

PLANNING COMMISSION REPORT
Non-Public Hearing Item

PC Staff Report
07/21/14

**ITEM NO. 1 FINAL DEVELOPMENT PLAN FOR BAUER FARM; 4700 OVERLAND DR
(SLD)**

4820 BAUER FARM DRIVE and 4740 BAUER FARM DRIVE

FDP-14-00207: Consider a Final Development Plan for Bauer Farm to include a 27,275 SF grocery store and an 11,623 SF commercial retail building, located at 4700 Overland Dr. Submitted by Treanor Architects for Free State Group LLC, property owner of record.

STAFF RECOMMENDATION: Planning staff recommends approval of the Final Development Plan based upon the findings of fact presented in the body of the Staff Report subject to the following conditions:

1. Applicant shall provide cut sheets for the lighting fixtures for review and approval prior to release of the plan for building permits.
2. Submission of revised Final Development Plan with the following changes:
 - a. Signature block for Planning Commission Chair and the Director of Planning.

Reason for Request: *Construction of two buildings: a 11,623 square feet in-line retail building, and a 27,275 square foot grocer, along with associated parking lots, driveways, sidewalks, utilities, grading and landscaping. To make way for the proposed improvements, while still providing necessary detention volume, the existing detention point which spans Champion Lane will be modified using segmental retaining walls (such as Redi-Rock LedgeStone units) along the perimeter of the pond. The existing private drive and public water main, which serves the existing Hurricane Alley car wash property will be extended north to Overland Drive.*

Attachments:

- Proposed Final Development Plan

Design Standards to Consider

- Consistency with approved Preliminary Development Plan, PDP-14-00055.
- Consistency with Article 10 of the 1966 Zoning Code.

KEY POINTS:

- This final development plan is specifically for Lot 2, in-line retail use to be addressed as 4820 Bauer Farm Drive and Lot 3, grocery to be addressed as 4740 Bauer Farm Drive.
- Final Development Plans for projects with preliminary approvals prior to the adoption of the 2006 Development Code require Planning Commission approval.
- A revised Preliminary Development Plan for Bauer Farms Northwest PCD [PDP-14-00055] was approved by the City Commission on May 6, 2014.
- The proposed development is in substantial conformance with the approved Preliminary Development Plan.

ASSOCIATED CASES/OTHER ACTION REQUIRED

- CPA-14-00055; Comprehensive Plan Amendment to revise Chapter 6 and the 6th & Wakarusa Nodal Plan.
- Z-14-00057; amending the uses and retail square foot limitation of existing PCD approved per Ordinance 8986 by the City Commission on May 6, 2014.
- PDP-14-00055; Revised Preliminary Development Plan approved by the City Commission on May 6, 2014.
- PF-14-00054; Final Plat Bauer Farm 6th Plat. Easements accepted by the City commission on May 13, 2014 and recorded with the Douglas County Register of Deeds Office on June 25, 2014, Book 18 Page 801.

PUBLIC COMMENT

- Phone Inquiry from USD 497 regarding clarification of proposed development.

PLANS AND STUDIES REQUIRED

- *Traffic Study* – Study provided and accepted with Preliminary Development Plan.
- *Downstream Sanitary Sewer Analysis* - Study provided and accepted with Preliminary Development Plan.
- *Drainage Study* – Study provided and accepted with Preliminary Development Plan.
- *Retail Market Study* – Not applicable to application.

GENERAL INFORMATION

Current Zoning and Land Use: PD-[Bauer Farm Northwest] Planned Commercial Development District. Property is currently undeveloped but does contain a stormwater detention pond.

Surrounding Zoning:

To the south:

PD-[Bauer Farm] Planned Commercial Development District. Hurricane Car Wash, and additional commercial retail and fast order food uses to the south, and a detention pond to the west.

To the west:

West side of Wakarusa Drive. CO (Commercial Office) District. Vacant lots on the north and south sides of Overland Drive. Pending development on the northwest corner for medical office building.

To the north:

GPI (General Public and Institutional Uses) District north of Overland Drive; *School*, Free State High School and *Participant Sports & Recreation, Indoor*, Lawrence Indoor Aquatic Center.

To the east:

East side of Champion Lane. PD-[Bauer Farm] Planned Commercial Development District; existing Theater Lawrence.

STAFF SUMMARY

This Final Development Plan proposes the development of two of the four lots included in the Bauer Farm Northwest Planned Commercial District. Additionally, this Final Development Plan modifies the detention pond located on the west side of Champion Lane.

Site Summary	Lot 2 (4820 Bauer Farm Dr.)	Lot 3 (4740 Bauer Farm Dr.)	Tract A	Total
Lot Area (SF)	92,729	116,582	16,136	
Building (SF)	11,623	27,275	0	38,898
Impervious area (SF)	76,155	103,861	0	180,016
Pervious area (SF)	16,574	12,721	16,136	114,948

STAFF REVIEW

This application represents a substantial development of the commercial portion of the Bauer Farm Development on the north side of Bauer Farm Drive. The commercial area has been platted, creating developable lots and an interior access drive (private street) between Bauer Farm Drive and Overland Drive. This Final Development Plan will result in the completion of the access drive between Bauer Farm Drive and Overland Drive. Development of Lot 1 (on the southeast corner of Wakarusa Drive and Overland Drive) and Lot 4 (on the northwest corner of Champion Lane and Bauer Farm Drive) will require future Final Development Plan approval prior to a building permit.

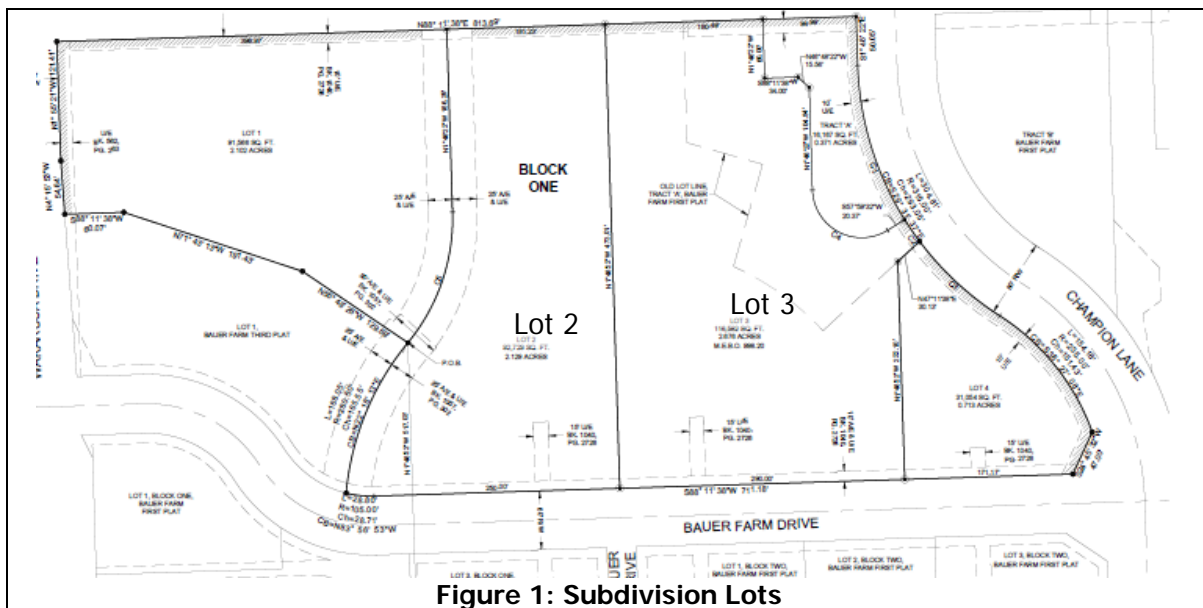


Figure 1: Subdivision Lots

Common Open Space

A minimum of 20% of the area in the Planned Development is required to be placed into Common Open Space. Common open space within the commercial development typically occurs as peripheral yards and interior open space. The approved Preliminary Development Plan shows that while Lots 2 and 3 do not meet the required open space individually, the four lots combined in the Bauer Farm Northwest PCD do comply with this design standard. Excess open space is provided in Tract A, and in the future development of Lot 1 and Lot 4 of Bauer Farm Northwest.

Access and Circulation

Vehicular access to this site is provided from Bauer Farm Drive, Overland Drive, and Champion Lane. An interior access drive (private street) will be added between Bauer Farm Drive and Overland Drive. Direct access to both Overland Drive and Champion Lane are restricted to specific access points established with the Final Plat. The proposed Final Development Plan is consistent with these access locations.

Champion Lane between W. 6th Street and Overland Drive is noted on Transportation Planning documents as a future bike route. Additionally Overland Drive between Wakarusa Drive and Folks Road is designated as a future bike route. Appropriate signage and pavement markings are recommended for the Final Development Plan as these two lots abut Overland Drive and Champion Lane.

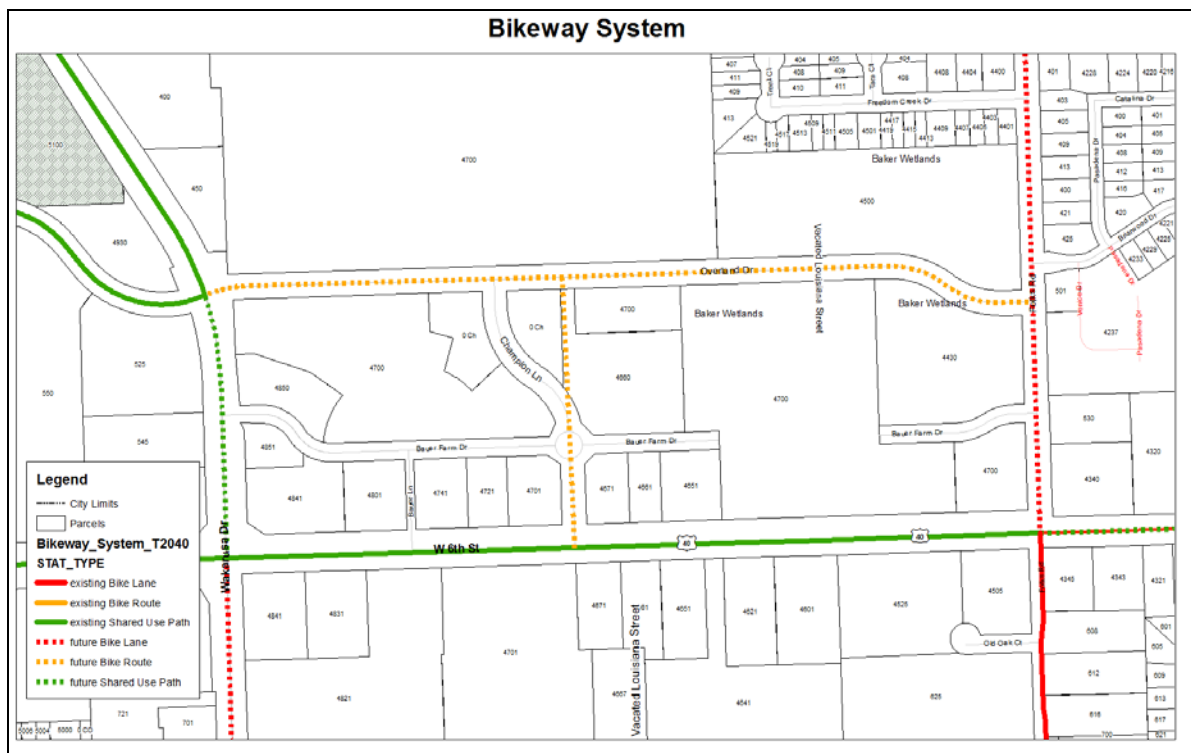


Figure 2: Bikeway System Map

Pedestrian Connectivity

Internal pedestrian walkways are provided throughout the development. The plan shows pedestrian connections within the site and connecting to existing public sidewalks surrounding the property.

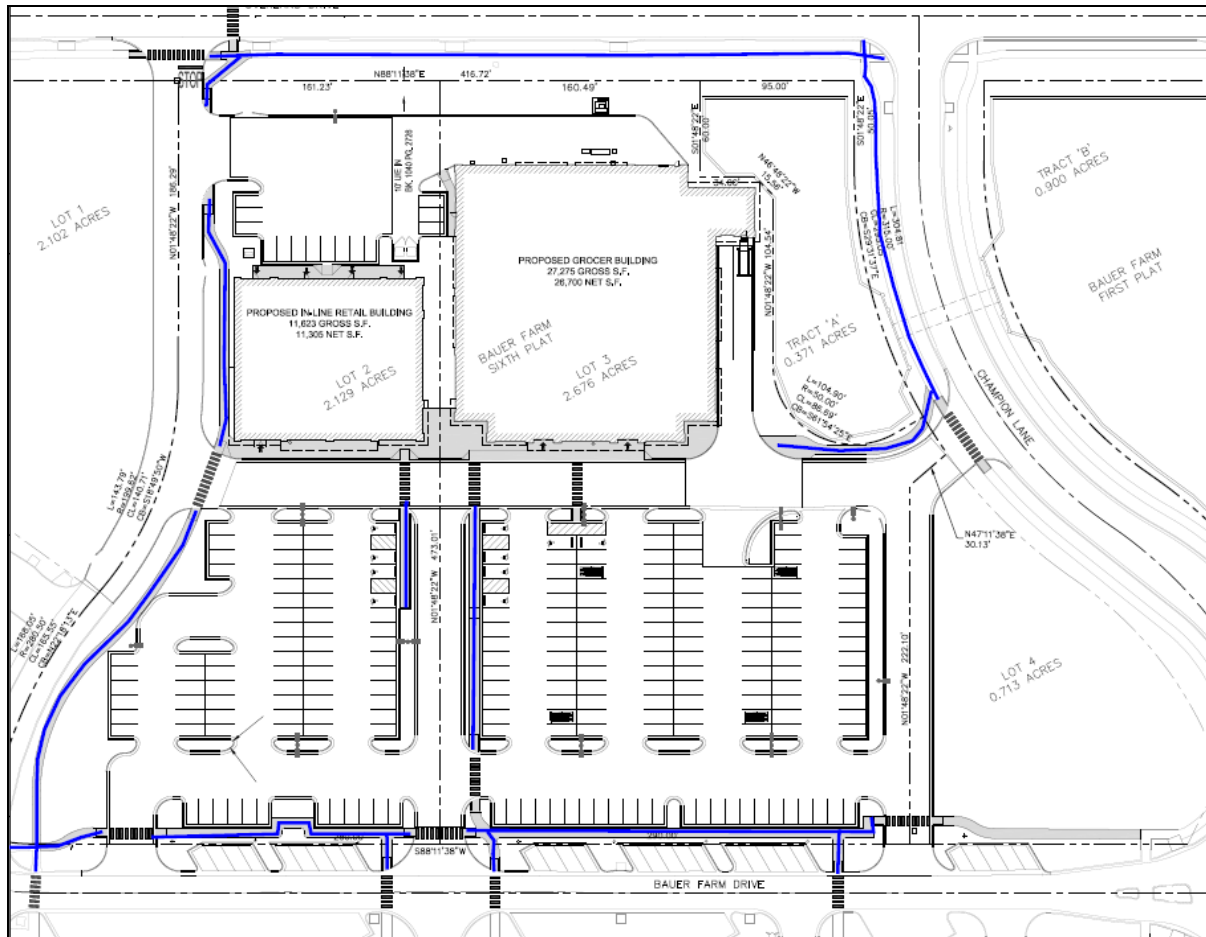


Figure 3: Pedestrian Pathway System Map

Lighting

A point-by-point photometric plan was provided for this proposed development. The lighting levels are compliant with the standards in Section 20-1103(d)(3). Details for the lighting fixtures should be provided and approved prior to release of the plan for issuance of building permits.

Commercial Design Standards

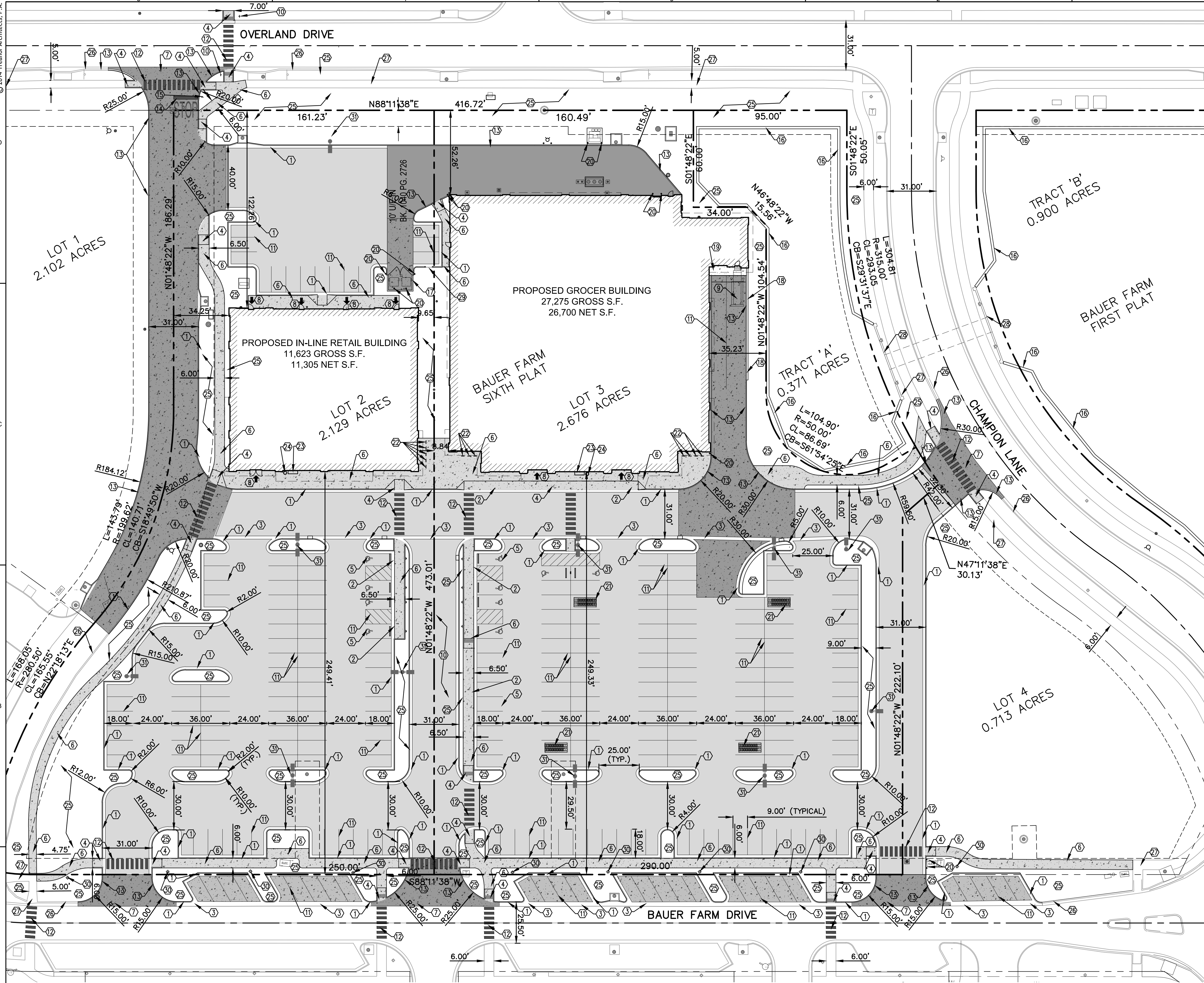
As the overall design of the site was approved with the Preliminary Development Plan, the changes being proposed to the site and the building façade were reviewed with the Commercial Design Standards included as Section Two of the Community Design Manual. The site provides overall good pedestrian and vehicular access.

The proposed façade is compliant with the Commercial Design Standards. The building façade contains both vertical and horizontal variation and a mix of materials is used in both buildings. The design provides a consistent theme for all commercial buildings within the development.

Conclusion

The proposed development is consistent with the planned development for this area and is compliant with the provisions of the Land Development Code and the Commercial Design Standards.

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LOT 2			
EXISTING	PROPOSED	EXISTING	PROPOSED
BUILDINGS	0 S.F. (0%)	11,623 S.F. (12%)	
PAVEMENT	1,928 S.F. (2%)	64,532 S.F. (70%)	
IMPERVIOUS	1,928 S.F. (2%)	76,155 S.F. (82%)	
PERVIOUS	90,801 S.F. (98%)	16,574 S.F. (18%)	
LOT AREA	92,729 S.F.	92,729 S.F.	

LOT 3			
EXISTING	PROPOSED	EXISTING	PROPOSED
BUILDINGS	0 S.F. (0%)	27,275 S.F. (23%)	
PAVEMENT	0 S.F. (0%)	76,586 S.F. (66%)	
IMPERVIOUS	0 S.F. (0%)	103,861 S.F. (89%)	
PERVIOUS	116,582 S.F. (100%)	12,721 S.F. (11%)	
LOT AREA	116,582 S.F.	116,582 S.F.	

TRACT 'A'			
EXISTING	PROPOSED	EXISTING	PROPOSED
BUILDINGS	0 S.F. (0%)	0 S.F. (0%)	
PAVEMENT	0 S.F. (0%)	0 S.F. (0%)	
IMPERVIOUS	0 S.F. (0%)	0 S.F. (0%)	
PERVIOUS	16,167 S.F. (100%)	16,167 S.F. (100%)	
LOT AREA	16,167 S.F.	16,167 S.F.	

CURRENT OWNER
FREESTATE GROUP, LLC
CONTACT PERSON: MICHAEL L. TREANOR
1040 VERMONT STREET
LAWRENCE, KANSAS 66044
(785) 371-0781

DEVELOPER / PROPOSED OWNER
WAKARUSA INVESTORS, LLC
CONTACT PERSON: DAVID GEIST
6834 SOUTH UNIVERSITY BLVD, SUITE 415
CENTENNIAL, COLORADO 80122
(720) 489-0424

LAND SURVEYOR
COOK, FLATT & STROBEL ENGINEERS, P.A.
CONTACT PERSON: KIRK R. BALDWIN, LS
850 EAST 13TH STREET, SUITE B
LAWRENCE, KANSAS 66044
(785) 856-9600

CIVIL ENGINEER
TREANOR ARCHITECTS, P.A.
CONTACT PERSON: MATTHEW L. MURPHY, PE
1040 VERMONT STREET
LAWRENCE, KANSAS 66044
(785) 727-2407

ARCHITECT
CAHEN ARCHITECTURAL GROUP, P.C.
CONTACT PERSON: CRAIG I. CAHEN, AIA
7076 SOUTH ALTON WAY, BUILDING A
CENTENNIAL, COLORADO 80112
(303) 743-0002 EXT. 211

PAVEMENT LEGEND	
	HEAVY-DUTY REINFORCED CONCRETE (STREETS, DRIVE APRONS, TRUCK ZONES)
	LIGHT-DUTY REINFORCED CONCRETE (ON-STREET PARKING STALLS)
	UNREINFORCED CONCRETE (SIDEWALKS)
	HEAVY-DUTY ASPHALT PAVEMENT (LOADING AREA)
	ASPHALT PAVEMENT (PARKING LOT)

- ### KEY NOTES
- 6" CONCRETE CURB & GUTTER
 - CONCRETE LAYDOWN CURB & GUTTER
 - CONCRETE VALLEY GUTTER
 - ACCESSIBLE SIDEWALK RAMP
 - ACCESSIBLE PARKING STALLS. INCLUDES AT LEAST ONE VAN-ACCESSIBLE STALL PER BAY.
 - CONCRETE SIDEWALK.
 - CONCRETE COMMERCIAL DRIVEWAY APPROACH PER CITY OF LAWRENCE STANDARD.
 - PUBLIC ENTRANCE TO BUILDING.
 - GARBAGE COMPACTOR.
 - SCHOOL CROSSING SIGN.
 - 4" WIDE WHITE PAINTED PARKING STALL MARKINGS.
 - CROSSWALK MARKINGS.
 - 6" MONOLITHIC CURB.
 - 2' STOP BAR AND "STOP" MARKING.
 - STOP SIGN. POLE TO MATCH EXISTING SIGN POLES IN BAUER FARM.
 - REDI-ROCK LEDGESTONE RETAINING WALL. SEE PAGE 2 FOR ELEVATIONS.
 - DUMPSTER ENCLOSURE. BRICK WITH STONE ACCENT TO MATCH BUILDINGS.
 - SCREEN WALL. CONCRETE MASONRY UNITS WITH STONE VENEER. REFER TO BUILDING ELEVATIONS FOR WALL HEIGHT.
 - 4' LOADING DOCK.
 - CONCRETE-FILLED PIPE BOLLARD.
 - GROCERY CART CORRAL.
 - BICYCLE RACK. LANDSCAPE FORMS "PI" TYPE. POWDER COATED BLACK, IN-GROUND MOUNTED.
 - BENCH.
 - REFUSE RECEPTACLE.
 - LANDSCAPED AREA. REFER TO LANDSCAPE PLAN.
 - EXISTING CURB & GUTTER TO REMAIN.
 - EXISTING SIDEWALK TO REMAIN.
 - EXISTING BRIDGE TO REMAIN.
 - 4' WIDE CURB NOTCH FOR DRAINAGE.
 - PEDESTRIAN LIGHT. TYPE TO MATCH EXISTING LIGHTS ALONG SOUTH SIDE OF BAUER FARM DRIVE.
 - PARKING LOT LIGHT.

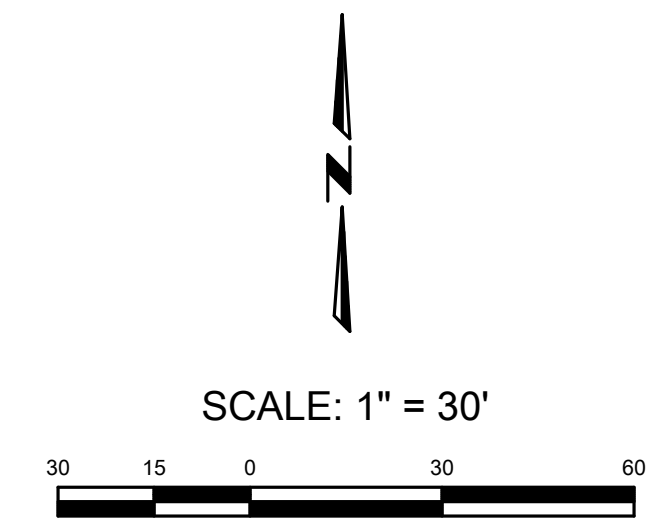
PARKING REQUIREMENTS

	OFF-STREET STALLS REQ'D	OFF-STREET STALLS PROVIDED	ADA STALLS REQ'D	ADA STALLS PROVIDED	BICYCLE STALLS REQUIRED	BICYCLE STALLS PROVIDED
INLINE RETAIL (LOT 2)	57	88	4	4	9	10
GROCEER (LOT 3)	134	135	5	6	13	14

NOTE:
-AN ADDITIONAL 28 ON-STREET STALLS ALONG BAUER FARM DRIVE ARE TO BE CONSTRUCTED WITH THIS PROJECT.
-SHARED PARKING IS PART OF OVERALL DEVELOPMENT AND COVENANT.

LEGAL DESCRIPTION
LOTS 2, 3 AND TRACT 'A' IN BLOCK 1, BAUER FARM SIXTH PLAT A SUBDIVISION IN THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 19 EAST OF THE SIXTH PRINCIPAL MERIDIAN IN THE CITY OF LAWRENCE, DOUGLAS COUNTY, KANSAS, ACCORDING TO THE PLAT THEREOF.
CONTAINS 225,478 SQUARE FEET OR 5.176 ACRES, MORE OR LESS.

- ### GENERAL NOTES
- THIS PROJECT HAS BEEN DESIGNED TO COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) FOR BUILDING AND FACILITIES, APPENDIX A TO 28 CFR PART 36.
 - CITY OF LAWRENCE WILL NOT BE HELD RESPONSIBLE FOR PAVEMENT DAMAGE DUE TO REFUSE COLLECTION.
 - OCCUPANCY PERMITS FOR PROPOSED BUILDINGS WILL NOT BE ISSUED UNTIL THE REQUIRED PUBLIC DRAINAGE IMPROVEMENTS ARE COMPLETE, FINAL INSPECTED AND ACCEPTED BY THE PUBLIC WORKS DEPARTMENT.
 - THE RETENTION BASIN WILL BE PRIVATELY-OWNED AND MAINTAINED. THE LANDOWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE RETENTION BASIN. FAILURE TO MAINTAIN THE RETENTION BASIN WILL RESULT IN THE LOSS OF THE STORMWATER DETENTION CREDIT. THE RETENTION BASIN WILL REMAIN FREE OF ANY NATURAL OR NON-NATURAL STRUCTURES OR VEGETATIVE BARRIERS (INCLUDING BUT NOT LIMITED TO TREES, SHRUBBERY, BERMS, FENCES, AND WALLS).
 - ALL CURB INLETS WILL BE CONSTRUCTED PER CITY OF LAWRENCE STORM SEWER STANDARD DETAILS.



CE14.002.00B

Final Development Plan For
Bauer Farm Northwest - Phase I
4700 Block of Bauer Farm Drive, Lawrence, Kansas 66049

APPROVED BY:
Name: _____ Date: _____
Name: _____ Date: _____
Name: _____ Date: _____

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Lawrence, Kansas 66044-2920
Office: 785.842.4858
Fax: 785.842.7536
www.treanorarchitects.com

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PLANNING PURPOSES ONLY
NOT FOR CONSTRUCTION

REVISIONS

	CITY COMMENTS
1	2014-06-13
2	
3	
4	

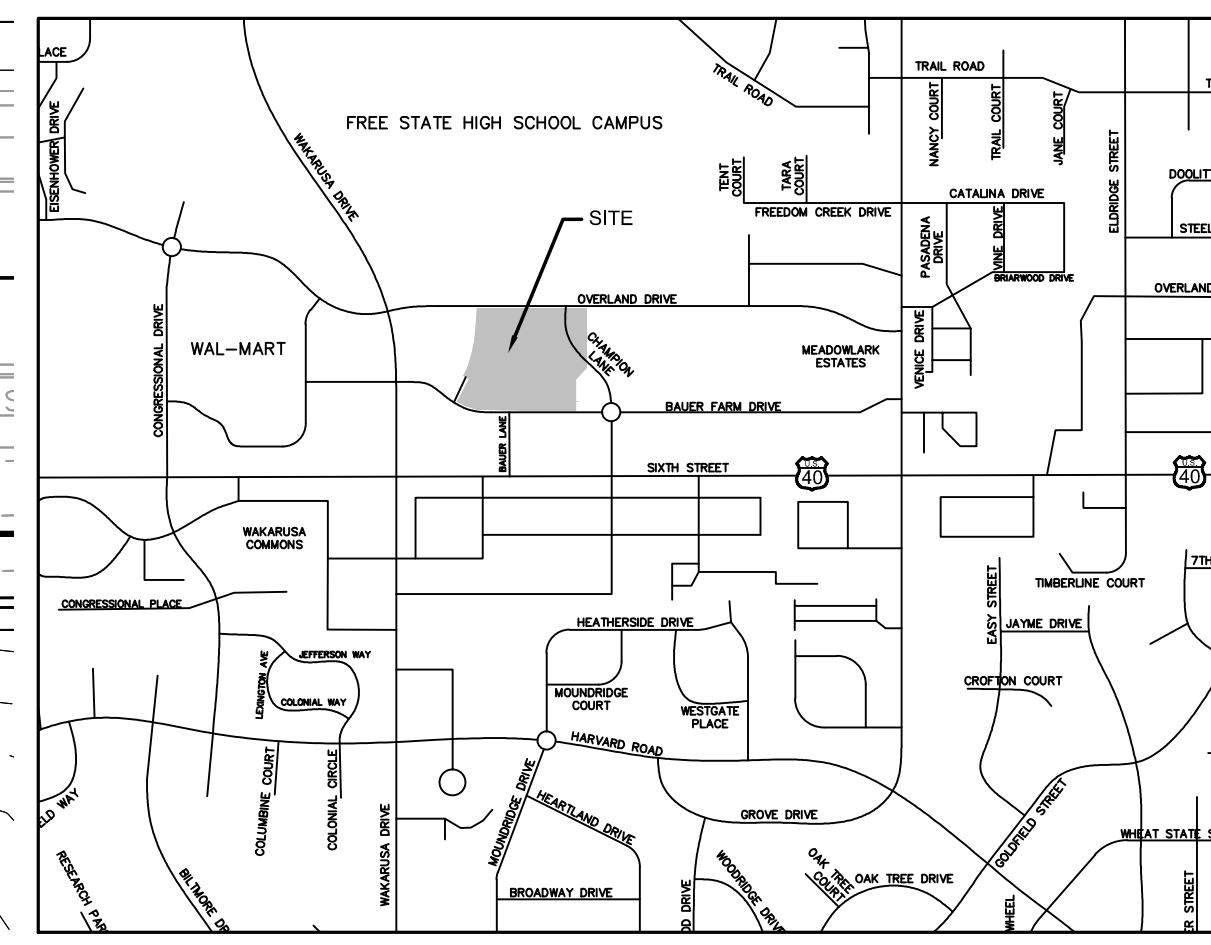
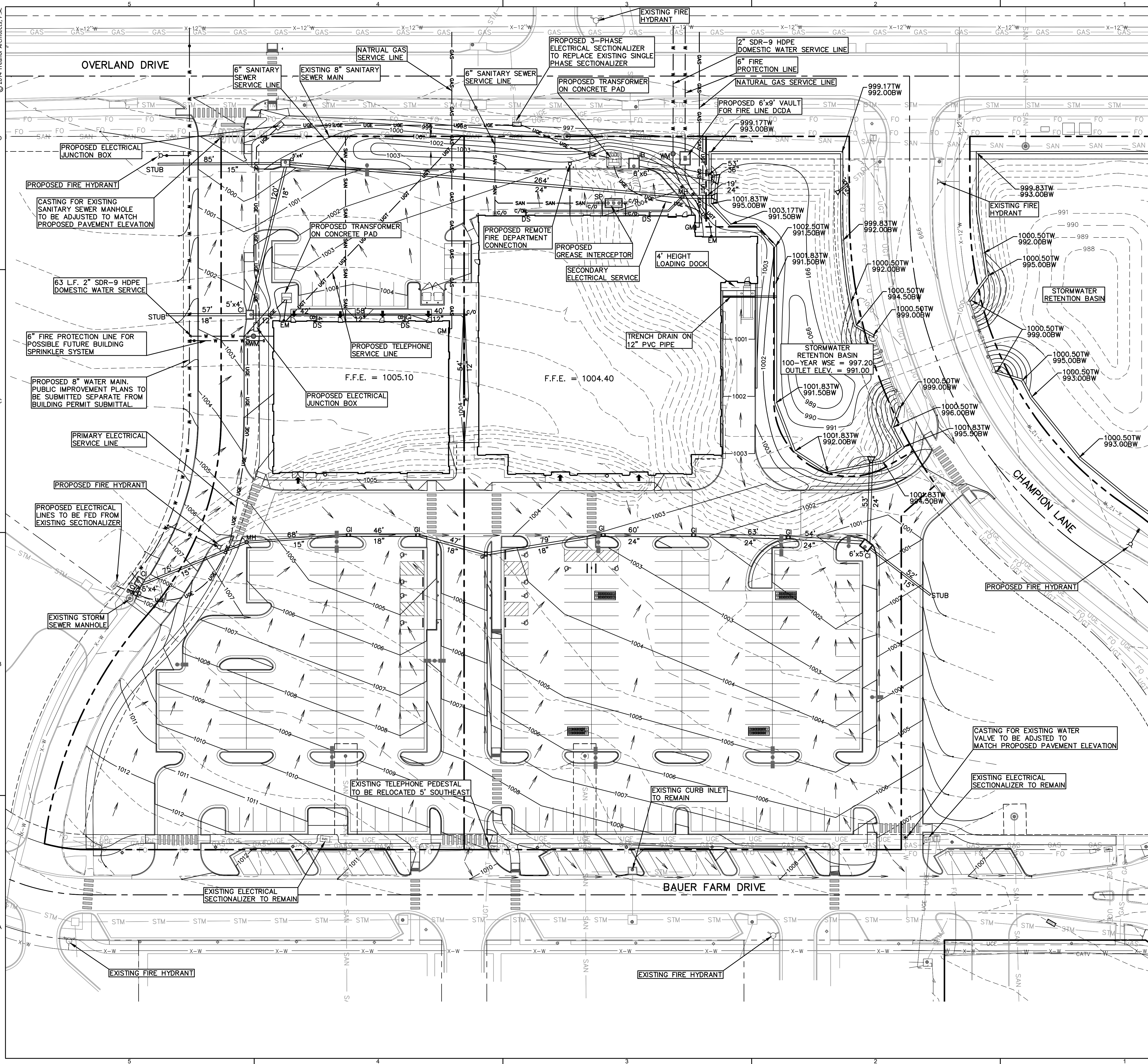
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SITE LAYOUT PLAN

1

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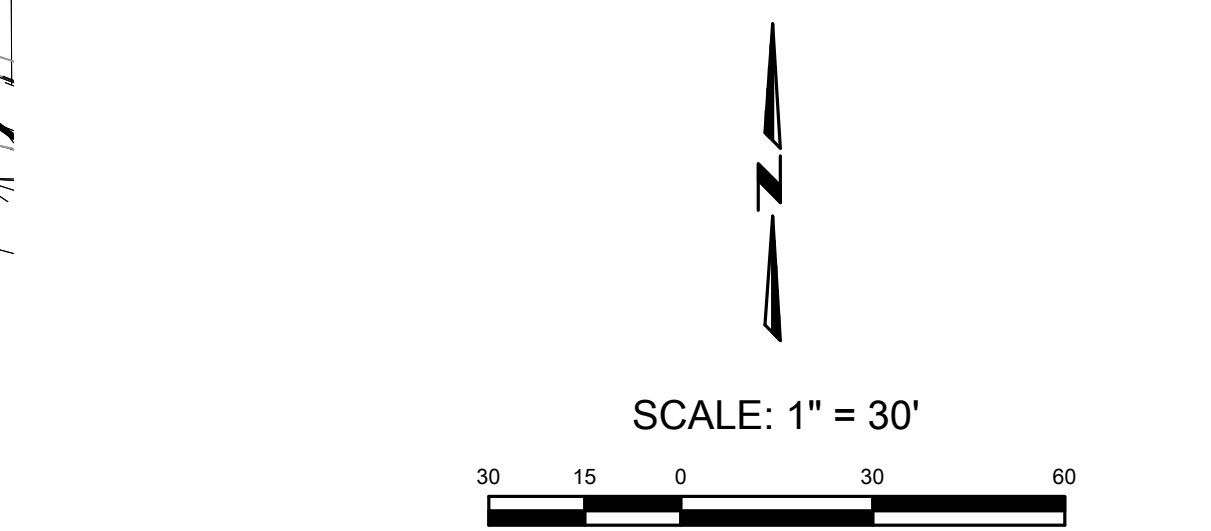
FILE PATH: p:\ce14.002.00b bauer farms grocer - nw corner champion- \3_drawings\1_outocad\PLANNING\final development plan\02 GRADING AND UTILITY PLANDWG
DATE PRINTED: Friday, June 13, 2014
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- VICINITY MAP**
SCALE: 1" = 1000'
- GRADING AND UTILITY LEGEND**
- CATV- EXISTING CABLE TV LINE
 - FO- EXISTING FIBER OPTIC LINE
 - GAS- EXISTING NATURAL GAS MAIN
 - SAN- EXISTING SANITARY SEWER MAIN
 - STM- EXISTING STORM SEWER PIPE
 - UGE- EXISTING UNDERGROUND ELECTRIC LINE
 - UGT- EXISTING UNDERGROUND TELEPHONE LINE
 - W- EXISTING WATER MAIN
 - 12"W- EXISTING 12" WATER MAIN
-
- GAS- PROPOSED GAS LINE
 - SAN- PROPOSED SANITARY SEWER LINE
 - UGE- PROPOSED UNDERGROUND ELECTRIC LINE
 - UGT- PROPOSED UNDERGROUND TELEPHONE LINE
 - W- PROPOSED WATER LINE
 - BW BOTTOM OF WALL ELEVATION
 - EM PROPOSED ELECTRIC METER
 - GM PROPOSED GAS METER
 - WM PROPOSED WATER METER
 - C/O PROPOSED CLEANOUT
 - DS PROPOSED DOWNSPOUT
 - F.F.E. FINISHED FLOOR ELEVATION
 - JB PROPOSED STORM SEWER JUNCTION BOX
 - MH PROPOSED STORM SEWER MANHOLE
 - CI PROPOSED STORM SEWER CONCRETE BOX CURB INLET
 - GI WITH 2'x3' NYLOPLAST CURB INLET WITH HIGH-FLOW VANE GRATE
 - SP PROPOSED SANITARY SEWER SAMPLING PORT
 - STUB PROPOSED STORM SEWER LINE WITH END PLUG
 - TW FOR FUTURE SERVICE TO ADJACENT LOT TOP OF WALL ELEVATION

- UTILITY NOTES**
1. ALL STORM SEWER PIPING WILL BE HIGH-DENSITY POLYETHYLENE (HDPE) DUAL-WALL PIPE WITH SMOOTH INTERIOR.
 2. ALL SANITARY SEWER PIPING WILL BE STANDARD DIMENSION RATIO (SDR) 26 POLYVINYL CHLORIDE (PVC).
 3. DOMESTIC WATER SERVICE LINES WILL BE SDR-9 HDPE
 4. FIRE SPRINKLER SERVICE LINES AND WATER MAINS MUST BE RATED AS DR14 AS DEFINED IN AWWA C900.
 5. OCCUPANCY PERMITS FOR PROPOSED BUILDINGS WILL NOT BE ISSUED UNTIL THE REQUIRED PUBLIC DRAINAGE IMPROVEMENTS ARE COMPLETE, INSPECTED AND ACCEPTED BY THE PUBLIC WORKS DEPARTMENT.
 6. THE RETENTION BASIN WILL BE PRIVATELY OWNED AND MAINTAINED. THE LAND OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE RETENTION BASIN. FAILURE TO MAINTAIN THE RETENTION BASIN WILL RESULT IN THE LOSS OF THE STORMWATER DETENTION CREDIT. THE RETENTION BASIN WILL REMAIN FREE OF ANY NATURAL OR NON-NATURAL STRUCTURES OR VEGETATIVE BARRIERS (INCLUDING BUT NOT LIMITED TO TREES, SHRUBBERY, BERMS, FENCES, AND WALLS)
 7. ALL CURB INLETS WILL BE CONSTRUCTED PER CITY OF LAWRENCE STORM SEWER STANDARD DETAILS.

- BENCHMARKS**
- BM #1 CHISELED SQUARE ON THE CENTER FRONT FACE OF THE FIRST CURB INLET EAST OF THE ENTRANCE TO PEOPLE'S BANK (4831 WEST SIXTH STREET) ON THE SOUTH SIDE OF 6TH STREET (U.S. HIGHWAY 40) ELEVATION: 1012.98 FEET A.M.S.L.
- BM #2 CHISELED SQUARE ON THE CENTER FRONT FACE OF THE CURB INLET IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF OVERLAND DRIVE AND WAKARUSA DRIVE. ELEVATION: 1002.75 FEET A.M.S.L.



CE14.002.00B

Final Development Plan For
Bauer Farm Northwest - Phase I
4700 Block of Bauer Farm Drive, Lawrence, Kansas 66049

APPROVED BY:

Name:	Date:
Name:	Date:
Name:	Date:

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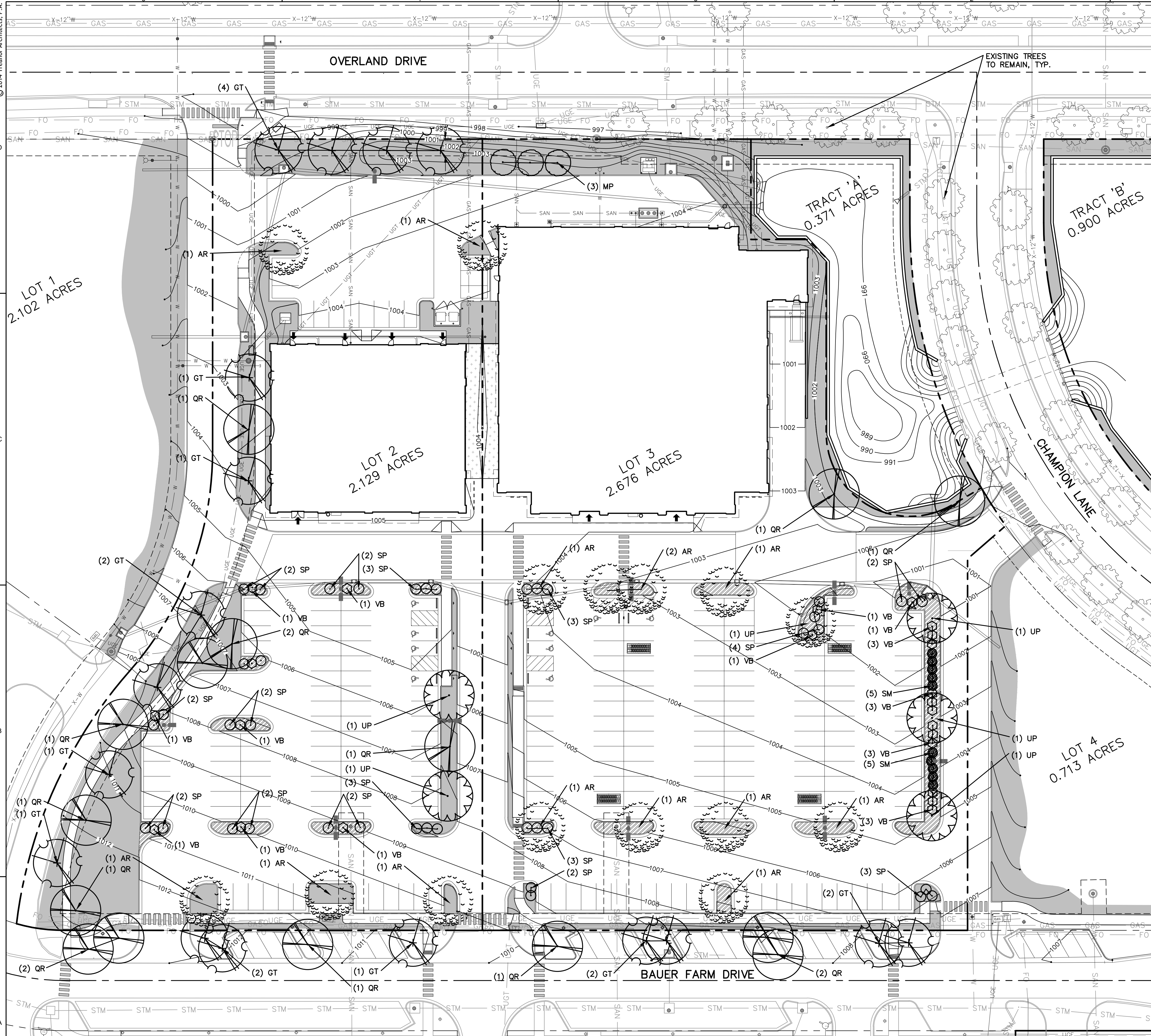
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1	2014-06-13
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Rel. Date: 05.14.2014

GRADING AND
UTILITY PLAN

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ALLOWABLE USE GROUPS

[illegible][illegible]

- o **Core**
 - o (7) Grades use and below including kindergarten
 - o (8) Grades ten and above
 - o Skills are professional areas or for teaching of any form of life skills e.g. prototyping, music, dancing, drama, etc.
 - o Summering post, accessories
 - o Theatre, live (it industry)
- o **Public utilities**
- o **Electrical substation**
- o Gas regulating station
- o Radio or television transmitter or tower
- o Telephone exchanges, but not including private, shop, or service
- o Air conditioning, purring station, elevated storage or reservoir
- o **Similar Uses**
- o All other uses which (1) are similar to the listed uses in function, (2) require special skills, and effects or value like uses and (3) are not included in any other use group.
- o **Accessory Uses**

1. **Medical and Related Offices**
 (a) Radiologic diagnostic, dental, electrolytic, radiologic, optical, optometric, audiometric, including a clinic
 (b) Ambulatory (outpatient) surgery center
 (c) Professors of the Governmental Offices
 (d) Accounting, engineering, management, governmental, insurance, dental, real estate and sales and exchange, motion picture studios (studios)
 (e) Federal Offices are included according, with no open kennel or other animals are confined or exercised
 (f) Financial Institutions
 (g) State Institutions such as for teaching of any form of life
 (h) State offices, photography, music, dance, drama, etc.
 (i) Other Offices

All other offices which (1) are similar to the listed ones in fact and/or generating capacity, effects on other land uses, and (2) included in any other applicable district.

Accessories Used:

1. New delivery of books, the most common

2. Dry cleaning store

3. Freshening, mending, banking, or dispensing facility

4. Food store, market, or catering establishment

5. Laboratory, medical or dental

6. Local office

7. Personal services

8. Photographic studio

9. Post Office branch facility

10. Printed and planning services

11. Race and motor vehicle industry

12. Reading study

13. School, commercial or credit, when not involving any danger of fire or explosion, or other objectionable factors

14. Secretary service

15. Study for and reading work or for teaching of any form of free

or, i.e., philosophers, music, dancing, drama, etc.

3. Accessories

1. Telephone answering service

2. Accessories

3. GROUP 11: OTHER RETAILER/WHOLESALE COMMERCIAL USES

1. Special sales, rental or repair

Book store, rent or used

2. Dining outlets

Food store, r.o., including 24-hr. convenience store

See also establishment

3. Food, sell-to







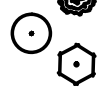
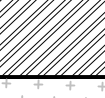
Professional Offices (including medical and veterinarians offices and clinics)

4. Other only rental

Restaurant, and including one with dine-up facilities or service to automobiles

5. Retail selling

Reverse vending machines (crediting)

PLANT SCHEDULE				SIZE	COND.
SYMBOL	KEY	QTY.	NAME		
		5	EXISTING TREE		
		5	EXISTING TREE TO REMAIN		
		51	SHADE TREE		
	UP	5	DYNASTY ELM – ULMUS PARIFOLIA 'DYNASTY'		
	QR	15	NORTHERN RED OAK – QUERCUS RUBRA		
	AR	15	PACIFIC SUNSET MAPLE – ACER RUBRUM 'PACIFIC SUNSET'	2" CAL MIN.	B&B
	GT	16	SKYLINE THORNLESS LOCUST – GLEDITSIA TRICANTHOS 'SKYLINE'		
					
		3	ORNAMENTAL TREE		
	MP	3	SNOWDRIFT CRABAPPLE – MALUS 'SNOWDRIFT'	2" CAL MIN.	B&B
		72	DECIDUOUS/EVERGREEN SHRUBS/ORNAMENTAL GRASSES/PERENNIALS		
	SM	10	DWARF KOREAN LILAC – SYRINGA METERI 'PALIBIN'		
	SP	39	GOLDMOUND SPIREA – SPIRAEA JAPONICA 'GOLDMOUND'	2 GAL.	CONT.
	VB	23	MOHAWK VIBURNUM – VIBURNUM X BURKWOODII X CORLESI 'MOHAWK'		
		47 C.Y.	DOUBLE SHREDDED HARDWOOD MULCH (3" LAYER MIN.)	N/A	N/A
		15 C.Y.	RIVER ROCK (3" LAYER MIN.)	3"--4"	N/A
	N/A	40,040 S.F.	TURF TYPE FESCUE (SOD)	SOD	N/A

INTERIOR PARKING LANDSCAPE SUMMARY

LANDSCAPE AREA REQUIRED: # OF STALLS x 60 S.F.		TREES & SHRUBS REQUIRED: 1 TREE & 3 SHRUBS / 10 STALLS	
LOT 2 - 91 STALLS PROVIDED		LOT 2 - 91	10 = 91 (10)
REQUIRED: 5,460 SQ. FT.		PROPOSED: 10 TREES, & 30 SHRUBS	
PROVIDED: 4,215 SQ. FT.		PROPOSED: 10 TREES, & 30 SHRUBS	
LOT 3 - 133 STALLS PROVIDED		LOT 3 - 133 / 10 = 13.3 (14)	
REQUIRED: 7,980 SQ. FT.		PROPOSED: 14 TREES, & 42 SHRUBS	
PROVIDED: 3,417 SQ. FT.		PROPOSED: 15 TREES, & 42 SHRUBS	

ALLOWABLE USE GROUPS CONTINUED

[illegible][illegible]

carriage, crating, express freight, moving and storage
 Catering
 Cleaning
 Commercial bank, providing only commercial service or to banks
 Commercial building
 Commercial laundry
 Commercial printing
 Commercial refrigerator
 Commercial refrigerator, for public utility, schools
 Glass sales and cutting shop
 Gift buying range, commercial (e.g., requirement applies to type unit)
 Home improvement center
 Hotel
 Laboratory, medical or dental
 Lumber yard
 Mail and express
 Mail storage of
 Mailbox

SCALE: 1" = 30'

A horizontal graphic scale bar with alternating black and white segments. Above the bar, the numbers 30, 15, 0, 30, and 60 are marked from left to right, indicating distances in feet. The total length of the bar represents 60 feet.

FILE PATH: D:\Map Resources\13201 - Bauer Farms - Lawrence, KS\13201 - Exterior Elevations - Grocery (Color).img
DATE PRINTED: Tuesday, May 13, 2014
LAST SAVED: Tuesday, May 13, 2014
PRINTED BY: Scott



CE14.002.00B

Final Development Plan For
Bauer Farm Northwest - Phase I
4700 Block of Bauer Farm Drive, Lawrence, Kansas 66049

APPROVED BY:

Name:	Date:
Name:	Date:
Name:	Date:

CAHEN ARCHITECTURAL GROUP P.C.
7076 South Alton Way Building A
Centennial, Colorado 80112 (303) 743-0002
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REVISIONS	
1	CITY COMMENTS 2014-06-13
2	
3	
4	


Rel. Date: 05.14.2014

EXTERIOR ELEVATIONS
ANCHOR BUILDING

Final Development Plan For
Bauer Farm Northwest - Phase I
4700 Block of Bauer Farm Drive, Lawrence, Kansas 66049

APPROVED BY:

Name:	Date:
Name:	Date:
Name:	Date:

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1	CITY COMMENTS 2014-06-13
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Rel. Date: 05.14.2014

EXTERIOR ELEVATIONS
RETAIL BUILDING

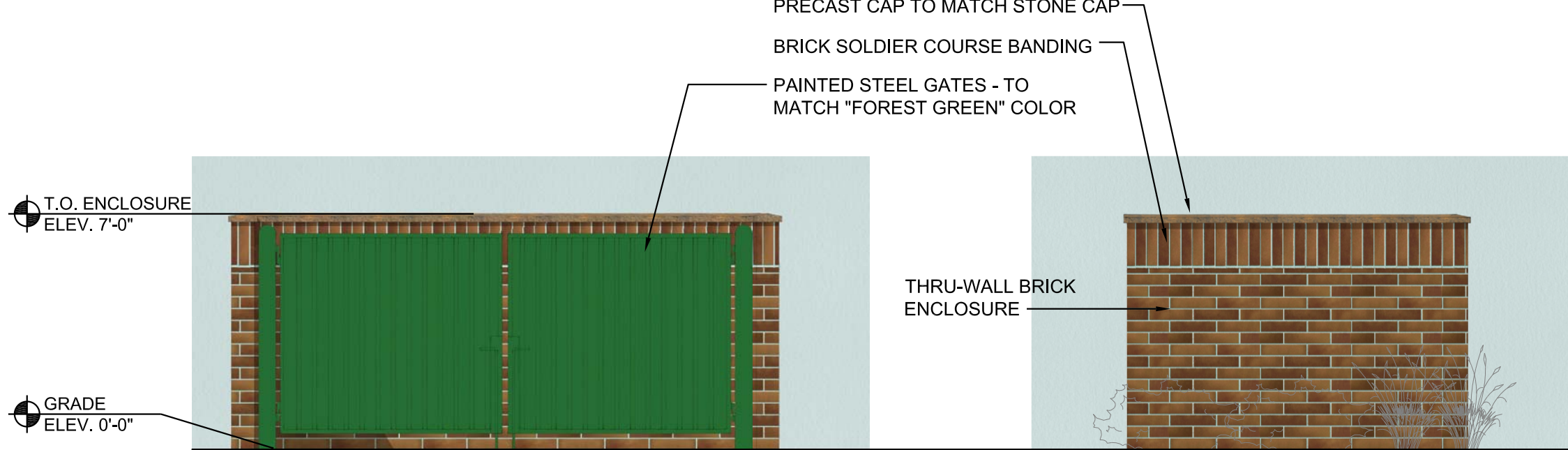
MATERIALS & COLOR LEGEND

- E.I.F.S. (SANDBLASTED FINISH)
COLOR: OFF-WHITE
- CULTURED STONE VENEER
(LEDGESTONE - DRY STACK)
COLOR: "BAUER FARMS BLEND"
- BRICK (THRU-WALL)
COLOR: REDDISH-BROWN
- SOLDIER COURSE BRICK
ACCENT (PROJECT 3/4" FROM
FACE OF FIELD BRICK)
COLOR: REDDISH-BROWN
- STONE BANDING / SILL
COLOR: MEDIUM BROWN
- STOREFRONT SYSTEM W/
CLEAR NON-REFLECTIVE
GLASS
FRAMING COLOR: DARK
ANODIZED BRONZE
- CONCRETE TILE ROOFING
COLOR: SLATE GRAY
- PAINTED STEEL CANOPY
COLOR: FOREST GREEN
- WALL SCONCE LIGHT FIXTURE
COLOR: DARK BRONZE
- WALL PAK LIGHT FIXTURE
COLOR: DARK BRONZE



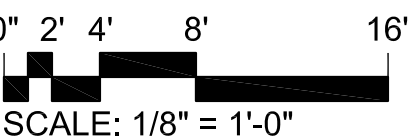
05 MONUMENT SIGN

SCALE: 1/4" = 1'-0"



06 TRASH ENCLOSURE

SCALE: 1/4" = 1'-0"



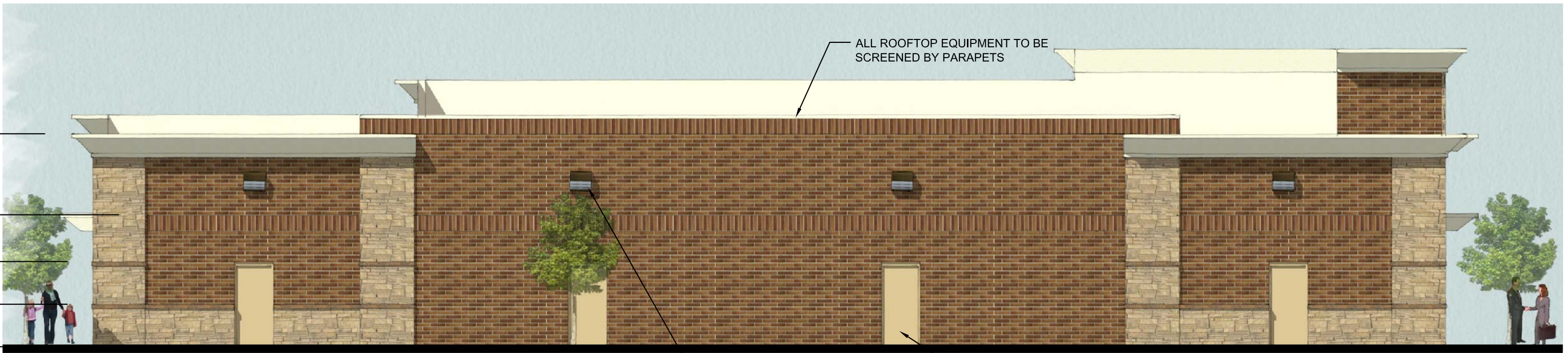
01 FRONT ELEVATION (SOUTH)

SCALE: 1/8" = 1'-0"



02 RIGHT SIDE ELEVATION (EAST)

SCALE: 1/8" = 1'-0"



03 REAR ELEVATION (NORTH)

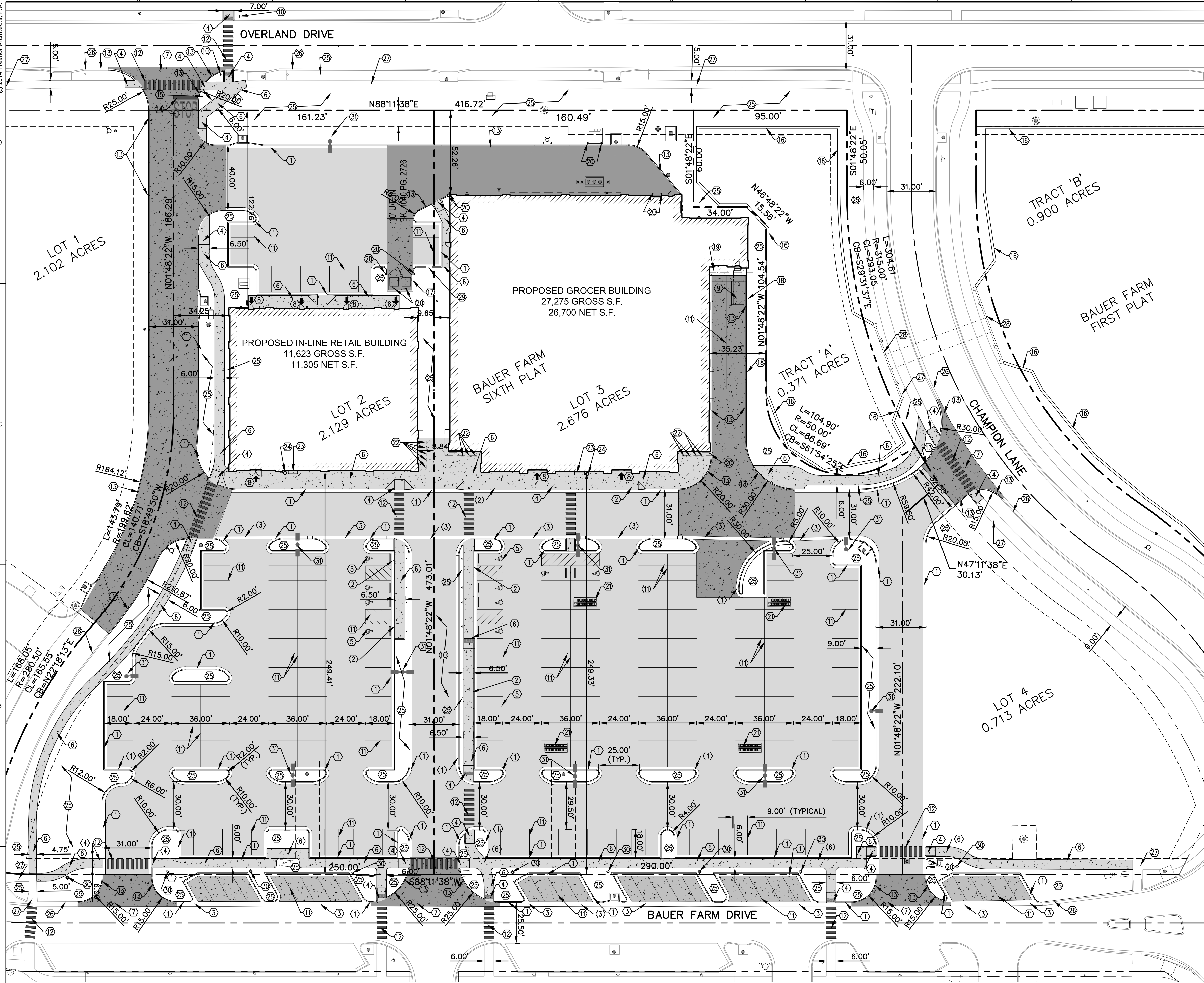
SCALE: 1/8" = 1'-0"



04 LEFT SIDE ELEVATION (WEST)

SCALE: 1/8" = 1'-0"

FILE PATH: p:\ce14.002.00b bauer farms grocer - nw corner champion- \3_drawings\1_outocad\PLANNING\final development plan\01 SITE LAYOUT PLAN.DWG
DATE PRINTED: Friday, June 13, 2014
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LOT 2			
EXISTING	PROPOSED	EXISTING	PROPOSED
BUILDINGS	0 S.F. (0%)	11,623 S.F. (12%)	
PAVEMENT	1,928 S.F. (2%)	64,532 S.F. (70%)	
IMPERVIOUS	1,928 S.F. (2%)	76,155 S.F. (82%)	
PERVIOUS	90,801 S.F. (98%)	16,574 S.F. (18%)	
LOT AREA	92,729 S.F.	92,729 S.F.	

LOT 3			
EXISTING	PROPOSED	EXISTING	PROPOSED
BUILDINGS	0 S.F. (0%)	27,275 S.F. (23%)	
PAVEMENT	0 S.F. (0%)	76,586 S.F. (66%)	
IMPERVIOUS	0 S.F. (0%)	103,861 S.F. (89%)	
PERVIOUS	116,582 S.F. (100%)	12,721 S.F. (11%)	
LOT AREA	116,582 S.F.	116,582 S.F.	

TRACT 'A'			
EXISTING	PROPOSED	EXISTING	PROPOSED
BUILDINGS	0 S.F. (0%)	0 S.F. (0%)	
PAVEMENT	0 S.F. (0%)	0 S.F. (0%)	
IMPERVIOUS	0 S.F. (0%)	0 S.F. (0%)	
PERVIOUS	16,167 S.F. (100%)	16,167 S.F. (100%)	
LOT AREA	16,167 S.F.	16,167 S.F.	

CURRENT OWNER
FREESTATE GROUP, LLC
CONTACT PERSON: MICHAEL L. TREANOR
1040 VERMONT STREET
LAWRENCE, KANSAS 66044
(785) 371-0781

DEVELOPER / PROPOSED OWNER
WAKARUSA INVESTORS, LLC
CONTACT PERSON: DAVID GEIST
6834 SOUTH UNIVERSITY BLVD, SUITE 415
CENTENNIAL, COLORADO 80122
(720) 489-0424

LAND SURVEYOR
COOK, FLATT & STROBEL ENGINEERS, P.A.
CONTACT PERSON: KIRK R. BALDWIN, LS
850 EAST 13TH STREET, SUITE B
LAWRENCE, KANSAS 66044
(785) 856-9600

CIVIL ENGINEER
TREANOR ARCHITECTS, P.A.
CONTACT PERSON: MATTHEW L. MURPHY, PE
1040 VERMONT STREET
LAWRENCE, KANSAS 66044
(785) 727-2407

ARCHITECT
CAHEN ARCHITECTURAL GROUP, P.C.
CONTACT PERSON: CRAIG I. CAHEN, AIA
7076 SOUTH ALTON WAY, BUILDING A
CENTENNIAL, COLORADO 80112
(303) 743-0002 EXT. 211

PAVEMENT LEGEND	
	HEAVY-DUTY REINFORCED CONCRETE (STREETS, DRIVE APRONS, TRUCK ZONES)
	LIGHT-DUTY REINFORCED CONCRETE (ON-STREET PARKING STALLS)
	UNREINFORCED CONCRETE (SIDEWALKS)
	HEAVY-DUTY ASPHALT PAVEMENT (LOADING AREA)
	ASPHALT PAVEMENT (PARKING LOT)

- ### KEY NOTES
- 6" CONCRETE CURB & GUTTER
 - CONCRETE LAYDOWN CURB & GUTTER
 - CONCRETE VALLEY GUTTER
 - ACCESSIBLE SIDEWALK RAMP
 - ACCESSIBLE PARKING STALLS. INCLUDES AT LEAST ONE VAN-ACCESSIBLE STALL PER BAY.
 - CONCRETE SIDEWALK.
 - CONCRETE COMMERCIAL DRIVEWAY APPROACH PER CITY OF LAWRENCE STANDARD.
 - PUBLIC ENTRANCE TO BUILDING.
 - GARBAGE COMPACTOR.
 - SCHOOL CROSSING SIGN.
 - 4" WIDE WHITE PAINTED PARKING STALL MARKINGS.
 - CROSSWALK MARKINGS.
 - 6" MONOLITHIC CURB.
 - 2' STOP BAR AND "STOP" MARKING.
 - STOP SIGN. POLE TO MATCH EXISTING SIGN POLES IN BAUER FARM.
 - REDI-ROCK LEDGESTONE RETAINING WALL. SEE PAGE 2 FOR ELEVATIONS.
 - DUMPSTER ENCLOSURE. BRICK WITH STONE ACCENT TO MATCH BUILDINGS.
 - SCREEN WALL. CONCRETE MASONRY UNITS WITH STONE VENEER. REFER TO BUILDING ELEVATIONS FOR WALL HEIGHT.
 - 4' LOADING DOCK.
 - CONCRETE-FILLED PIPE BOLLARD.
 - GROCERY CART CORRAL.
 - BICYCLE RACK. LANDSCAPE FORMS "PI" TYPE. POWDER COATED BLACK, IN-GROUND MOUNTED.
 - BENCH.
 - REFUSE RECEPTACLE.
 - LANDSCAPED AREA. REFER TO LANDSCAPE PLAN.
 - EXISTING CURB & GUTTER TO REMAIN.
 - EXISTING SIDEWALK TO REMAIN.
 - EXISTING BRIDGE TO REMAIN.
 - 4' WIDE CURB NOTCH FOR DRAINAGE.
 - PEDESTRIAN LIGHT. TYPE TO MATCH EXISTING LIGHTS ALONG SOUTH SIDE OF BAUER FARM DRIVE.
 - PARKING LOT LIGHT.

PARKING REQUIREMENTS

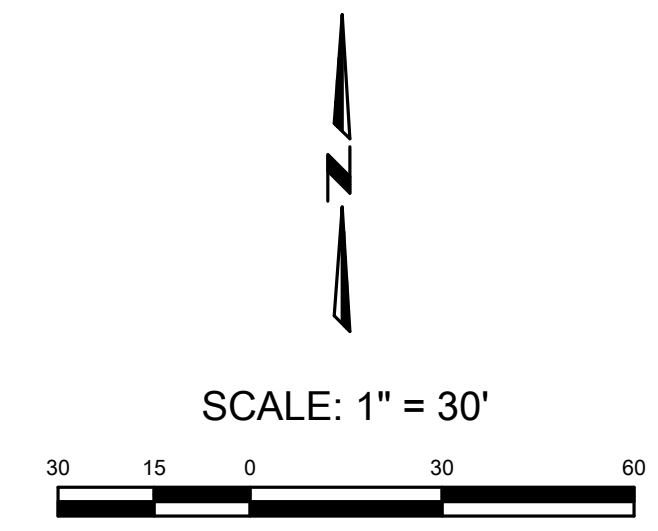
	OFF-STREET STALLS REQ'D	OFF-STREET STALLS PROVIDED	ADA STALLS REQ'D	ADA STALLS PROVIDED	BICYCLE STALLS REQUIRED	BICYCLE STALLS PROVIDED
INLINE RETAIL (LOT 2)	57	88	4	4	9	10
GROCEER (LOT 3)	134	135	5	6	13	14

NOTE:
-AN ADDITIONAL 28 ON-STREET STALLS ALONG BAUER FARM DRIVE ARE TO BE CONSTRUCTED WITH THIS PROJECT.
-SHARED PARKING IS PART OF OVERALL DEVELOPMENT AND COVENANT.

LEGAL DESCRIPTION

LOTS 2, 3 AND TRACT 'A' IN BLOCK 1, BAUER FARM SIXTH PLAT A SUBDIVISION IN THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 19 EAST OF THE SIXTH PRINCIPAL MERIDIAN IN THE CITY OF LAWRENCE, DOUGLAS COUNTY, KANSAS, ACCORDING TO THE PLAT THEREOF. CONTAINS 225,478 SQUARE FEET OR 5.176 ACRES, MORE OR LESS.

- ### GENERAL NOTES
- THIS PROJECT HAS BEEN DESIGNED TO COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) FOR BUILDING AND FACILITIES, APPENDIX A TO 28 CFR PART 36.
 - CITY OF LAWRENCE WILL NOT BE HELD RESPONSIBLE FOR PAVEMENT DAMAGE DUE TO REFUSE COLLECTION.
 - OCCUPANCY PERMITS FOR PROPOSED BUILDINGS WILL NOT BE ISSUED UNTIL THE REQUIRED PUBLIC DRAINAGE IMPROVEMENTS ARE COMPLETE, FINAL INSPECTED AND ACCEPTED BY THE PUBLIC WORKS DEPARTMENT.
 - THE RETENTION BASIN WILL BE PRIVATELY-OWNED AND MAINTAINED. THE LANDOWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE RETENTION BASIN. FAILURE TO MAINTAIN THE RETENTION BASIN WILL RESULT IN THE LOSS OF THE STORMWATER DETENTION CREDIT. THE RETENTION BASIN WILL REMAIN FREE OF ANY NATURAL OR NON-NATURAL STRUCTURES OR VEGETATIVE BARRIERS (INCLUDING BUT NOT LIMITED TO TREES, SHRUBBERY, BERMS, FENCES, AND WALLS).
 - ALL CURB INLETS WILL BE CONSTRUCTED PER CITY OF LAWRENCE STORM SEWER STANDARD DETAILS.



CE14.002.00B

Final Development Plan For
Bauer Farm Northwest - Phase I
4700 Block of Bauer Farm Drive, Lawrence, Kansas 66049

APPROVED BY:
Name: _____ Date: _____
Name: _____ Date: _____
Name: _____ Date: _____

TREANOR
ARCHITECTS P.A.
1040 Vermont Street
Lawrence, Kansas 66044-2920
Office: 785.842.4858
Fax: 785.842.7536
www.treanorarchitects.com

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REVISIONS

	CITY COMMENTS
1	2014-06-13
2	
3	
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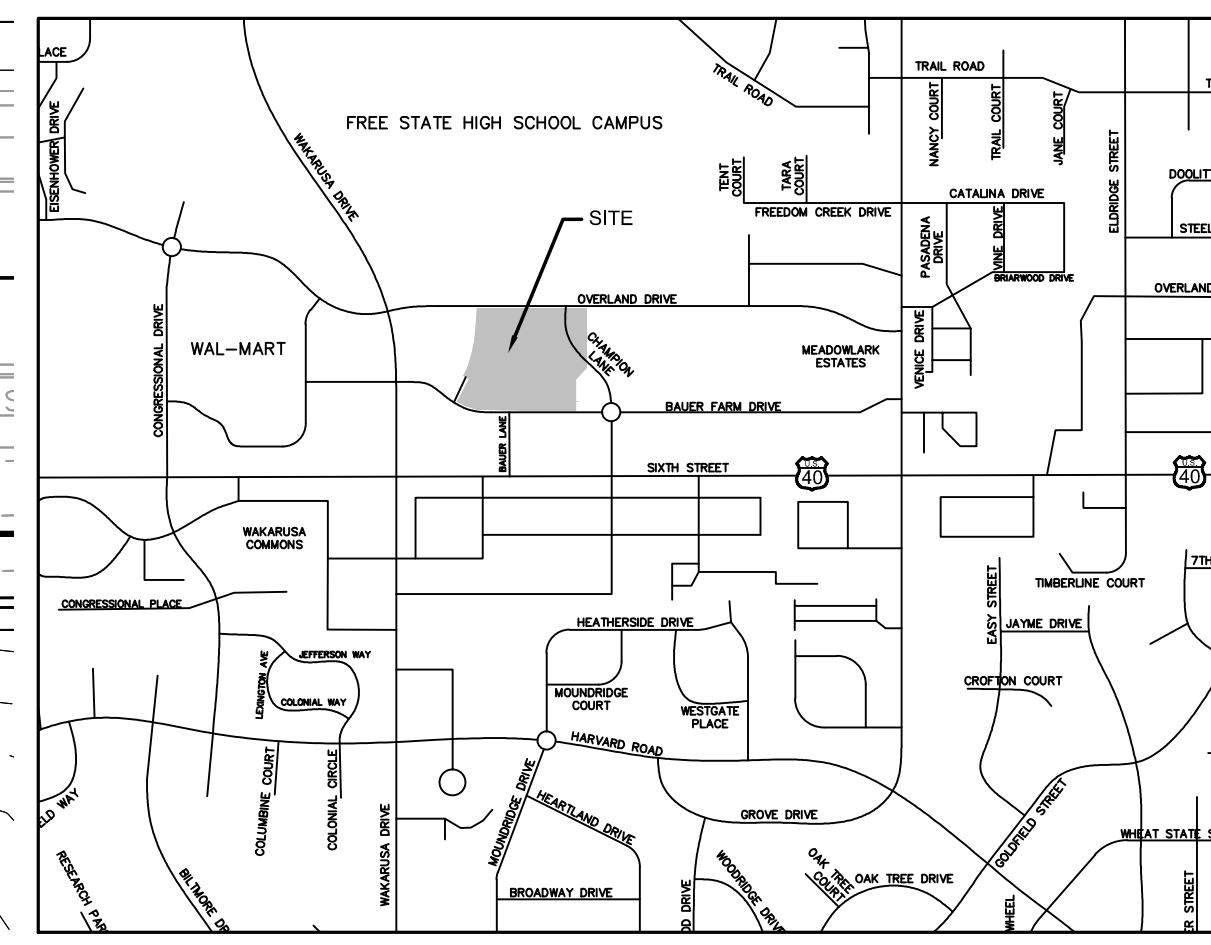
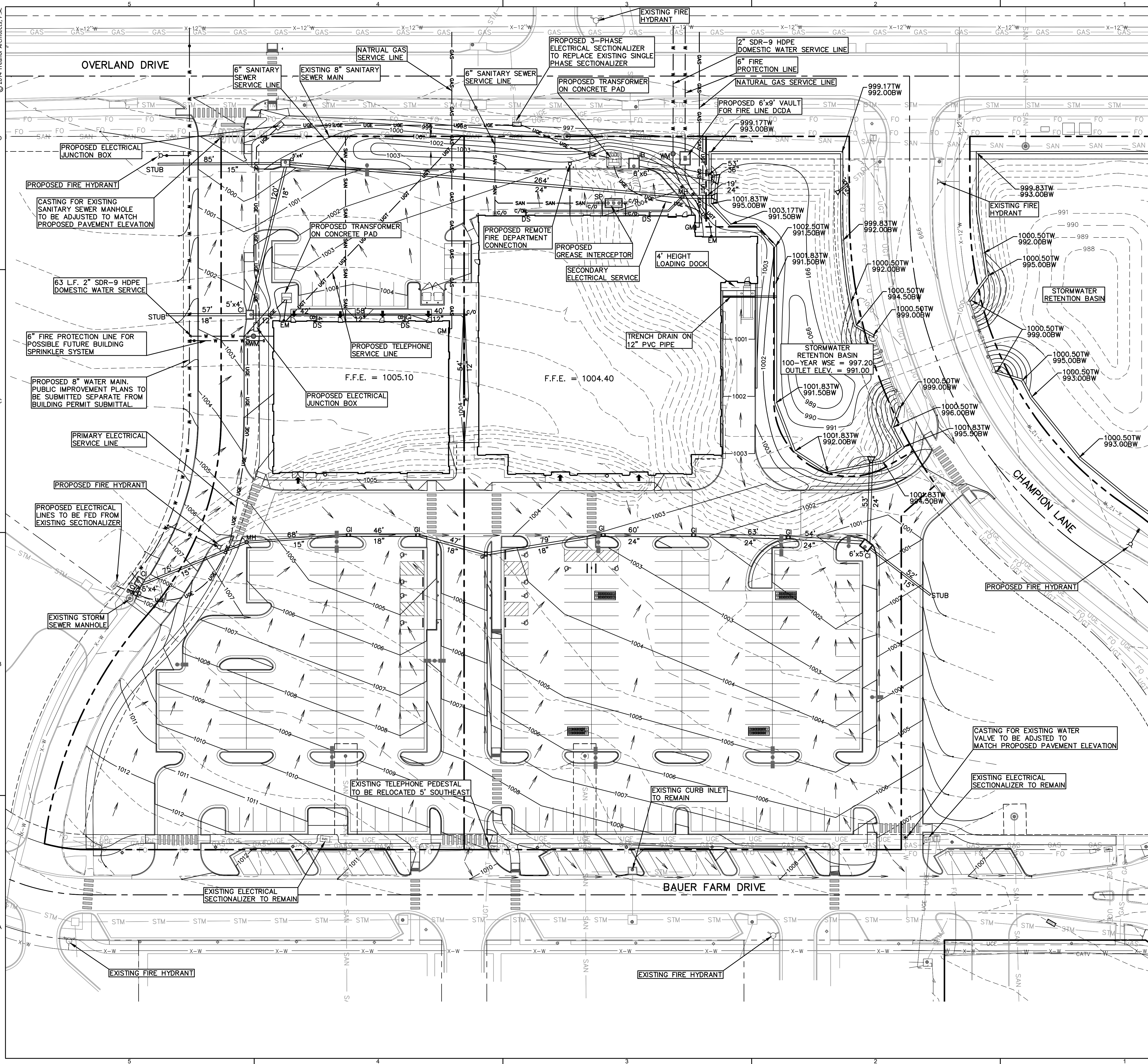
Rel. Date: 05.14.2014

SITE LAYOUT PLAN

1

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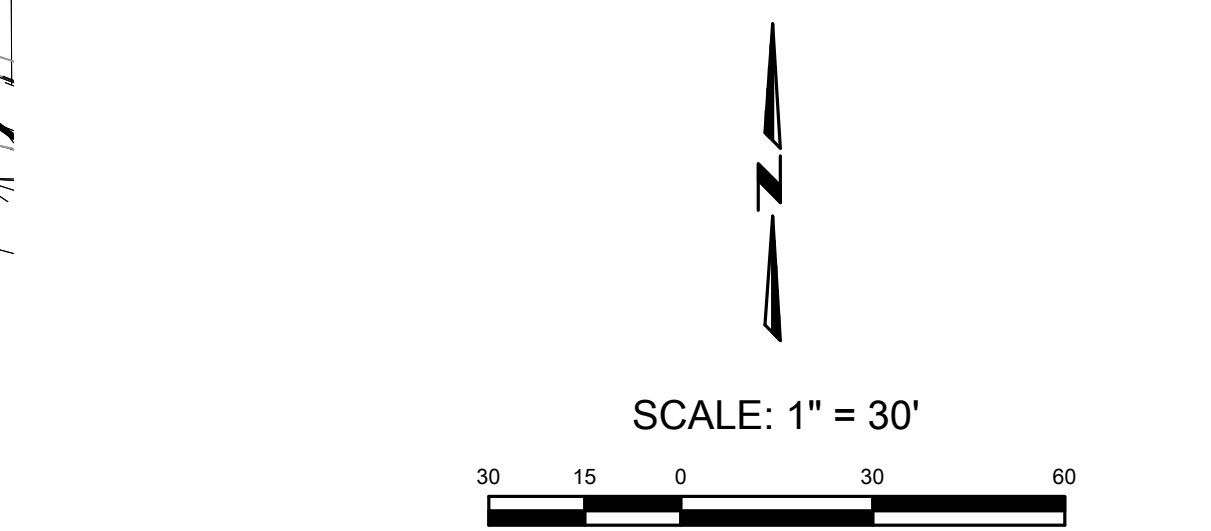
FILE PATH: p:\ce14.002.00b bauer farms grocer - nw corner champion- \3_drawings\1_outocad\PLANNING\final development plan\02 GRADING AND UTILITY PLANDWG
DATE PRINTED: Friday, June 13, 2014
LAST SAVED: Friday, June 13, 2014
PRINTED BY: Kev Spure



- VICINITY MAP**
SCALE: 1" = 1000'
- GRADING AND UTILITY LEGEND**
- CATV- EXISTING CABLE TV LINE
 - FO- EXISTING FIBER OPTIC LINE
 - GAS- EXISTING NATURAL GAS MAIN
 - SAN- EXISTING SANITARY SEWER MAIN
 - STM- EXISTING STORM SEWER PIPE
 - UGE- EXISTING UNDERGROUND ELECTRIC LINE
 - UGT- EXISTING UNDERGROUND TELEPHONE LINE
 - W- EXISTING WATER MAIN
 - 12"W- EXISTING 12" WATER MAIN
-
- GAS- PROPOSED GAS LINE
 - SAN- PROPOSED SANITARY SEWER LINE
 - UGE- PROPOSED UNDERGROUND ELECTRIC LINE
 - UGT- PROPOSED UNDERGROUND TELEPHONE LINE
 - W- PROPOSED WATER LINE
 - BW BOTTOM OF WALL ELEVATION
 - EM PROPOSED ELECTRIC METER
 - GM PROPOSED GAS METER
 - WM PROPOSED WATER METER
 - C/O PROPOSED CLEANOUT
 - DS PROPOSED DOWNSPOUT
 - F.F.E. FINISHED FLOOR ELEVATION
 - JB PROPOSED STORM SEWER JUNCTION BOX
 - MH PROPOSED STORM SEWER MANHOLE
 - CI PROPOSED STORM SEWER CONCRETE BOX CURB INLET
 - GI WITH HIGH-FLOW VANE GRATE
 - SP PROPOSED SANITARY SEWER SAMPLING PORT
 - STUB PROPOSED STORM SEWER LINE WITH END PLUG
- TW FOR FUTURE SERVICE TO ADJACENT LOT
TOP OF WALL ELEVATION

- UTILITY NOTES**
1. ALL STORM SEWER PIPING WILL BE HIGH-DENSITY POLYETHYLENE (HDPE) DUAL-WALL PIPE WITH SMOOTH INTERIOR.
 2. ALL SANITARY SEWER PIPING WILL BE STANDARD DIMENSION RATIO (SDR) 26 POLYVINYL CHLORIDE (PVC).
 3. DOMESTIC WATER SERVICE LINES WILL BE SDR-9 HDPE
 4. FIRE SPRINKLER SERVICE LINES AND WATER MAINS MUST BE RATED AS DR14 AS DEFINED IN AWWA C900.
 5. OCCUPANCY PERMITS FOR PROPOSED BUILDINGS WILL NOT BE ISSUED UNTIL THE REQUIRED PUBLIC DRAINAGE IMPROVEMENTS ARE COMPLETE, INSPECTED AND ACCEPTED BY THE PUBLIC WORKS DEPARTMENT.
 6. THE RETENTION BASIN WILL BE PRIVATELY OWNED AND MAINTAINED. THE LAND OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE RETENTION BASIN. FAILURE TO MAINTAIN THE RETENTION BASIN WILL RESULT IN THE LOSS OF THE STORMWATER DETENTION CREDIT. THE RETENTION BASIN WILL REMAIN FREE OF ANY NATURAL OR NON-NATURAL STRUCTURES OR VEGETATIVE BARRIERS (INCLUDING BUT NOT LIMITED TO TREES, SHRUBBERY, BERMS, FENCES, AND WALLS)
 7. ALL CURB INLETS WILL BE CONSTRUCTED PER CITY OF LAWRENCE STORM SEWER STANDARD DETAILS.

- BENCHMARKS**
- BM #1 CHISELED SQUARE ON THE CENTER FRONT FACE OF THE FIRST CURB INLET EAST OF THE ENTRANCE TO PEOPLE'S BANK (4831 WEST SIXTH STREET) ON THE SOUTH SIDE OF 6TH STREET (U.S. HIGHWAY 40)
ELEVATION: 1012.98 FEET A.M.S.L.
- BM #2 CHISELED SQUARE ON THE CENTER FRONT FACE OF THE CURB INLET IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF OVERLAND DRIVE AND WAKARUSA DRIVE.
ELEVATION: 1002.75 FEET A.M.S.L.



CE14.002.00B

Final Development Plan For
Bauer Farm Northwest - Phase I
4700 Block of Bauer Farm Drive, Lawrence, Kansas 66049

APPROVED BY:

Name: _____ Date: _____

Name: _____ Date: _____

Name: _____ Date: _____

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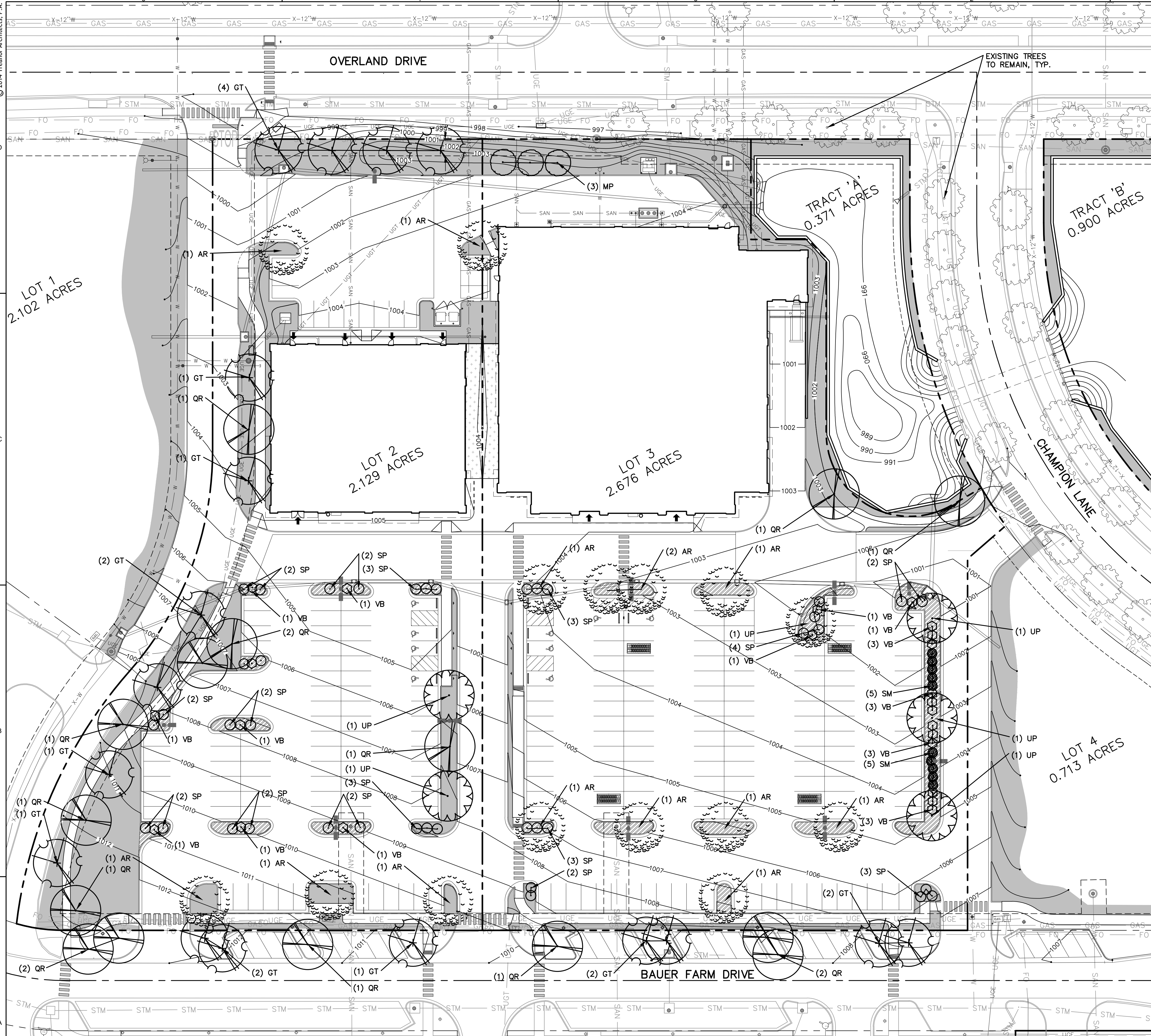
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Rel. Date: 05.14.2014

GRADING AND
UTILITY PLAN

2

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ALLOWABLE USE GROUPS

[illegible][illegible]

- o **Core**
 - o (7) Grades use and below including kindergarten
 - o (8) Grades ten and above
 - o Skills are professional areas or for teaching of any form of life skills e.g. prototyping, music, dancing, drama, etc.
 - o Summering post, accessories
 - o Theatre, live (it industry)
- o **Public utilities**
- o **Electrical substation**
- o Gas regulating station
- o Radio or television transmitter or tower
- o Telephone exchanges, but not including private, shop, or service
- o Air conditioning, purring station, elevated storage or reservoir
- o **Similar Uses**
- o All other uses which (1) are similar to the listed uses in function, (2) require unusual skills, and effects or value like uses and (3) are not included in any other use group.
- o **Accessory Uses**

[illegible]

Accessories Used:

1. New delivery of books, the most common

2. Dry cleaning, coat store

3. Freshening, alterations, banking, or dispensing facility

4. Food store, market, or catering establishment

5. Laboratory, medical or dental

6. Local office

7. Personal services

8. Photographic studio

9. Post Office branch facility

10. Printed and planning services

11. Race and/or television studio

12. Recording studio

13. School, commercial or credit, when not involving any danger of fire or explosion, or other objectionable factors

14. Veterinary or other objectionable factors

15. Sundry services

16. Tasks for and essential work or for teaching of any form of free

or, i.e., philosophers, music, dancing, drama, etc.

3. Accessories

1. Telephone answering service

2. Accessories

3. GROUP 11: OTHER RETAILER/WHOLESALE COMMERCIAL USES

1. Special sales, rental or repair

book store, rent or used

2. Deming's outlets after

book store, re. including 24-hr. convenience store

new cars establishment

3. Deming's outlets after

professional offices (including medical and veterinarians offices and clinics)

4. Deming's outlets

restaurant and including one with drive-up facilities or service to automobiles

5. Deming's outlets

retail bakery

6. Deming's outlets

Reverse vending machines (crediting)

PLANT SCHEDULE					
SYMBOL	KEY	QTY.	NAME	SIZE	COND.
		5	EXISTING TREE		
		5	EXISTING TREE TO REMAIN		
		51	SHADE TREE		
	UP	5	DYNASTY ELM – ULMUS PARIFOLIA 'DYNASTY'		
	QR	15	NORTHERN RED OAK – QUERCUS RUBRA		
	AR	15	PACIFIC SUNSET MAPLE – ACER RUBRUM 'PACIFIC SUNSET'		
	GT	16	SKYLINE THORNLESS LOCUST – GLEDITSIA TRICANTHOS 'SKYLINE'		
		3	ORNAMENTAL TREE		
	MP	3	SNOWDRIFT CRABAPPLE – MALUS 'SNOWDRIFT'	2" CAL MIN.	B&B
		72	DECIDUOUS/EVERGREEN SHRUBS/ORNAMENTAL GRASSES/PERENNIALS		
	SM	10	DWARF KOREAN LILAC – SYRINGA METERI 'PALIBIN'		
	SP	39	GOLDMOUND SPIREA – SPIRAEA JAPONICA 'GOLDMOUND'	2 GAL.	CONT.
	VB	23	MOHAWK VIBURNUM – VIBURNUM X BURKWOODII X CORLESI 'MOHAWK'		
		47 C.Y.	DOUBLE SHREDDED HARDWOOD MULCH (3" LAYER MIN.)	N/A	N/A
		15 C.Y.	RIVER ROCK (3" LAYER MIN.)	3"–4"	N/A
	N/A	40,040 S.F.	TURF TYPE FESCUE (SOD)	SOD	N/A

INTERIOR PARKING LANDSCAPE SUMMARY

LANDSCAPE AREA REQUIRED: # OF STALLS x 60 S.F.		TREES & SHRUBS REQUIRED: 1 TREE & 3 SHRUBS / 10 STALLS	
LOT 2 - 91 STALLS PROVIDED		LOT 2 - 91	10 = 91 (10)
REQUIRED: 5,460 SQ. FT.		PROPOSED: 10 TREES, & 30 SHRUBS	
PROVIDED: 4,215 SQ. FT.		PROPOSED: 10 TREES, & 30 SHRUBS	
LOT 3 - 133 STALLS PROVIDED		LOT 3 - 133 / 10 = 13.3 (14)	
REQUIRED: 7,980 SQ. FT.		PROPOSED: 14 TREES, & 42 SHRUBS	
PROVIDED: 3,417 SQ. FT.		PROPOSED: 15 TREES, & 42 SHRUBS	

ALLOWABLE USE GROUPS CONTINUED

USE FORM 1-1 (CONTINUED)	USE FORM 1-1 (CONTINUED)
Small collector (2) (Yes (recording):	Maximum sales, including incidental processing
Stalls for professional work or for teaching of any form of fine arts, i.e., photography, music, singing, etc., etc.	1. <u>_____</u>
2. Accessory sales	Price equipment and supplies, sales and service, rental and repair
	Pet shop
USE FORM 1-2 (RETAIL STORES - PERSONAL GOODS)	Handwriting, nature sales
Canter (year or other) rest and service establishments, either:	Quick copy or duplicating, center
(1) Retail Stores and Service Establishments	Recording studio
(2) Printing, pressing, pressing of wearing apparel	School, commercial or trade, even not involving any danger of fire or explosion, most of articles sold, such as, shirts, hats, trousers, etc., or other objectionable factors
Appliances, furniture, home furnishings, sales, rental, repair	Seasonal service
All other sales	Selling via commercial
Bank, savings & loan and trust company	Stalls for professional work or for teaching of any form of fine arts, i.e., photography, music, dance, etc., etc.
Basket or body shop	1. <u>_____</u>
Bicycle sales, rental, repair	2. <u>_____</u>
Book store	3. <u>_____</u>
Bowling alley	Commercial (parking requirements reduce pool
Cabinet or photographic supply sales	4. <u>_____</u>
Clothing sales	5. <u>_____</u>
Club or lodge, where club activity is confined on or as business	6. <u>_____</u>
Cupboard sales, sales, service and equipment	7. <u>_____</u>
Cupboard, store	8. <u>_____</u>
Dairy store	9. <u>_____</u>
Dry cleaning	10. <u>_____</u>
Eating place, enclosed, without dancing or entertainment and not providing service in automobiles	11. <u>_____</u>
Flea store and similar stores	12. <u>_____</u>
	13. <u>_____</u>
	14. <u>_____</u>
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CE14.002.00B

Bauer Farm Northwest - Phase I

4700 Block of Bauer Farm Drive, Lawrence, Kansas 66049

Final Development Plan For

APPROVED BY:

Name:	Date:
Name:	Date:
Name:	Date:

TREANOR
DESIGN • ARCHITECT • PLANNING • INTERIOR REFINISHING • CIVIL ENGINEERING
ARCHITECTS P.A.
1040 Vermont Street
Lawrence, Kansas 66044-2920
Office: 785.842.4858
Fax: 785.842.7536
www.treanorarchitects.com

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PLANNING PURPOSES ONLY
NOT FOR CONSTRUCTION

REVISIONS	
1	CITY COMMENTS 2014-06-13
2	
3	
4	

Rel. Date: 05.14.2014

LANDSCAPE PLAN

3

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SCALE: 1" = 30'



FILE PATH: D:\Map Resources\13201 - Bauer Farms - Lawrence, KS\13201 - Exterior Elevations - Grocery (Color).img
DATE PRINTED: Tuesday, May 13, 2014
LAST SAVED: Tuesday, May 13, 2014
PRINTED BY: Scott



CE14.002.00B

Final Development Plan For
Bauer Farm Northwest - Phase I
4700 Block of Bauer Farm Drive, Lawrence, Kansas 66049

APPROVED BY:

Name:	Date:
Name:	Date:
Name:	Date:

CAHEN ARCHITECTURAL GROUP P.C.
7076 South Alton Way Building A
Centennial, Colorado 80112 (303) 743-0002
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REVISIONS	
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3	
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Rel. Date: 05.14.2014

EXTERIOR ELEVATIONS
ANCHOR BUILDING

Final Development Plan For
Bauer Farm Northwest - Phase I
4700 Block of Bauer Farm Drive, Lawrence, Kansas 66049

APPROVED BY:

Name:	Date:
Name:	Date:
Name:	Date:

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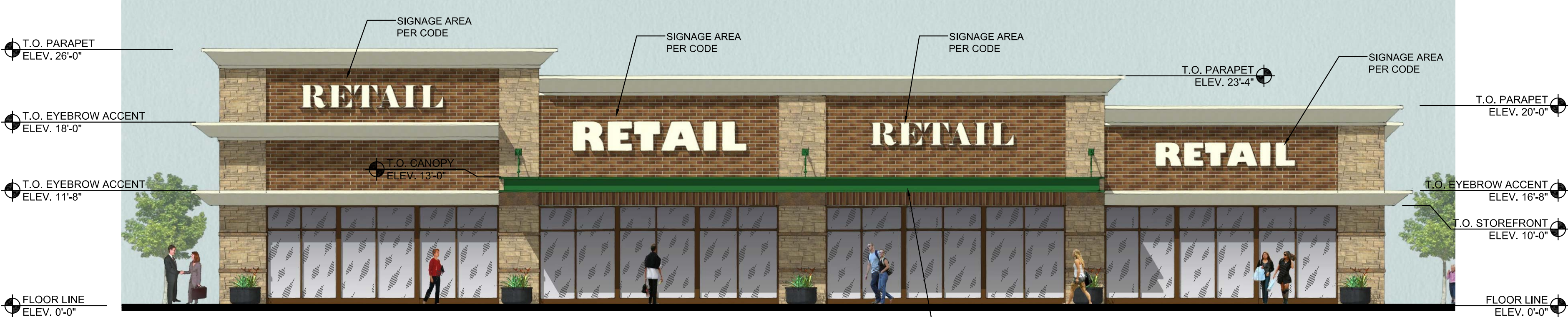
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Rel. Date: 05.14.2014

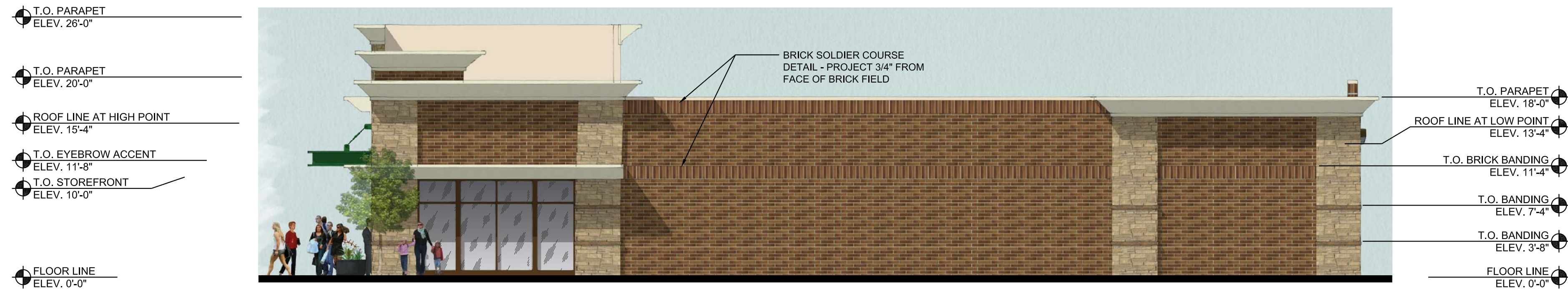
EXTERIOR ELEVATIONS
RETAIL BUILDING

- MATERIALS & COLOR LEGEND**
- E.I.F.S. (SANDBLASTED FINISH)
COLOR: OFF-WHITE
 - CULTURED STONE VENEER
(LEDGESTONE - DRY STACK)
COLOR: "BAUER FARMS BLEND"
 - BRICK (THRU-WALL)
COLOR: REDDISH-BROWN
 - SOLDIER COURSE BRICK
ACCENT (PROJECT 3/4" FROM
FACE OF FIELD BRICK)
COLOR: REDDISH-BROWN
 - STONE BANDING / SILL
COLOR: MEDIUM BROWN
 - STOREFRONT SYSTEM W/
CLEAR NON-REFLECTIVE
GLASS
FRAMING COLOR: DARK
ANODIZED BRONZE
 - CONCRETE TILE ROOFING
COLOR: SLATE GRAY
 - PAINTED STEEL CANOPY
COLOR: FOREST GREEN
 - WALL SCONCE LIGHT FIXTURE
COLOR: DARK BRONZE
 - WALL PAK LIGHT FIXTURE
COLOR: DARK BRONZE



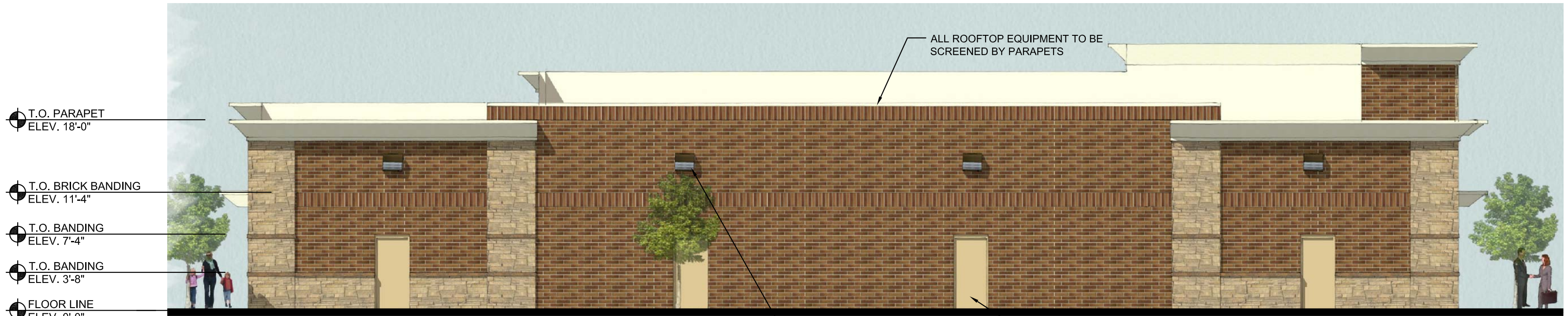
01 FRONT ELEVATION (SOUTH)

SCALE: 1/8" = 1'-0"



02 RIGHT SIDE ELEVATION (EAST)

SCALE: 1/8" = 1'-0"



03 REAR ELEVATION (NORTH)

SCALE: 1/8" = 1'-0"



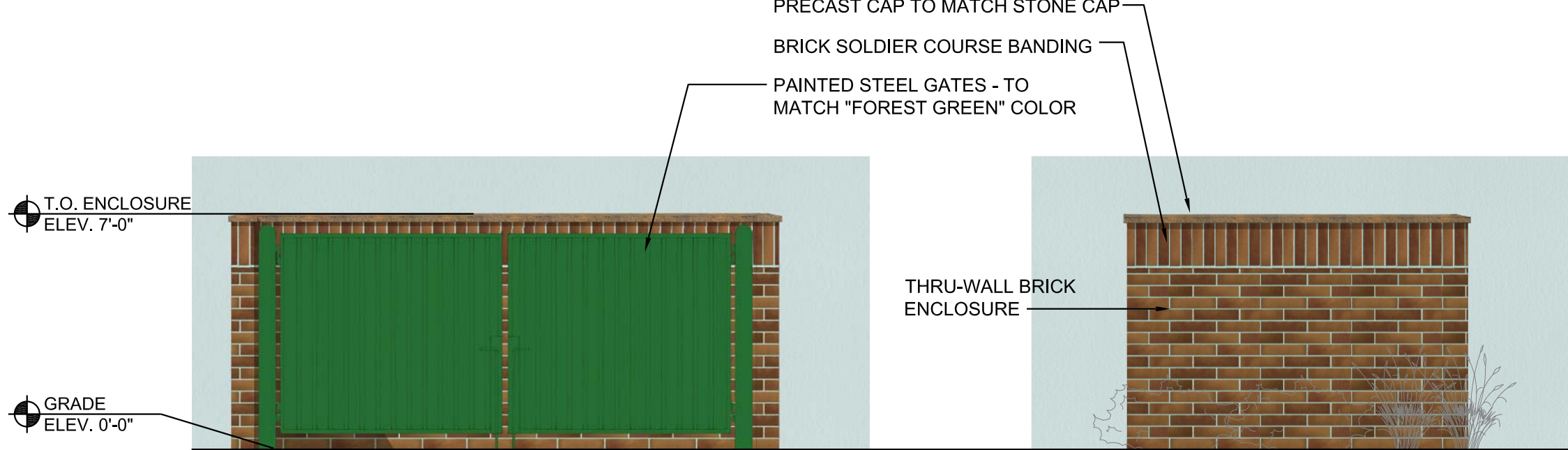
04 LEFT SIDE ELEVATION (WEST)

SCALE: 1/8" = 1'-0"



05 MONUMENT SIGN

SCALE: 1/4" = 1'-0"



06 TRASH ENCLOSURE

SCALE: 1/4" = 1'-0"

