMS ZAXBY'S CREAM
③A = ACCENT COLOR: SHERWIN WILLIAMS COLOR DARK TAN

- ④ PREFINISHED, METAL COPING OR GRAVEL STOP & ROOFING
COLOR: COPINGS: MATCH SURROUNDING CORNICE COLOR
ROOFING @ REAR SHED: BLACK
MATERIAL SHALL BE 24 GAUGE, HOT DIPPED GALVANIZED STEEL OR
0.032" THICK ALUM. FINISH SHALL BE KYNAR 500 FLUOROCARBON COATING.
ACCEPTABLE MANUFACTURES ARE AS FOLLOWS:

A. BERRIDGE MANUF. CO., HOUSTON, TX.
B. PAC-CLAD
C. MCELROY METAL CO., PEACHTREE CITY, GA.
D. APPROVED EQUALS WILL BE ACCEPTED

PROVIDE ALL RELATED ACCESSORIES: FLASHING, END CLOSURES, GUTTERS,
DOWNSPOUTS, ETC. IN MATCHING COLOR. INSTALL ALL MATERIALS PER MANUF.'S
RECOMMENDATIONS.

A MANUFACTURER'S WARRANTY AGAINST DISCOLORATION & WEATHER-TIGHTNESS
WILL BE REQUIRED.

NOT ALL ROOF PENETRATIONS & ACCESSORIES ARE SHOWN ON THIS DRAWING.
IT IS THE RESPONSIBILITY OF THE G.C. TO INSTALL ITEMS INDICATED ELSEWHERE.

- ⑤ STOREFRONT: WINDOWS & ENTRANCE DOORS (BLACK ANODIZED)
ACCEPTABLE MANUFACTURER: KAWNEER, REFER TO SPECIFICATIONS
ALL GLAZING SHALL BE IN ACCORDANCE W/ THE FOLLOWING VALUES:

GLAZING - UNCOATED TINTED GLASS						
APPEARANCE	LOCATION	TYPE & THICKNESS	U FACTOR	SHGC	VLT	VLR
GRAY TINT	EXTERIOR SIDE	1/4" TEMPERED	.47	.45	39.6	7.3
CLEAR -NO TINT	INTERIOR SIDE	1/4" TEMPERED	.58	.69	79	15

CONTACT PERSON @ QUALITY GLASS: JOHNNY DOSTER @ 706-548-4481

- ⑥ SELF-CLOSING & TEMPERED GLASS
DRIVE-THRU WINDOW: ROUGH OPENING = 6'-0" WIDE x 5'-8" HIGH
QUICKSERV MODEL SC-4030 SELF CLOSING HORIZ. SLIDER WINDOW
FIT INTO A "STOREFRONT" FRAME, MATCH STOREFRONT IN COLOR & GLAZING.

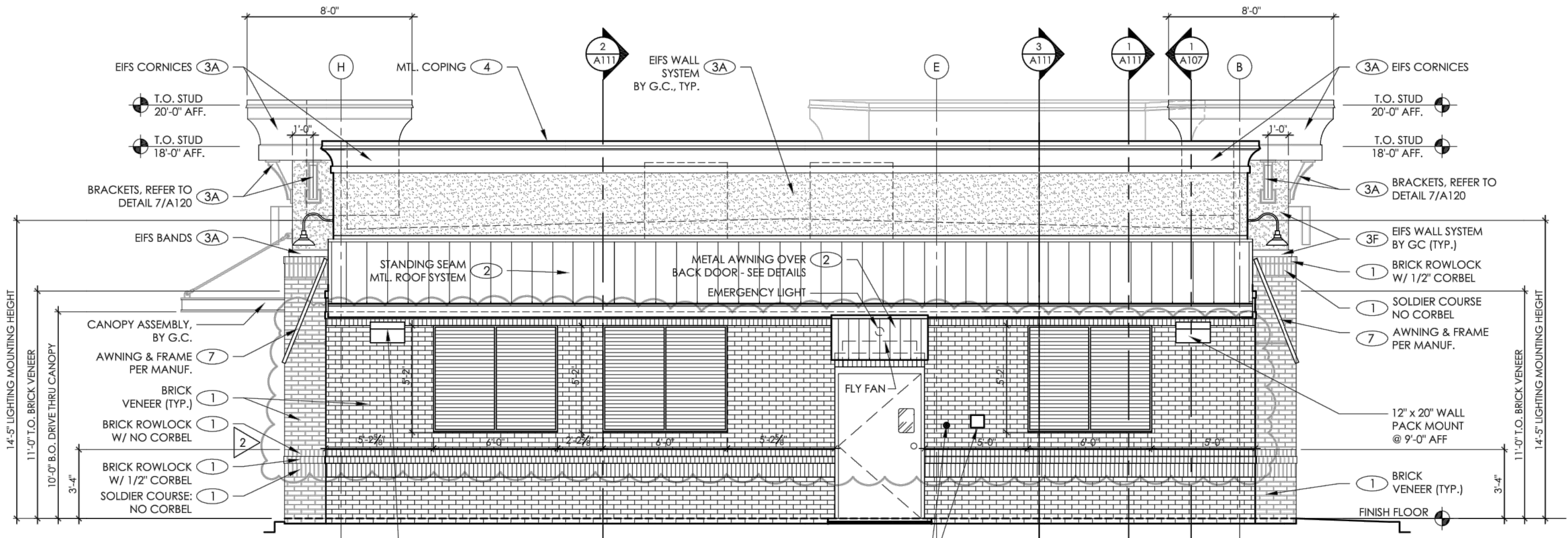
QUICKSERV-DIVISION OF MCE SYSTEMS CORP.
P.O. BOX 40466, HOUSTON, TX 77240-0466
P. 800-388-8307 F. 713-462-1936
STOREFRONT & SLIDER ALSO BY:
QUALITY GLASS P. 706-548-4481

- ⑦ PLANTATION STYLE AWNINGS
PROJECT AWNING: ALUM. FRAME W/ RC SLATS, BLACK
STRUCTURE BY AWNING SUPPLIER
ANY FABRIC TO MEET: ASTM E84-95, FLAME SPREAD RATING CLASS A (10).
FIELD VERIFY ALL AWNING CONDITION AND SIZES.

- ⑧ BLACK GOOSENECK FIXTURES ARE TO BE INSTALLED BY THE G.C.

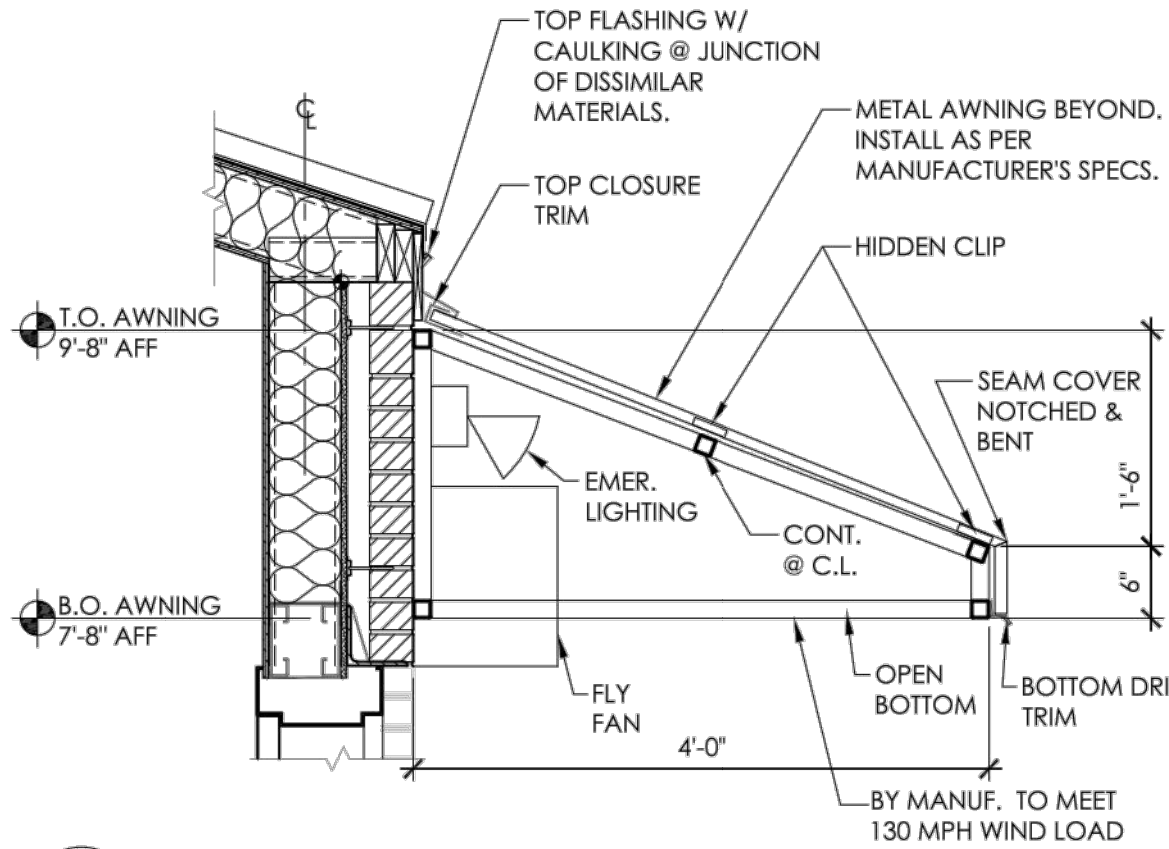
ALL SPECIFIED MATERIALS MUST BE INSTALLED PER MANUFACTURER'S
REQUIREMENTS. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE
DRAWINGS AND THE MANUFACTURER'S REQUIREMENTS SHOULD BE
IDENTIFIED BY THE CONTRACTOR PRIOR TO INSTALLATION AND
DURING THE BID PHASE TO AVOID CHANGE ORDERS.

- ⑨ LADDER, PAINT BLACK
GLAZING, REFER TO SHEET A117
DOORS, REFER TO SHEET A115



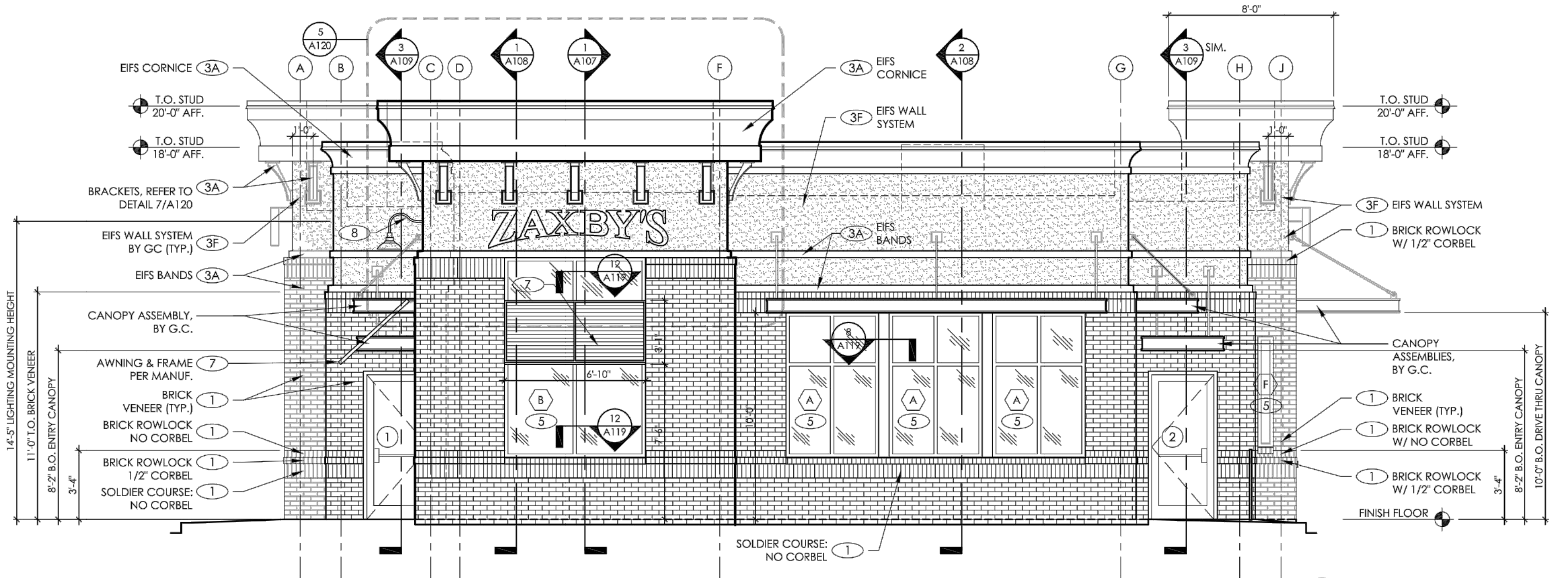
2 REAR ELEVATION

A105 1/4" = 1'-0"



3 REAR AWNING DETAIL

A105 3/4" = 1'-0"



1 FRONT ELEVATION

A105 1/4" = 1'-0"

* E.I.F.S. NOTE:
THESE DRAWINGS USE "STO" BRAND E.I.F.S. SYSTEMS AS A BASIS OF DESIGN.
"DRYVIT" OUTSULATION PLUS MD SYSTEMS WILL BE ALLOWED AS AN ALTERNATE.
ICC EVALUATION REPORT # ESR - 1543.

ISSUED FOR
CONSTRUCTION

ISSUE / REVISIONS:

DATE	DESCRIPTION:
03-04-16	SUBMIT FOR BID
03-04-16	SUBMIT FOR PERMIT
04-25-16	BUILDING REVISIONS

SEAL:



PROJECT NAME & ADDRESS

ZAXBY'S
70 MODEL
LOT 1 BAUER FARM DRIVE
LAWRENCE, KS

PROTOTYPE SERIES

70 BR (C) - RDT

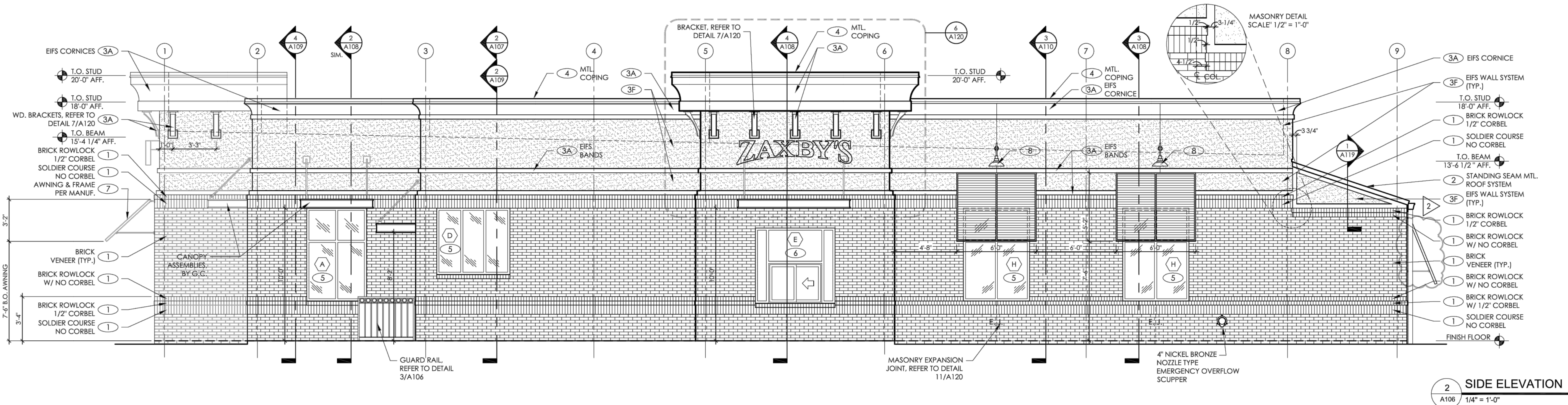
SHEET TITLE:

FRONT & REAR
EXTERIOR ELEVATIONS

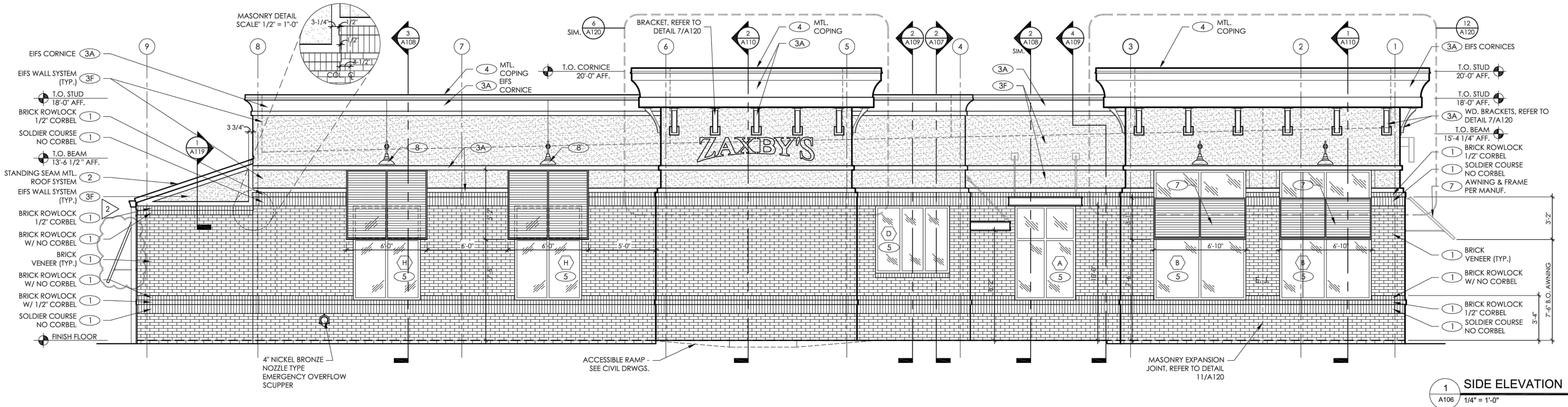
PROJECT #:

16-824.00

A105



2 SIDE ELEVATION
A106 1/4" = 1'-0"



1 SIDE ELEVATION
A106 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS UNLESS GOVERNING AUTHORITIES HAVE DIFFERENT REQUIREMENTS.

STANDARD BRICK UNIT 3 5/8" x 2" x 7 5/8" RUNNING 1/2 BOND

- 1 COLOR: BRICK - MOSSWOOD (BORAL BRICK)
MORTAR - BUFF BRICK (BORAL BRICK)

ALTERNATE BRICK:

- 1 COLOR: BRICK - MOSSTOWN (CHEROKEE BRICK)
MORTAR - ANTIQUE BUFF (CEMEX)

15# ROOFING FELT OVER ALL SUBSTRATES OR SEALED DENS GLASS GOLD SHEATHING. USE ICE & WATER SHIELD BY W.R. GRACE WHERE INDICATED, SEE SECTIONS & SPECIFICATIONS.
GROUT VOID SOLID @ FENCE AND BELOW F.F. PROVIDE VAPOR BARRIER AS ICATED.

CONTINUOUS, THROUGH WALL FLASHING, EPDM (BY W.R. GRACE) OR EQUAL, AT BOTTOM OF WALLS & ABOVE OPENINGS. CUT FLASHING FLUSH WITH EXT. FACE. PROVIDE CELL VENT TYPE WEEPS, ABOVE FLASHING @ 32" O.C. MAX.

3/8" THICK MORTAR JOINTS. ASTM C-270, TYPE N.

HOHMANN & BARNARD, INC. HORIZ REIN. ON CMU FENCE
HOHMANN & BARNARD, INC., DW-10 HS TRIANGULAR MTL. WALL TIES (OR EQUAL) @ 16" O.C. VERT. & AT HORIZ. STUD SPACING, 14 GA. SEE SECTIONS & SPECS. ATTACH TO STUDS WITH (2) 10 - 16 x 1-1/2" SCREWS.

- 2 STANDING SEAM MTL. ROOFING - SEE 4

- 3 STO TO HAVE "SWIRL" FINISH AND CAN BE PAINTED*
FINISH COLORS, BELOW AND ON SHEET A-103 CAN BE PAINTED.
STO BRAND EIFS ON CMU, OR SHEATHING:
"STO ESSENCE" SPEC. E100
ICC EVALUATION REPORT NO. ESR-1720

- 3F = FIELD COLOR: SHERWIN WILLIAMS ZAXBY'S CREAM
3A = ACCENT COLOR: SHERWIN WILLIAMS COLOR DARK TAN

- 4 PREFINISHED, METAL COPING / GRAVEL STOP & ROOFING
COLOR: COPINGS: MATCH SURROUNDING CORNICE COLOR
ROOFING @ REAR SHED: BLACK
MATERIAL SHALL BE 24 GAUGE, HOT DIPPED GALVANIZED STEEL OR 0.032" THICK ALUM. FINISH SHALL BE KYNAR 500 FLUOROCARBON COATING.
ACCEPTABLE MANUFACTURES ARE AS FOLLOWS:

- A. BERRIDGE MANUF. CO., HOUSTON, TX.
B. PAC-CLAD
C. McELROY METAL CO., PEACHTREE CITY, GA.
D. APPROVED EQUALS WILL BE ACCEPTED

PROVIDE ALL RELATED ACCESSORIES: FLASHING, END CLOSURES, GUTTERS, DOWNSPOUTS, ETC. IN MATCHING COLOR. INSTALL ALL MATERIALS PER MANUF.'S RECOMMENDATIONS. A MANUFACTURER'S WARRANTY AGAINST DISCOLORATION & WEATHER-TIGHTNESS WILL BE REQUIRED. SEE SPECIFICATIONS.

NOT ALL ROOF PENETRATIONS & ACCESSORIES ARE SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE G.C. TO INSTALL ITEMS INDICATED ELSEWHERE.

- 5 STOREFRONT: WINDOWS & ENTRANCE DOORS (BLACK ANODIZED)

ACCEPTABLE MANUFACTURER: KAWNEER, REFER TO SPECIFICATIONS.

GLAZING SHALL BE IN ACCORDANCE W/ THE FOLLOWING VALUES:

GLAZING - UNCOATED TINTED GLASS						
APPEARANCE	LOCATION	TYPE & THICKNESS	U FACTOR	SHGC	VLT	VLR
GRAY TINT	EXTERIOR SIDE	1/4" TEMPERED	.47	.45	39.6	7.3
CLEAR-NO TINT	INTERIOR SIDE	1/4" TEMPERED	.58	.69	79	15

CONTACT PERSON @ QUALITY GLASS: JOHNNY DOSTER @ 706-548-4481

- 6 SELF-CLOSING & TEMPERED GLASS
DRIVE-THRU WINDOW: ROUGH OPENING = 6'-0" WIDE x 5'-8" HIGH
QUICKSERV MODEL SC-4030-IP SELF CLOSING HORIZ. SLIDER WINDOW
FIT INTO A "STOREFRONT" FRAME, MATCH STOREFRONT IN COLOR & GLAZING.

QUICKSERV-DIVISION OF MCE SYSTEMS CORP.
P.O. BOX 40466, HOUSTON, TX 77240-0466
P. 800-388-8307 F. 713-462-1936
STOREFRONT & SLIDER ALSO BY:
QUALITY GLASS P. 706-548-4481

- 7 PLANTATION STYLE AWNINGS
PROJECT AWNING: ALUM. FRAME W/ RC SLATS, BLACK
STRUCTURE BY AWNING SUPPLIER
ANY FABRIC TO MEET: ASTM E84-95, FLAME SPREAD RATING CLASS A (10).
FIELD VERIFY ALL AWNING CONDITION AND SIZES.

- 8 BLACK GOOSENECK FIXTURES ARE TO BE INSTALLED BY THE G.C.

ALL SPECIFIED MATERIALS MUST BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S REQUIREMENTS SHOULD BE IDENTIFIED BY THE CONTRACTOR PRIOR TO INSTALLATION AND DURING THE BID PHASE TO AVOID CHANGE ORDERS.

- 9 LADDER, PAINT BLACK

- GLAZING, REFER TO SHEET A117

- DOORS, REFER TO SHEET A115

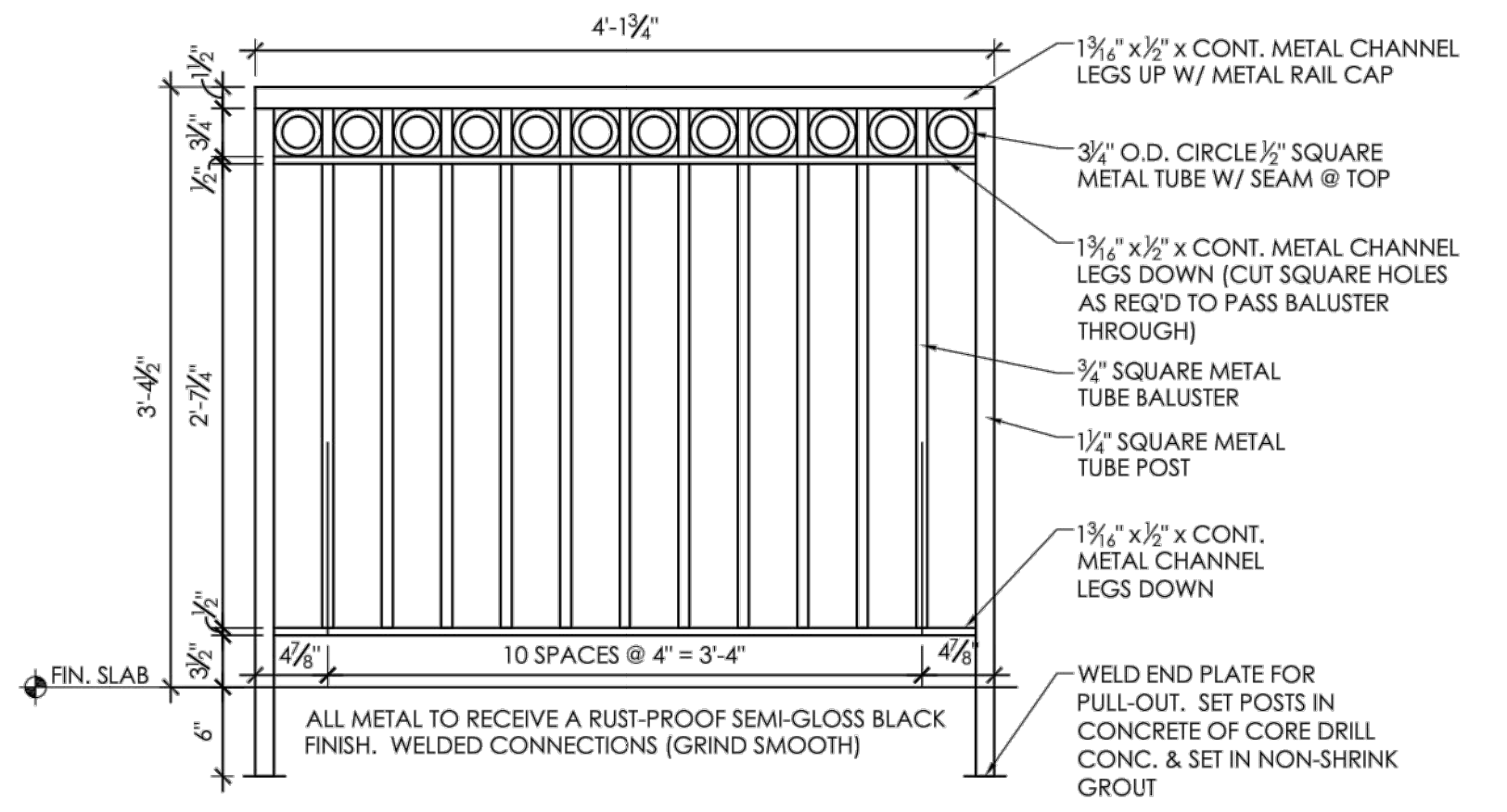
* E.I.F.S. NOTE:
THESE DRAWINGS USE "STO" BRAND E.I.F.S. SYSTEMS AS A BASIS OF DESIGN. "DRYVIT" OUTSULATION PLUS MD SYSTEMS WILL BE ALLOWED AS AN ALTERNATE. ICC EVALUATION REPORT # ESR - 1543.

FIELD COLOR: SHERWIN WILLIAMS
"ZAXBY'S CREAM" - PAINT MIXTURE

COLORANT	1/32 OZ.
R2	1
G2	1
N1	7
Y3	57
BASE 1 GALLON	A82W51
A-100 SATIN EXTERIOR LATEX	
HOUSE PAINT EXTRA WHITE	

ACCENT COLOR: SHERWIN WILLIAMS
"ZAXBY'S DARK TAN" - PAINT MIXTURE

COLORANT	1/32 OZ.
B1	37
R2	12
Y3	2Y21
W1	63
BASE 1 GALLON	A82W51
A-100 SATIN EXTERIOR LATEX	
HOUSE PAINT EXTRA WHITE	



3 DECORATIVE GUARD RAIL
A106 1" = 1'-0"

ISSUED FOR CONSTRUCTION

ISSUE / REVISIONS:

DATE	DESCRIPTION:
03-04-16	SUBMIT FOR BID
03-04-16	SUBMIT FOR PERMIT
04-25-16	BUILDING REVISIONS

SEAL:



PROJECT NAME & ADDRESS

ZAXBY'S
70 MODEL
LOT 1 BAUER FARM DRIVE
LAWRENCE, KS

PROTOTYPE SERIES

70 BR (C) - RDT

SHEET TITLE:

DRIVE THRU & RIGHT-
EXTERIOR ELEVATIONS

PROJECT #:
16-824.00

A106

ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS
UNLESS GOVERNING AUTHORITIES HAVE DIFFERENT REQUIREMENTS.

① COLOR: BRICK - MOSSWOOD (BORAL BRICK)
MORTAR - BUFF BRICK (BORAL BRICK)

① COLOR: BRICK - MOSSTOWN (CHEROKEE BRICK)
MORTAR - ANTIQUE BUFF (CEMEX)

CONTINUOUS, THROUGH WALL FLASHING, EPDM (BY W.R. GRACE) OR EQUAL,
AT BOTTOM OF WALLS & ABOVE OPENINGS. CUT FLASHING FLUSH WITH EXT. FACE.
PROVIDE CELL VENT TYPE WEEPS, ABOVE FLASHING @ 32" O.C. MAX.

HOHMANN & BARNARD, INC. HORIZ REINF. ON CMU FENCE
HOHMANN & BARNARD, INC., DW-10 HS TRIANGULAR MTL. WALL TIES (OR EQUAL)
@ 16" O.C. VERT. & AT HORIZ. STUD SPACING, 14 GA. SEE SECTIONS & SPECS.
ATTACH TO STUDS WITH (2) 10 - 16 x 1-1/2" SCREWS.

- 3F = FIELD COLOR: SHERWIN WILLIAMS ZAXBY'S CREAM
3A = ACCENT COLOR: SHERWIN WILLIAMS COLOR DARK TAN

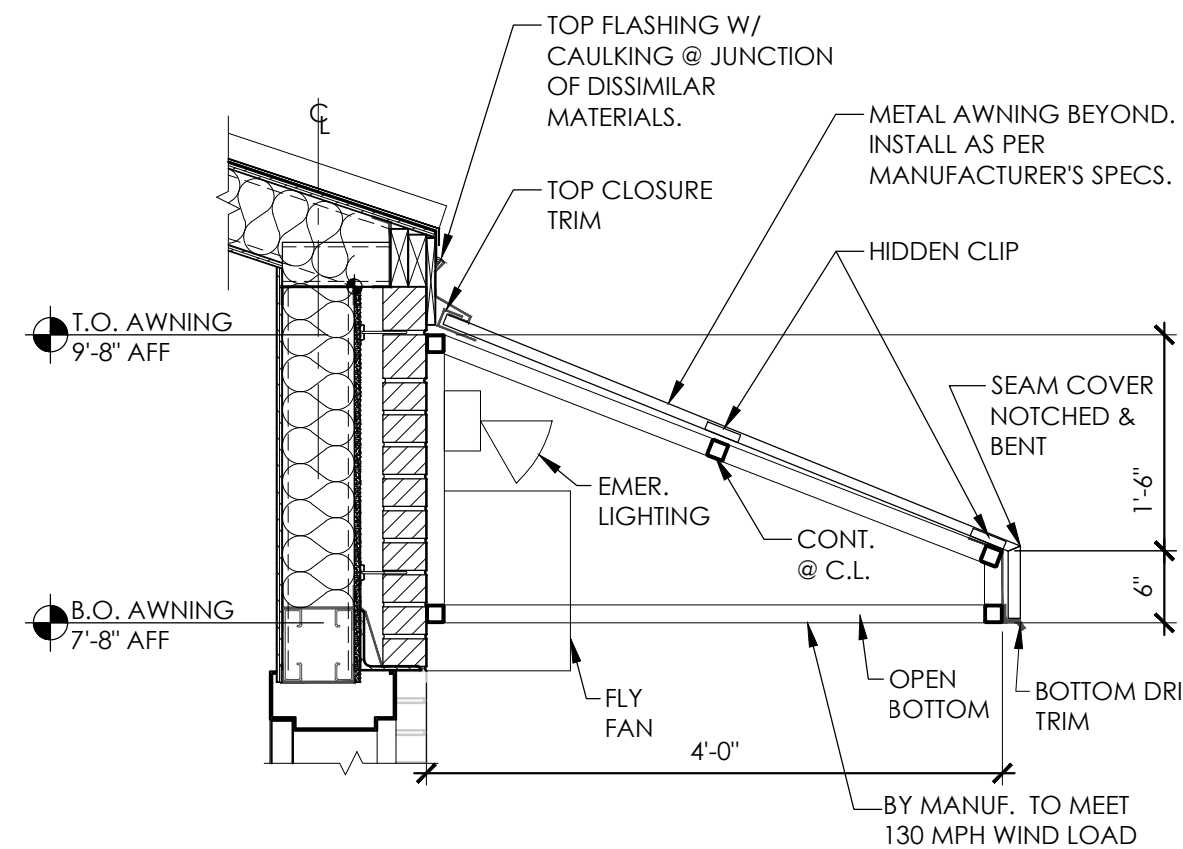
- A. BERRIDGE MANUF. CO.,HOUSTON, TX.
B. PAC-CLAD
C. McELROY METAL CO., PEACHTREE CITY, GA.
D. APPROVED EQUALS WILL BE ACCEPTED

NOT ALL ROOF PENETRATIONS & ACCESSORIES ARE SHOWN ON THIS DRAWING.
IT IS THE RESPONSIBILITY OF THE G.C. TO INSTALL ITEMS INDICATED ELSEWHERE.

- | GLAZING - UNCOATED TINTED GLASS | | | | | | |
|---------------------------------|---------------|------------------|----------|------|------|-----|
| APPEARANCE | LOCATION | TYPE & THICKNESS | U FACTOR | SHGC | VLT | VLR |
| GRAY TINT | EXTERIOR SIDE | 1/4" TEMPERED | .47 | .45 | 39.6 | 7.3 |
| CLEAR -NO TINT | INTERIOR SIDE | 1/4" TEMPERED | .58 | .69 | 79 | 15 |

QUICKSERV-DIVISION OF MCE SYSTEMS CORP.
P.O. BOX 40466, HOUSTON, TX 77240-0466
P. 800-388-8307 F. 713-462-1936
STOREFRONT & SLIDER ALSO BY:
QUALITY GLASS P. 706-548-4481

- 9 LADDER, PAINT BLACK
- GLAZING, REFER TO SHEET A117
- DOORS, REFER TO SHEET A115

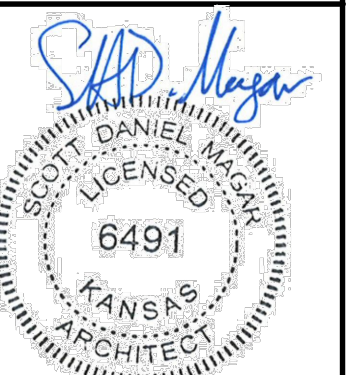


Architectural drawing of the front elevation of a Zaxby's restaurant building. The drawing shows a two-story structure with a brick veneer, a canopy assembly, and various window and door details. Key features include the 'ZAXBY'S' sign, a large window with a 'Z' logo, and a door with a '2' logo. The drawing includes dimensions, callouts for materials and systems, and a section cut through the canopy. The title 'FRONT ELEVATION' is at the bottom right.

VALUE / REVISIONS:

DATE	DESCRIPTION:
1-16	SUBMIT FOR BID
1-16	SUBMIT FOR PERMIT
1-16	BUILDING REVISIONS 2

AL:



OBJECT NAME & ADDRESS

ZAXBY'S®
70 MODEL
LOT 1 BAUER FARM DRIVE
LAWRENCE, KS

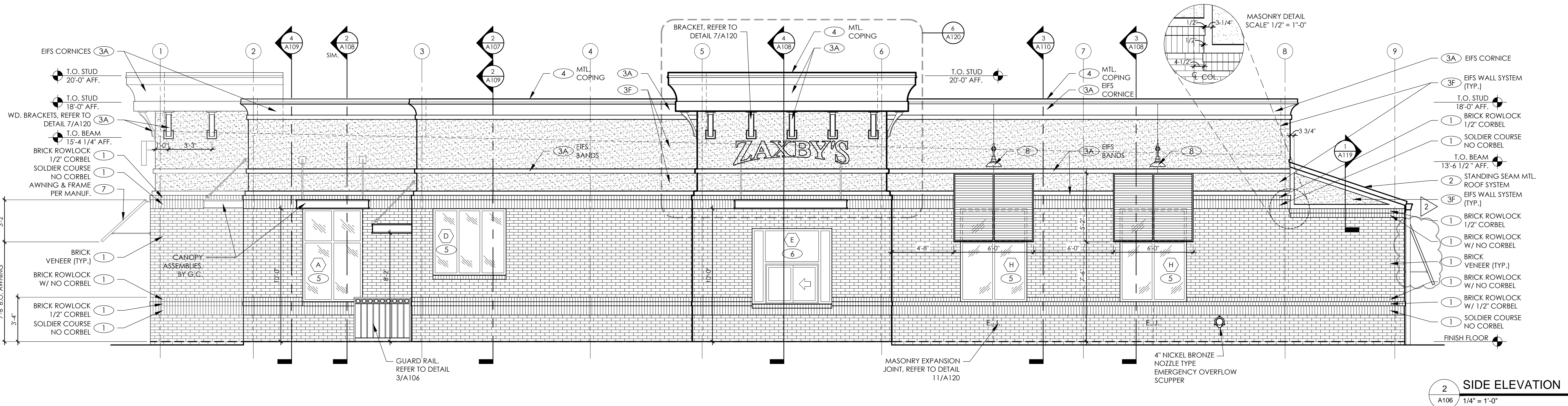
PROTOTYPE SERIES

BR (C) - RDT

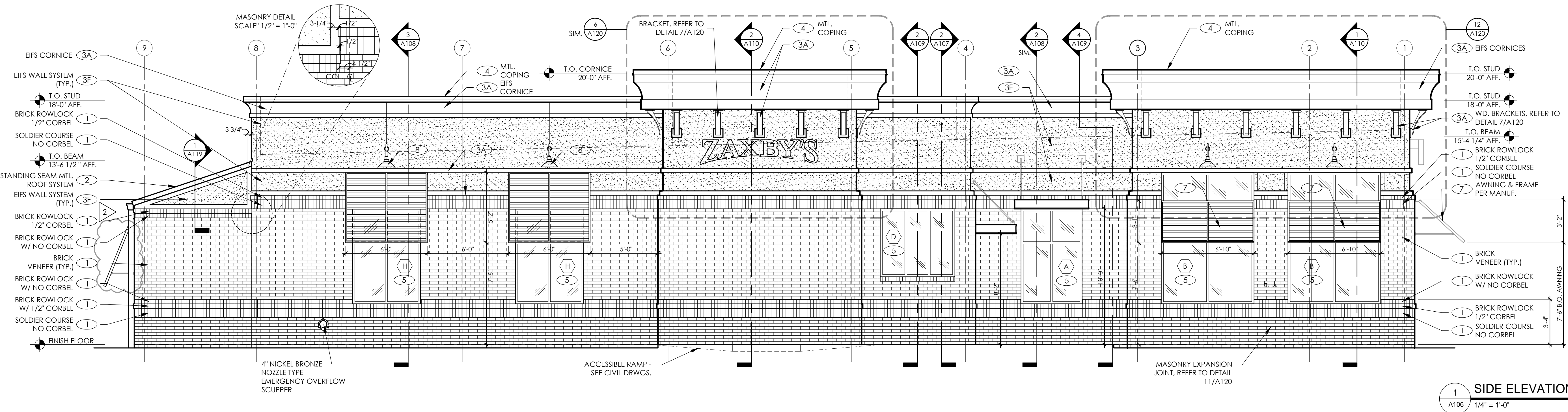
SHEET TITLE:
FRONT & REAR
EXTERIOR ELEVATIONS

PROJECT #:
6-824.00

A105



2 SIDE ELEVATION
A106 1/4" = 1'-0"



1 SIDE ELEVATION
A106 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS UNLESS GOVERNING AUTHORITIES HAVE DIFFERENT REQUIREMENTS.

STANDARD BRICK UNIT 3 5/8" x 2" x 7 5/8" RUNNING 1/2 BOND

- 1 COLOR: BRICK - MOSSWOOD (BORAL BRICK)
MORTAR - BUFF BRICK (BORAL BRICK)

ALTERNATE BRICK:

- 1 COLOR: BRICK - MOSSTOWN (CHEROKEE BRICK)
MORTAR - ANTIQUE BUFF (CEMEX)

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"STO ESSENCE" SPEC. E100
ICC EVALUATION REPORT NO. ESR-1720

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- 7 PLANTATION STYLE AWNINGS
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STRUCTURE BY AWNING SUPPLIER
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- GLAZING, REFER TO SHEET A117

- DOORS, REFER TO SHEET A115

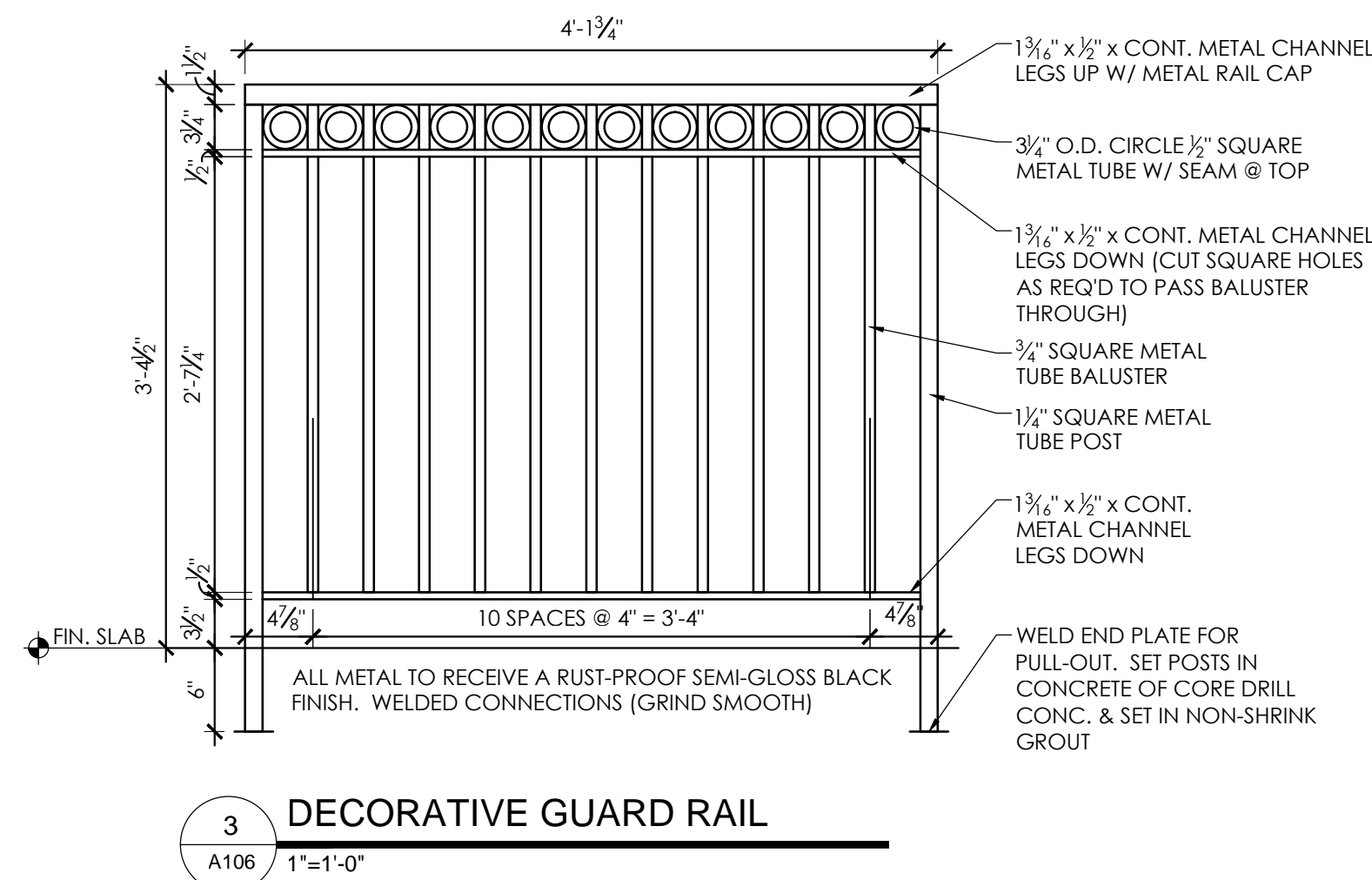
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FIELD COLOR: SHERWIN WILLIAMS
"ZAXBY'S CREAM" - PAINT MIXTURE

COLORANT 1/32 OZ.
R2 1
G2 1
N1 7
Y3 57
BASE 1 GALLON A82W51
A-100 SATIN EXTERIOR LATEX
HOUSE PAINT EXTRA WHITE

ACCENT COLOR: SHERWIN WILLIAMS
"ZAXBY'S DARK TAN" - PAINT MIXTURE

COLORANT 1/32 OZ.
B1 37
R2 12
Y3 2Y21
W1 63
BASE 1 GALLON A82W51
A-100 SATIN EXTERIOR LATEX
HOUSE PAINT EXTRA WHITE



3 DECORATIVE GUARD RAIL
A106 1\"/>

ISSUED FOR
CONSTRUCTION

ISSUE / REVISIONS:

DATE	DESCRIPTION
03-04-16	SUBMIT FOR BID
03-04-16	SUBMIT FOR PERMIT
04-25-16	BUILDING REVISIONS

SEAL:



PROJECT NAME & ADDRESS

ZAXBY'S
70 MODEL
LOT 1 BAUER FARM DRIVE
LAWRENCE, KS

PROTOTYPE SERIES

70 BR (C) - RDT

SHEET TITLE:
DRIVE THRU & RIGHT
EXTERIOR ELEVATIONS

PROJECT #:
16-824.00

A106



Traffic Impact Study

for

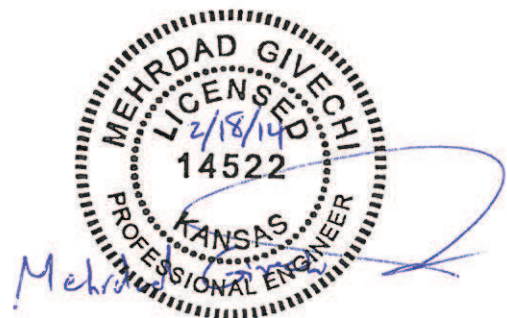
Revised Bauer Farm PCD

6th St., between Wakarusa Dr. and Folks Rd.

Lawrence, Kansas

Prepared
for
Treanor Architects P.A.

Prepared
By



Mehrdad Givechi, P.E., P.T.O.E.

February 2014

Trip Generation Summary - Proposed Changes (Jan 2014) + Undeveloped
Average Weekday Driveway Volumes

Project: Entire Bauer Farm Development (Revised)
Alternative: Proposed Changes (Jan 2014) + Undeveloped

Open Date: 1/14/2014
Analysis 1/14/2014

ITE	Land Use	Average Daily Trips			AM Peak Hour Adjacent Street Traffic			PM Peak Hour Adjacent Street Traffic		
		Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total
220	APT 1 122 Dwelling Units	406	405	811	12	50	62	49	27	76
310	HOTEL 1 108 Rooms	441	441	882	34	23	57	33	32	65
826	CENTERSPECIALTY 1 29 Gross Leasable Area 1000 SF	643	642	1285				35	44	79
850	SUPERMARKET 1 27.24 Gross Floor Area 1000 SF	1393	1392	2785	58	35	93	132	126	258
912	BANKDRIVEIN 1 5 Gross Floor Area 1000 SF	371	370	741	34	26	60	61	61	122
932	RESTAURANTHT 1 6.3 Gross Floor Area 1000 SF	401	400	801	37	31	68	37	25	62
934	FASTFOODDT 1 2.7 Gross Floor Area 1000 SF	670	670	1340	63	60	123	46	42	88
Unadjusted Driveway Volume		4325	4320	8645	238	225	463	393	357	750
Unadjusted Pass-By Trips		0	0	0	31	29	60	116	106	222
Internal Capture Trips		755	755	1510	0	0	0	49	49	98
Adjusted Driveway Volume		3570	3565	7135	238	225	463	344	308	652
Adjusted Pass-By Trips		0	0	0	31	29	60	102	91	193
Adjusted Volume Added to Adjacent Streets		3570	3565	7135	207	196	403	242	217	459

Total AM Peak Hour Internal Capture = 0 Percent

Total PM Peak Hour Internal Capture = 13 Percent