

PLANNING COMMISSION REPORT
Regular Agenda –Public Hearing Item

PC Staff Report
4/25/16

**ITEM NO. 1 CONDITIONAL USE PERMIT; STONY POINT HALL; 1514 N 600 RD
(MKM)**

CUP-16-00035: Consider the renewal of a Conditional Use Permit for Stony Point Hall, a reception and banquet hall, on approximately 13.98 acres, located at 1514 N 600 Rd, Baldwin City. Submitted by Russell and Lucretia Carlson, property owners of record. *(Joint meeting with Baldwin City Planning Commission)*

STAFF RECOMMENDATION: Staff recommends approval of the Conditional Use Permit for Stony Point Hall, a *Recreation Facility* use, and forwarding it to the Board of County Commissioners with a recommendation for approval based upon the findings of fact in the body of the staff report subject to the following condition:

1. The Conditional Use shall be administratively reviewed every 5 years.

Reason for Request: *"We wish to renew the C.U.P. for Stony Point Hall. Our business has reliably and responsibly provided a rural space for weddings and special events since 2007 and we desire the opportunity to continue to do so into the future."*

KEY POINTS

- A Conditional Use Permit, CUP-12-09-05, for the Stony Point Reception Hall was approved by the County Commission on March 15, 2006. One of the conditions was that the approval was valid for a ten year period unless the CUP was renewed. This CUP application is a request for a renewal following the expiration of the ten year approval period.
- The Zoning Regulations do not require that time limits be set for Conditional Use Permits but they can be applied in cases where it is expected that the use may not be compatible with the surrounding area as it develops.

ATTACHMENT

- A --CUP Plans
- B --Public communications

ASSOCIATED CASES

- A Conditional Use Permit, CUP-12-09-05, for the Stony Point Reception Hall was approved by the County Commission on March 15, 2006.
- A Site Plan was administratively approved on May 31, 2007 for changes to the structure which included addition of porch areas and a vestibule and enclosing an existing porch and additional parking. This site plan was included as part of the Conditional Use Permit and a new file was not created.
- A Site Plan, SP-16-00101, was administratively approved on March 28, 2016 for the addition of a gazebo in the reception/garden area.

OTHER ACTION REQUIRED

- Approval of the Conditional Use by the Board of County Commissioners.
- Applicant shall obtain a permit for the Conditional Use from the Zoning and Codes Office.

PUBLIC COMMENT

- Two letters of support were provided by nearby property owners. These are included as attachments with this staff report.

GENERAL INFORMATION

Current Zoning and Land Use: A (Agricultural) District; *Recreation Facility, Residential Detached Dwelling, Agriculture.*

Surrounding Zoning and Land Use: In all directions: A (Agricultural) District; *Agriculture, Woodlands, and Residential Detached Dwellings.*

To the southeast: F-F (Floodway Fringe Overlay) District; wooded stream corridor.

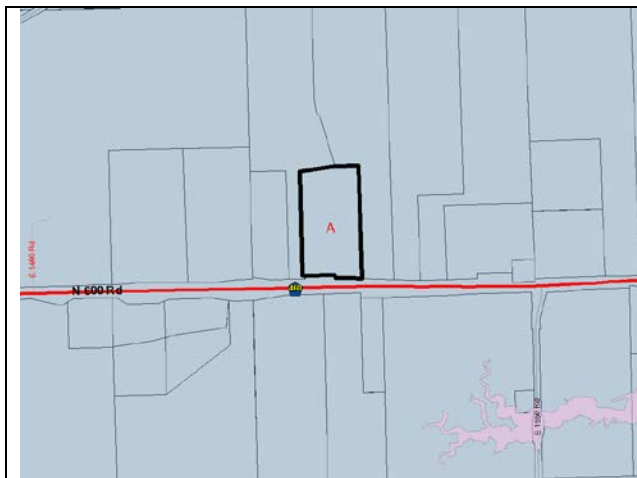


Figure 1a. Zoning of the area: Blue area is A (Agricultural), Pink area is F-F (Floodway Fringe). Subject property is outlined



Figure 1b. Land uses in the area.

Summary of Request

This request is for a renewal of a previously approved Conditional Use Permit which had a ten-year approval (expired March 15, 2016). The property is not within an urban growth area of any city but is within the 3 mile radius of Baldwin City; therefore, a joint meeting with the Lawrence-Douglas County Planning Commission and Baldwin City Planning Commission will be held on the request.

A 3,500 sq ft building was converted for reception and meeting facilities with the original Conditional Use Permit. The area was increased to 5,065 sq ft with the approval of the 2007 site plan. This plan noted that there was a 3,347 sq ft assembly area and a 462 sq ft kitchen area. Maximum occupancy was listed as 226 persons. The building, as approved in 2007, is shown in Figure 2. A site plan was approved in 2016 for the addition of a gazebo in the garden area.

The proposed use is included in the enumerated list of uses that are permitted as Conditional Uses in Section 12-319-4.11 *Recreation Facility*. This use is permitted in the A (Agricultural) Zoning District only when approved as a Conditional Use Permit.

12-319-4.11 Recreation Facility

The proposed use has been reviewed with the following criteria provided in Section 12-319-1.02 of the Zoning Regulations:

I. ZONING AND USES OF PROPERTY NEARBY

Nearby properties are zoned A (Agricultural) and the principal land uses are agriculture, rural residences, and woodland. The F-F (Floodway Fringe Overlay) District containing regulatory floodplain is present to the southeast of the subject property.

The reception hall has been in operation since 2007. The Zoning and Codes Office indicated they received a few complaints the first few years of operation, but no complaints have been submitted to the Zoning and Codes Office regarding this use since. Two nearby property owner/residents provided letters of support for the CUP. (Figure 3)

Staff Finding – Surrounding land uses are predominantly agricultural, woodland/open space, and rural residential. The reception hall has been in existence since 2007 and is compatible with the surrounding land uses.

II. CHARACTER OF THE AREA

The area is divided east and west by N 600 Road/County Route 460, a Principal Arterial, and is bounded on the east by E 1700 Road, County Route 1055, also a Principal Arterial. (Figure 4) N 600 Road/County Route 460 connects with E 1700 Road to the east and Hwy 59, another Principal Arterial, to the west. The topography in the area is varied, with steep slopes throughout. The woodlands correspond with the steep terrain. The character of the area is rural with woodlands, agriculture, and rural residences being the predominate uses. The facility has a rustic appearance and is set back from the road (Figure 5). The facility is compatible with, and enhances the rural character of the area.

Staff Finding – The area has access to the major transportation network with the subject property taking access to N 600 Road, an east/west Principal Arterial, which connects with 2 north/south Principal Arterials to the west and east. The area has a varied topography with woodlands corresponding with the steep terrain. Agriculture, woodlands, and rural residences are predominate land uses in the area. The design and location of the facility are compatible with the rural character of the area.

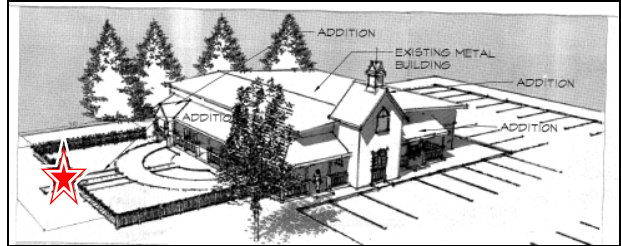


Figure 2. Approved building elevation showing 2007 additions. 2016 approved gazebo location marked with a star.

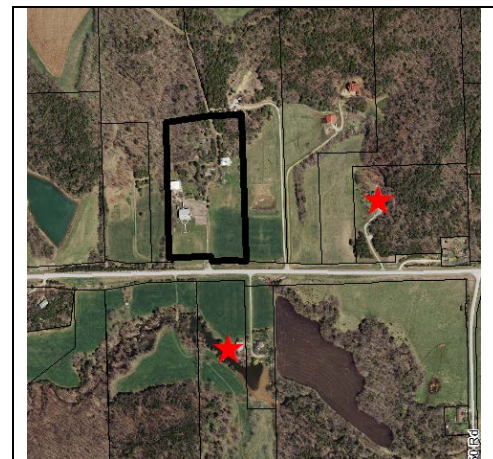


Figure 3. Subject property outlined. Properties with letters of support are marked with stars

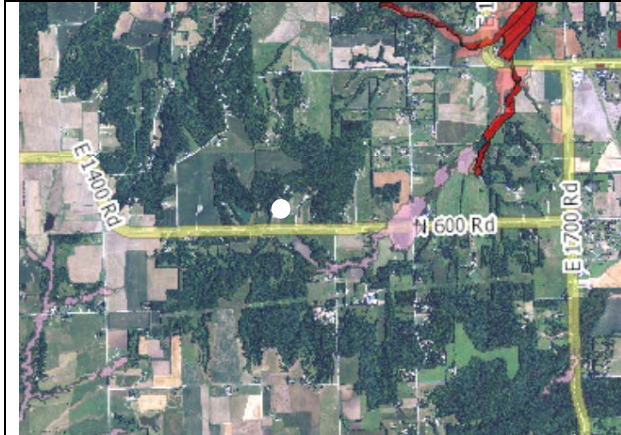


Figure 4a. Area map showing wooded areas and floodplain. Subject property marked with dot.

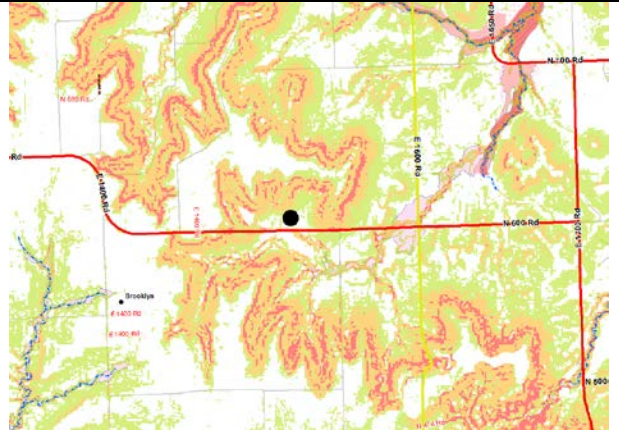


Figure 4b. Topography map. Light green: 3 to 7% slope, Orange: 7 to 15% slope, Red: 15% and above.



Figure 5a. Reception Hall



Figure 5b. View of facility from road, Google Street View map.

III. SUITABILITY OF SUBJECT PROPERTY FOR THE USES TO WHICH IT HAS BEEN RESTRICTED

Applicant's Response:

"The property has been used for this purpose since 2007. We have made many improvements in that time to make the property more suitable and idyllic for large group gatherings to celebrate and enjoy the natural beauty."

The subject property is zoned A (Agricultural). Section 12-306 of the County Zoning Regulations provides the following information on the A District:

"...the purpose of this district is to provide for a full range of agricultural activities, including processing and sale of agricultural products raised on the premises, and at the same time, to offer protection to agricultural land from the depreciating effect of objectionable, hazardous and unsightly uses."

The A District is associated with a majority of the unincorporated portion of Douglas County. Uses allowed in the A District include: farms, truck gardens, orchards, or nurseries for the growing or propagation of plants, trees and shrubs in addition other types of open land uses. Other uses allowed include residential detached dwellings, churches, hospitals and clinics for large and small animals, commercial dog kennels, rural home occupations, and agritourism.

In addition, all uses enumerated in Section 12-319, may be permitted when approved as Conditional Uses. The reception facility was approved with a CUP in 2006 and has been in operation since 2007.

Staff Finding – The property is suitable for agricultural uses which are permitted within the A (Agricultural) District. The property is also well suited for the existing reception hall, a *Recreation Facility* use.

IV. LENGTH OF TIME SUBJECT PROPERTY HAS REMAINED VACANT AS ZONED

Staff Finding – The property is not vacant at this time but is developed with a rural residence, outbuildings, and the reception hall. The reception facility began operation in 2007.

V. EXTENT TO WHICH REMOVAL OF RESTRICTIONS WILL DETRIMENTALLY AFFECT NEARBY PROPERTY

Applicant's Response:

"We believe continuing our operations will not be detrimental to nearby property and owners. We strive to be conscientious of the desires, quality of life and property values of our neighbors and the surrounding countryside."

Section 12-319-1.01 of the County Zoning Regulations recognize that *"certain uses may be desirable when located in the community, but that these uses may be incompatible with other uses permitted in a district...when found to be in the interest of the public health, safety, morals and general welfare of the community may be permitted, except as otherwise specified in any district from which they are prohibited."* The proposed use is included in the Conditional Uses enumerated in Section 12-319-4 of the Zoning Regulations for the Unincorporated Territory of Douglas County as *Recreation Facility*.

Impacts from this type of use are usually associated with traffic, crowd noise or activity, and lighting. The use has been in operation since 2007 and the traffic, noise, and lighting associated

with the existing use have not resulted in complaints from nearby property owners and residents. The Zoning and Codes Office indicated they received a few complaints in the early years regarding fireworks, but that they haven't received any since. Continuing the current operation should have no detrimental impacts on nearby properties.

If the use were to be intensified: the building expanded or additional parking spaces added, for instance, a site plan application would need to be submitted to the Planning Office for review. Impacts of the change on nearby properties and the street network would be evaluated through the site plan review.

Staff Finding – The facility has been in operation since 2007 without detrimental impacts to nearby properties. Approval of the CUP will extend the use but will not change the intensity of the use. The approval of the CUP to allow the continuation of the current reception hall should not result in any detrimental impacts.

VI. RELATIVE GAIN TO THE PUBLIC HEALTH, SAFETY AND WELFARE BY THE DESTRUCTION OF THE VALUE OF THE PETITIONER'S PROPERTY AS COMPARED TO THE HARDSHIP IMPOSED UPON THE INDIVIDUAL LANDOWNERS

Applicant's Response:

"We provide a popular, safe location for local families to hold special celebrations in a private, rural setting. We host a variety of social events including weddings, graduations, charity fundraisers, wakes, and award banquets."

Approval of this request would allow the continuation of the established reception hall, *Recreation Facility*.

No benefit would be afforded to the public health, safety, or welfare by the denial of the request as no negative impacts are anticipated with the facility.

Staff Finding – In staff's opinion, there would be no gain to the public health, safety, and welfare by the denial of the request. Approval of the request would allow the continued use of the Stony Point Reception Hall which offers many city residents a rural Douglas County experience.

VII. CONFORMANCE WITH THE COMPREHENSIVE PLAN

Applicant's Response:

"The hall's architecture intentionally mirrors local, rural agriculture buildings so it is not obnoxious or non-conforming to the rural atmosphere of the area. It is somewhat unobtrusive to the area and provides an opportunity to share the history of the farm & area."

Chapter 16 of *Horizon 2020* recommends that the County encourage and develop policies that support agri- and eco-tourism. (Policy 2.7(d), Page 16-15, *Horizon 2020*) The Stony Point Reception Hall meets the definition of an Agritourism use: *"..the intersection of agriculture and tourism, when the public visits rural areas for recreation, education, enjoyment, entertainment, adventure or relaxation. Agritourism uses the rural experience as a tool for economic development."* (Section 12-319-7, *Zoning Regulations of the Unincorporated Territory of Douglas County*.)

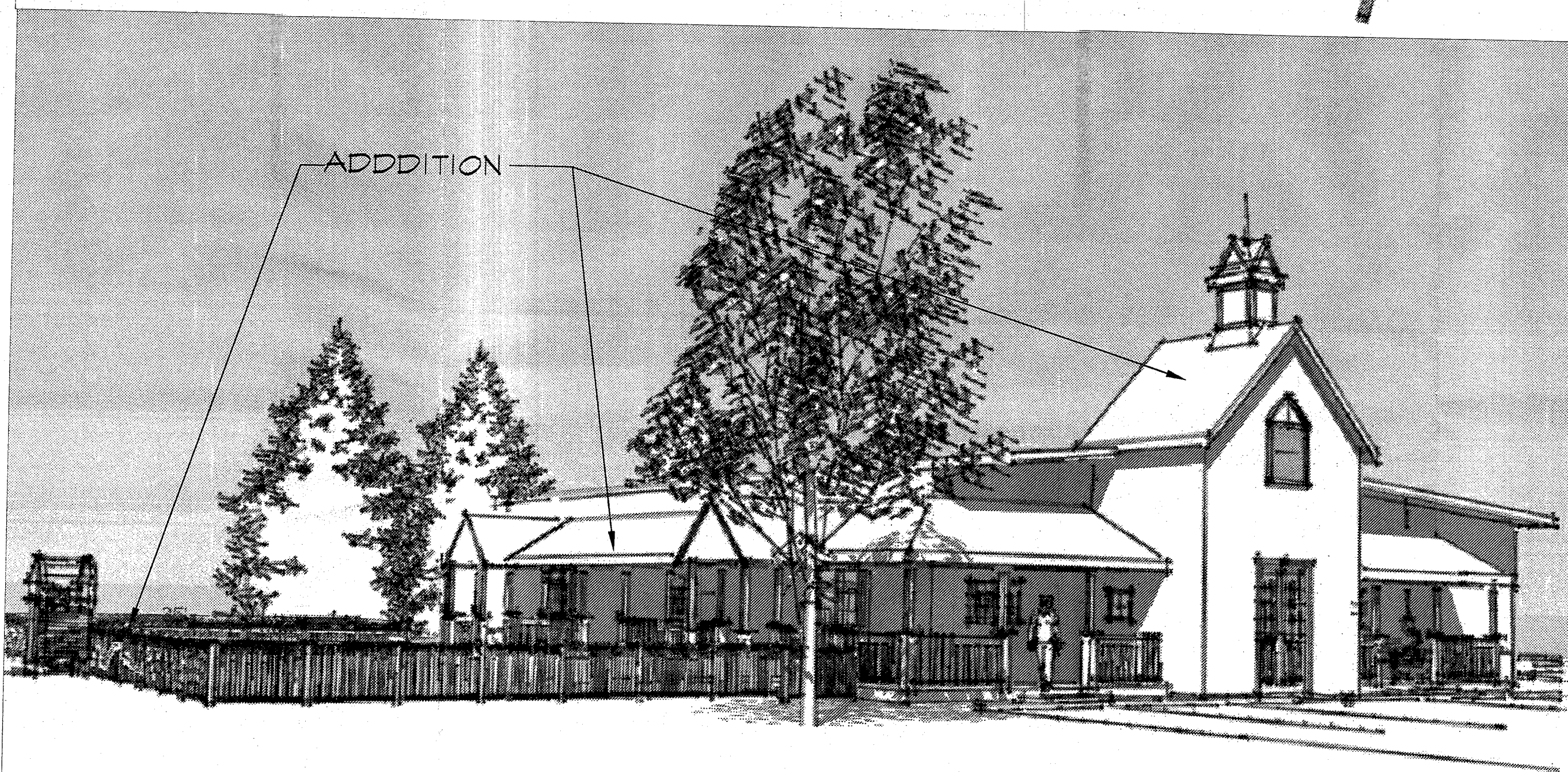
The reception hall could be approved through the Agritourism registration process with the County Commission or as a Conditional Use Permit. In many cases, a Conditional Use Permit is requested rather than registering as an Agritourism use due to the longer approval time frame. Agritourism uses must re-register with the State and the County every 5 years.

Staff Finding – The reception hall is in compliance with Policy 2.7(d) of the Comprehensive plan that recommends the encouragement of agritourism uses.

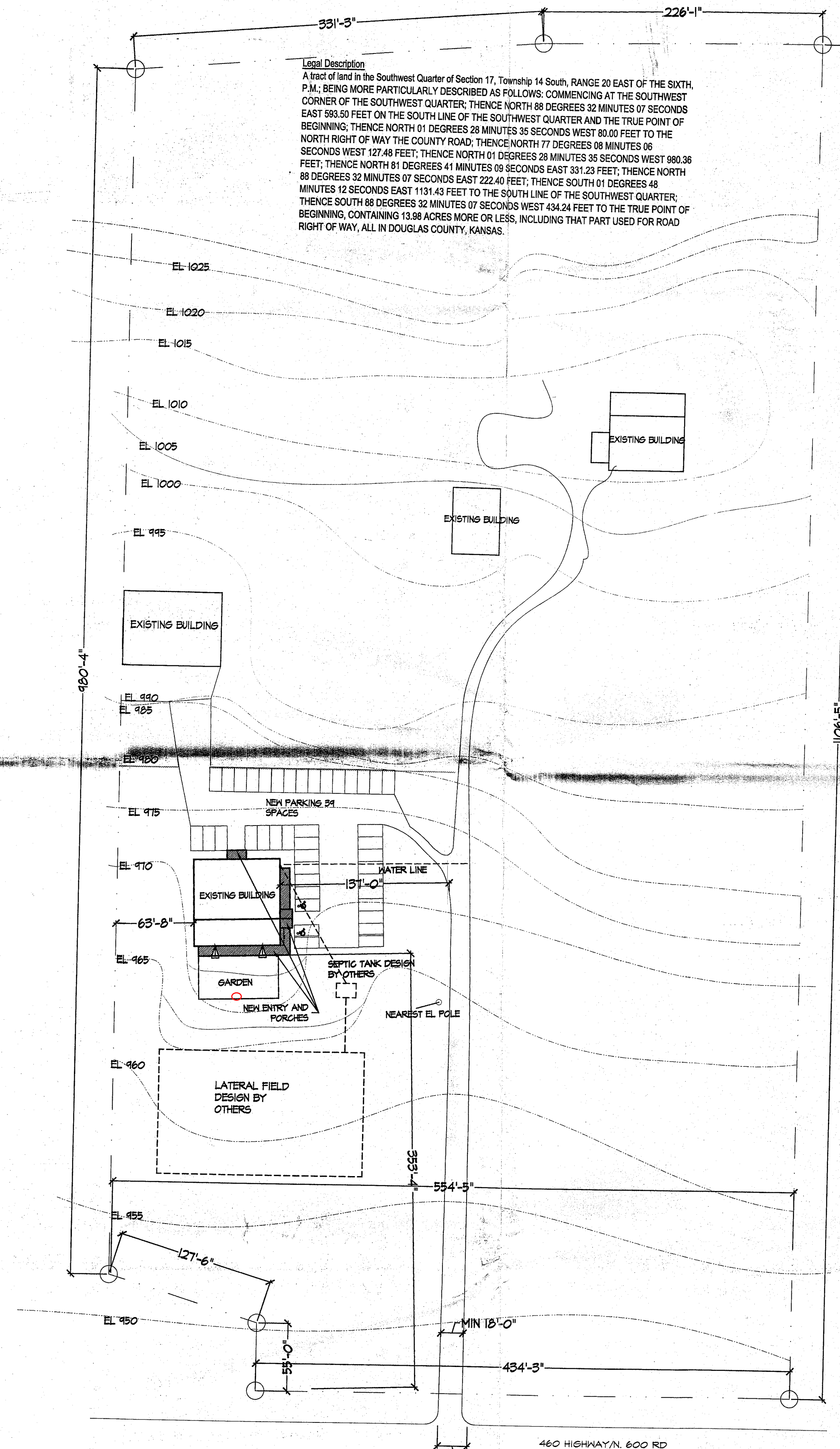
CUP PLAN REVIEW

No physical changes are proposed to the site. This CUP request is solely for the extension of the *Recreation Facility* use. The approved CUP plan is attached with this report for context only.

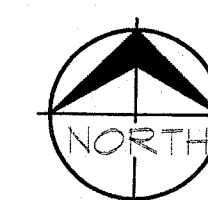
One change being proposed with this CUP renewal is the removal of the 10 year expiration time frame. An expiration date is a useful tool for managing Conditional Uses in developing areas where it is anticipated that the character of the area may change to the degree that the use is no longer compatible with the nearby land uses. In this case, the reception hall use is compatible with the existing development and should be compatible with the area as it further develops. Any intensification of the use would require site plan approval and impacts on nearby properties and road networks would be evaluated with the review of the site plan. Staff recommends the removal of the 10 year expiration but keeping the 5 year administrative reviews, which provide an opportunity for regular reviews but lessens the impact on the operator to re-apply every 10 years.



PERSPECTIVES-NO SCALE



SITE PLAN
1"=60'-0"



Approved & Released

Case No. CWP-129-5 Date: 5/31/07

Planner Initials: SLD # of Sheets 3

Director: [Signature]

revised to enclose porch and addition

FILE COPY

NOT h.h.d.f

global homes
— kenton knowles
785 594 4115 fax 785 594 0396
globalhomes@myvine.com www.globalhomesdesign.com

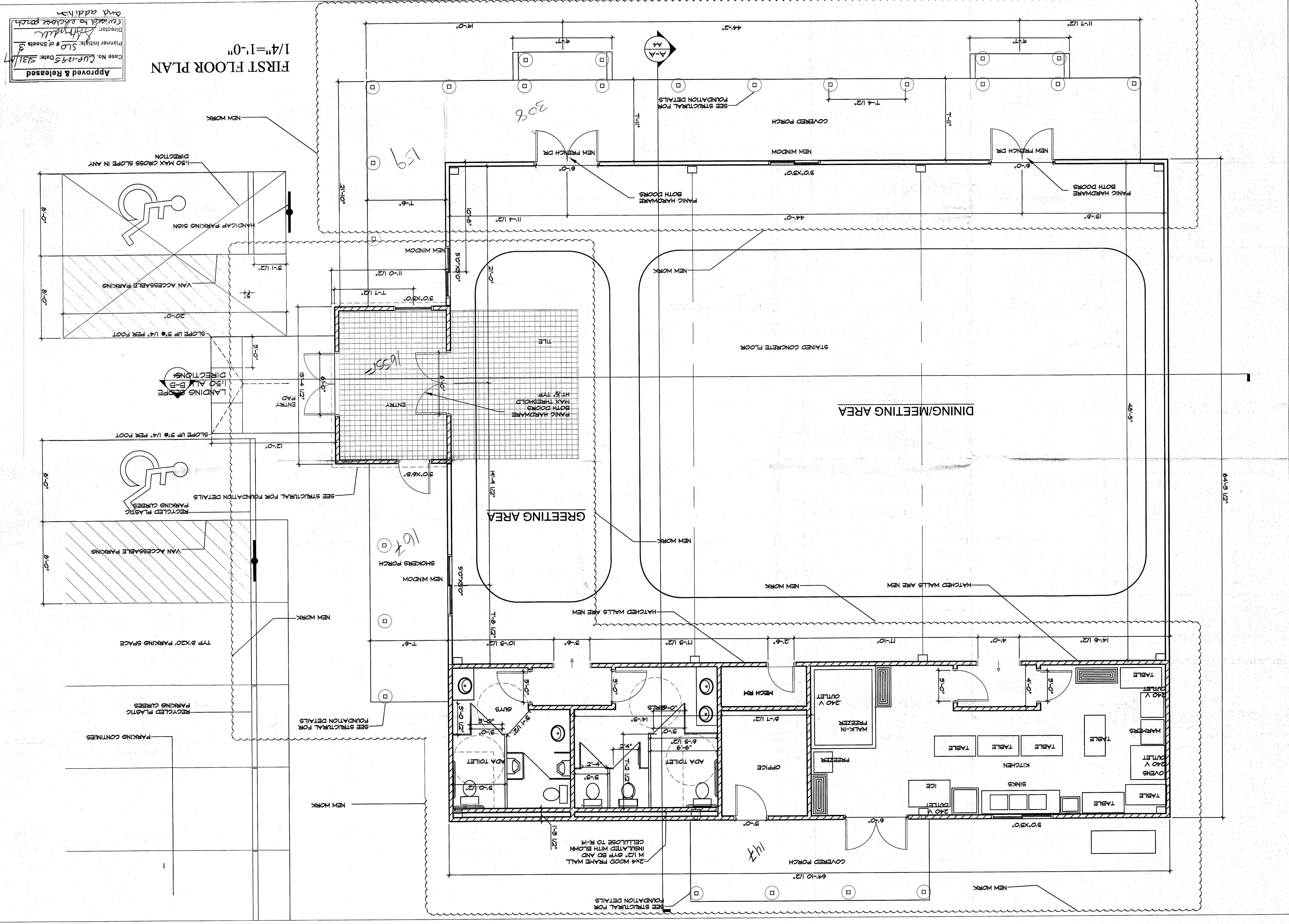
STONY POINT

1514 N 600 RD BALDWIN CITY, KS 66006

DATE: 3/17/07
DRAWN BY: KVK
REV. 5/1/07

SHEET NO.:

A1



FIRST FLOOR PLAN
1/4"=1'-0"

Approved & Released
Case No. CUP-1245 Date: 5/31/07
Planner Initials: SLO # of Sheets: 3
Director: [Signature]
Reviewed to ensure porch
and addition

OUTLINE SPECIFICATIONS

GENERAL CONDITIONS

AIA General Conditions. AIA Document A201, General Conditions of the Contract for Construction, is hereby adopted as part of the contract for the same extent as it is written out in full and below herein, where any Article of the AIA General Conditions is supplemented hereafter, the general provisions of such Article shall remain in effect, and all supplemental provisions of such Article shall remain in effect, and all supplemental provisions shall be considered as added thereto. Where any Article of the AIA General Conditions is amended, modified, voided or superseded hereafter, the provisions of the Article not specifically amended, voided or superseded shall remain in effect and shall be considered as amended to conform with AIA standard conditions referenced herein, the more stringent and/or more expensive shall apply as determined by the architect. Where consulting standards, civil or other provisions herein are in conflict with these specifications, the consultant specifications shall prevail. The contractor shall contact the architect regarding any conflicting or ambiguous information contained herein or in the AIA Standard documents as well as requesting any additional information prior to the execution of the work in question. All of the terms and conditions of the contract documents are individually applicable to contractors and suppliers with contracts, agreements, purchase orders, or other orders for material, equipment, and/or labor for the project specified herein.

SPECIAL CONDITIONS

Contract with the owner shall provide general liability, workers compensation insurance, and other statutorily mandated insurance as required by law. Builder's risk insurance shall be provided by the owner. The contractor shall be responsible for performance and aggregate deductibles. Performance and labor and material payment bonds shall be provided in amounts covering 100% of construction value by the responsible contractor. Permit. The cost of building permits from any and all required jurisdictional authorities shall be paid for by the contractor. The shall include plans and all permit fees, plan review fees, inspection fees and charges, top fees, connection fees, and any and all related charges by such authorities.

Conditions of Site. The site is provided as is for construction. It shall be the responsibility of the contractor to determine what special provisions may be required to accomplish the work as specified. The contractor shall be responsible for the safety of the work. The contractor shall furnish sufficient forces and work such as may be required to ensure the safe completion of the work at the required time. There shall be no prohibition of work by the contractors at any time by the owner.

Confidentiality Notice. No contractor, subcontractor, supplier, nor any other provider of goods and/or services associated in the project shall, without the written consent of the owner, disclose to any third party, in any form, any information, including but not limited to, photographs, plans, drawings, reports, data, or any other information that is confidential to the project or the owner. The contractor shall be responsible for the confidentiality of the project. The contractor shall be responsible for the confidentiality of the project. The contractor shall be responsible for the confidentiality of the project.

The contractor shall furnish, in a timely manner, to the architect for review and approval, all drawings, specifications, and all other documents required for the project. The contractor shall be responsible for the accuracy and completeness of the documents. The contractor shall be responsible for the accuracy and completeness of the documents. The contractor shall be responsible for the accuracy and completeness of the documents.

DIVISION I - GENERAL REQUIREMENTS

CONTRACT FORMS. Owner-Contractor Agreements. AIA Standard Form A201 including General Conditions Form A201.

TESTING. Concrete compressive strength and concrete slump tests shall be provided and paid for by the contractor. Soil composition and bearing capacity tests shall be performed by an independent testing lab as approved by the Architect and paid for by the contractor.

LAYOUT. The General Construction contractor shall provide for the proper layout of the building and building subgrade installation. All design dimensions shall be verified with discrepancies referred to the Architect for adjustments as required.

TEMPORARY FACILITIES - ELECTRICITY, LIGHTING. The General Construction Contractor shall furnish, install, and maintain temporary electrical service and convenience power and lighting for the use of all trades during the construction of the building.

TEMPORARY FACILITIES - HEAT, VENTILATION. General Construction Contractor shall provide as required to maintain conditions for construction operations, to protect existing materials and finishes from damage due to temperature or humidity. Prior to operation of permanent facilities for temporary purposes, verify that installation is correct and per manufacturer's recommendations.

TEMPORARY FACILITIES - TELEPHONE SERVICE. The Contractor shall provide wireless telephone service at the site during working hours and while any work under his contract is underway.

TEMPORARY FACILITIES - WATER. General Construction Contractor shall connect and arrange for a accessible construction water-source as and if required.

TEMPORARY FACILITIES - SANITARY FACILITIES. General Construction Contractor shall arrange or provide for toilet, and pay for proper temporary sanitary facilities and enclosures during the entire project.

TEMPORARY FACILITIES - TRASH AND DEBRIS REMOVAL. General Construction Contractor shall provide, maintain, and pay for required trash and debris containers and removal facilities and enclosures during the entire project. The project shall be left broom clean and free of debris at the end of each work day. Failure to so clean the project may result in backcharges by the owner.

FINAL CLEANING. Execute final cleaning prior to final inspection. Clean interior and exterior glass and surfaces exposed to view; remove temporary labels, stains, and foreign substances; polish transparent and glossy surfaces; vacuum carpeted and work surfaces. Clean equipment and fixtures to a sanitary condition. Replace filters of operating equipment. Clean debris from roofs, gutters, downspouts, and drainage systems. Clean site; sweep paved areas; make clean landscaped surfaces. Remove waste and surplus materials, rubbish, and construction facilities from the site.

PROJECT RECORD DOCUMENTS. The contractor shall maintain a complete and concise record of drawing details and dimensions as adjusted through the course of construction. Prior to substantial completion, the contractor shall provide two copies of such records complete with two copies of scaling data, shop drawings, and other submitted data for every product incorporated into the construction along with a complete list of maintenance, operation, parts, and warranty information for the entire life of the work and a complete list of material, equipment, and labor providers for the work including complete contact information for each.

DIVISION 2 - SITEWORK

SCOPE. The work will include, but is not limited to site clearing and grubbing, stripping of topsoil, engineered cut and fill operations, soil compaction, compaction testing, building and pavement subgrade preparation, site pavement, sidewalks, site lighting, final grading, paving distribution, seeding, sodding, landscaping, and other site work as may be required.

EARTHWORK. Perform site stripping, rough grading, cut and fill operations, excavations and backfill in accordance with the recommendations of a Soil Engineer. If any aspect of the engineer's report is inconclusive, propose procedures to the architect and structural engineer for acceptance before commencing the corresponding work. Earthwork operations shall be performed to comply with engineering design criteria. Engage a registered engineer for verification of bearing capacities of both excavated and engineered fill foundation bearing for every representative condition. Protect all adjacent properties from construction operations.

LANDSCAPING. Replace stockpiled/stripped topsoil and add (if required) back topsoil to maintain minimum of 4" final depth with final grades as shown on the plans. Plant all areas disturbed by construction with thick, uniform indigenous grass seed to match existing. Remove all crushed rock and construction debris prior to landscape soil, seed and planting area preparation.

DIVISION 3 - CONCRETE

SCOPE. Concrete work includes building foundations, concrete slabs on grade, slabs on grade, and other miscellaneous concrete whether structural or architectural, shown or required for a complete project including reinforcing steel, mesh, and accessories.

CAST-IN-PLACE CONCRETE. Refer to architectural drawings for foundations, slabs, stairs, and other required concrete to be placed with a maximum 4' slump. Exterior concrete subject to freeze/thaw shall be air-entrained. Concrete shall be designed, mixed, placed, and finished in every regard during construction. The concrete shall be finished with a trowel finish. The concrete shall be finished with a trowel finish. The concrete shall be finished with a trowel finish.

CONCRETE DESIGN

ASTM C 44-28 Day Compressive Strength shall be Foundations, and Footings, Walls, 4000 psi; Slabs, 5000 psi. Slabs on Grade and Paving Base, 3500 psi. Exterior Concrete and Pads Exposed to Weather, 4000 psi, w/ 6% air.

Minimum reinforcing steel shall be continuous #4, 60,000 PSI deformed steel at 12" on center each way, each face for thickness over 5".

FINISHING. Grouting is to be accomplished with "monite" or equal no-shrink flowable grout mass and placed in accordance with the manufacturers specifications and recommendations.

DIVISION 4 - MASONRY

SCOPE. Masonry work includes concrete block, brick, and limestone masonry construction for architectural and structural requirements. CONCRETE MASONRY UNITS. Concrete masonry construction is to be of running bond, round topped joint. All reinforcing, anchors, inserts, and other accessories shall be as shown or required (min. 1/2" x 1/2" galvanized). Control and construction joints are to be provided as required. All construction of concrete masonry shall be in accordance with recommendations of the masonry manufacturer.

STONE MASONRY. Limestone pattern and grout method shall be approved by the owner prior to setting. Provide new quarried field and cut limestone masonry for foundations and walls. Provide finished stone for walls and floors.

SCOPE. Masonry construction is to be in accordance with structural steel, masonry steel, angles, fabricated plate steel, beams, inserts, supports, railings, and other steel shown or required.

STRUCTURAL STEEL. Structural steel shall be in accordance with AISC Standards, Code of Standard Practice for Steel Buildings.

METAL FABRICATIONS. Structural steel, and other miscellaneous parts and assemblies shall be in accordance with drawings and/or corresponding manufacturer's requirements for steel. All steel shall be in accordance with standards outlining guidelines or recommendations for corresponding details and construction shall be applied by the contractor providing the work. Such standards shall be submitted with the contractor's submittal for architect review.

DIVISION 5 - WOOD AND PLASTICS

SCOPE. Work in this section includes rough carpentry required for structural and necessary installation of wood stud and framing. Work includes floor decking, blocking, finish carpentry and millwork, i.e. window sills, base cabinets, wall cabinets, counters, shelving, and related trim, hardware, and accessories.

ROUGH CARPENTRY. All required rough carpentry wood shall be of No. 2 southern yellow pine or Douglas Fir/Larch, 4x12 and/or micro-lam beams shall be rated at 15-2500 psi & E 1,000,000 psi. Installation shall be plumb and true to building lines for exposed finish.

FINISH CARPENTRY. Finish and trim carpentry and plastics work shall be constructed in accordance with or superior to the American Woodworking Institute Standards for "PREMIUM" grade installations.

DIVISION 7 - THERMAL & MOISTURE PROTECTION

SCOPE. Thermal and moisture protection work includes slab vapor barriers, foundation and slab perimeter insulation and water proofing building wall insulation, insulated single ply roof system, gutters, flashings, and down spouts, caulking and sealants, building exterior joint caulking, and other thermal and moisture barriers shown or required for a complete project.

BUILDING INSULATION. Building envelope insulation. Install minimum R-19 insulation in wall cavities, R-30 in sloping ceiling cavities and R-20 over flat ceiling areas that would provide thermal protection of the building interior. Cover spaces shall have R-19 on interior face of exterior foundation walls from bottom of floor joists to top of gravel.

VAPOR BARRIERS. Provide 6 mil polyethylene vapor barrier under all slabs on grade, installed with continuous sealed lap joints. Crane space shall have 2" clean gravel over vapor retarder with max permeability of 1.0 perm per ASTM E 96.

ROOF SYSTEMS. Provide and install new roofing as shown on the drawings, to provide for weather tight installation.

FLASHING AND SHEET METAL. Provide flashing over all windows, exterior doors, roof eaves and rafters, chimneys, and the like. All flashings and sheet metal work specified or required to complete the work shall be fabricated and installed in accordance with standards of the Association of Architectural Sheet Metal Manufacturers.

WEAT-SEALANTS. Exterior Wall Joints. Prepare and apply two part polyurethane caulk joints with backer rod for complete water and weatherproof seals of exterior building skin. Material by Tremco or equal shall be in color selected by owner. Interior Wall Joints. Prepare and apply paintable silicone caulking at all interior joints.

Concrete Slab Joints. Provide two part flexible joint sealer finish exterior finish.

WATER PROOFING. Formed-in-place foundation walls shall be water proofed with 6 mil polyethylene from grade to the top of the footing. Masonry foundations shall be from finished grade to top of footing. Water proof concrete masonry units and joints between poured concrete and masonry and joints between new and existing poured concrete with somebrite H-2000.

SMOKE ALARMS. Hardwired inter-connected smoke alarms shall be installed in every sleeping room (existing and new) and outside each separate sleeping area in the immediate vicinity of the bedrooms.

DIVISION 8 - DOORS AND WINDOWS

SCOPE. Work under this section includes exterior insulated windows, solid core interior and exterior wood doors, frames, glazing, and hardware, including air caps, thresholds, weatherstripping and hardware.

DOOR DOORS. Interior and/or Exterior grade doors as selected by Owner, purchased and installed by contractor.

DOOR HARDWARE. Provide and install hardware required to complete the work, generally matching existing hardware. Provide hardware typically specified or required for specific application or as directed by Architect/Owner.

Typical Hardware includes, but is not limited to weatherproof thresholds at exterior doors, keyed levers with thumb turn, 1 1/2" pin of hinge pins, door grip cap where applicable, weatherstrip at exterior doors, wall or floor stops as shown on drawings.

DIVISION 9 - FINISHES

SCOPE. Work in this section includes dry board framing and finish system for walls, ceilings, soffits, flooring and base plate plans, and painting of gypsum walls.

GYPSUM BOARD ASSEMBLIES. Gypsum board framing and finishes shall be in accordance with US Gypsum recommended construction practices and details.

FLOORING. Provide and install materials as selected and described on the Drawings or per owner. Install materials where indicated on plans or as directed by the owner in strict accordance with manufacturers recommendations.

DIVISION 10 - MECHANICAL

SCOPE. Plumbing work includes, but not limited to the redistribution of existing waterlines, drainlines and vent lines. Coordinate work with the electrician and owner regarding. Provide drains, cleanouts, traps, faucets, and all accessories as selected by Owner. All work to done in accordance with adopted codes and/or restrictions.

SCOPE. HVAC work includes, but not limited to the redistribution of existing waterlines, drainlines and vent lines. Coordinate work with the electrician and owner regarding. Provide drains, cleanouts, traps, faucets, and all accessories as selected by Owner. All work to done in accordance with adopted codes and/or restrictions.

Provide all required plumbing work as follows: Water supply system in the house shall be furnished and installed including type 1/2" copper hot and cold water lines to all fixtures with air chambers and cut-off valves at all fixtures. Provide pressure reducing valves as required. Lines adjacent to outside walls shall run on interior side of wall and shall be concealed and wrapped with pipe insulation. Drain, waste and vent system for house shall be furnished and installed complete. Soil lines derive separate floors shall be cast iron. Vents may be of PVC. PVC may be used below grade. Furnish and install cleanouts as required for facilitate cleaning of lines.

Installation of all appliances, equipment and fixtures shall be complete and in strict accordance with codes and ordinances.

Furnish and install air-conditioning systems, locations per owner.

Heating Ventilation and Air-Conditioning Systems required shall be as follows: Equipment shall be sized to maintain interior temperature of 70 degrees F.D.B. at an exterior design temperature of 10 degrees F.D.B. and shall maintain minimum temperature of 75 degrees F.D.B. at an exterior design temperature of 100 degrees F.D.B. with 40% relative humidity. Equipment shall carry a minimum of 1000 cfm.

Control equipment shall have a combined minimum Seasonal Energy Efficiency Ratio or 13 btu/wh when rated at standard Department of Energy (DOE) conditions. Condensing units shall be rated in accordance with the latest edition of ARI Standard 210 and shall comply with the latest editions of ANSI/AIR-RE and NEC. Provide start assist for the compressor to protect the compressor from damage due to excessive starting current.

Each heating unit shall have a minimum Annual Fuel Utilization Efficiency (AFUE) of 80 percent.

Thermostats shall be electronic, programmable, automatic changeover with single-stage heat, single-stage cool for unit up to 5 tons. Provide multi-stage thermostats for units over 5 tons.

Refrigerant piping shall be pre-charged copper tubing in manufacturer's standard sizes up to 80 feet in length. Between 80 feet and 175 feet, use type ACR hard copper with wrought-copper-sweat fittings sized to maintain flow rate of 100 ft/min. All the piping shall be in strict accordance with manufacturer's long-line application guidelines. Refrigerant lengths over 175 feet are not permitted. Provide crankcase heaters whenever interconnecting refrigerant piping exceeds 10 feet.

Provide (standard efficiency) 1-inch disposable filter/4-inch pleated media, 42-percent efficiency filter/16-electronic air cleaner with washable pre-filter.

Provide humidifier complete with water and drain lines, bypass disconnector, and room humidistat, sized to maintain a minimum of 35% relative humidity at design conditions.

Sheet metal work shall be for complete supply and return systems including duct work, grills, registers and dampers required for uniform air volume and distribution. System shall be sealed and insulated to one even air flow. All supply ducts in the attic shall be insulated with 1" three lb density duct liner.

Vents shall be code approved and shall be furnished and installed for all exhaust fans, equipment and appliances including oven, cooktop and ovens.

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MINIMUM OF TWO MEANS OF EGRESS ARE REQUIRED WHERE

NUMBER OF OCCUPANTS IS AT LEAST 50

OCCUPANT LOAD FACTOR 5

(square feet) 15 = 75000

1497 UNIFORM BUILDING CODE, VOLUME I

SECTION 505 - REQUIREMENTS FOR GROUP A OCCUPANCIES

505.1.1 Group A Occupancies defined. Group A Occupancies include the use of a building or structure, on a portion thereof, for the gathering together of 50 or more persons for purposes such as civic, social or religious functions, recreation, education or instruction, food or drink consumption, or awaiting transportation. A room or space used for assembly purposes by less than 50 persons and accessory to another occupancy shall be included as a part of that major occupancy. Assembly occupancies shall include the following: Division 5A building or portion of a building having an assembly room with an occupant load of less than 500 without a legitimate stage, including such buildings used for educational purposes and not closed as Group B or E Occupancies

SECTION 1001 - ADMINISTRATIVE

1001.1 Scope. Every building or portion thereof shall be provided with a means of egress as required by this chapter. A means of egress is an exit system that provides a continuous, unobstructed and unimpeded path of exit travel from any occupied point in a building or structure to a public way. Such means of egress system consists of three separate and distinct elements: 1. The exit access, 2. The exit, and 3. The exit discharge.

SECTION 1005 - THE EXIT 1005.1 General. The exit is that portion of the means of egress system between the exit access and the exit discharge or the public way. Components that may be selectively included in the exit include exterior exit doors, exit enclosures, exit passageways and horizontal exits. In addition to these common means of egress components described in Section 1005.3.

1005.2 Exit Design Requirements. The exit portion of the means of egress system shall comply with the applicable design requirements of this section.

1005.2.1 Separation of exits. Exits shall be separated in accordance with the requirements of Section 1004.2.4.

1005.2.2 Travel distance. Travel distance shall not be limited within an exit enclosure or exit passageway, which complies with the applicable requirements of Section 1005.3

SECTION 1006 - ELECTRICAL

SCOPE. Work includes, but not limited to the redistribution and balancing of existing electrical service and branch circuits, switch control wiring, telephone, network, and cable wall box and conduit sizes. Provide and install light fixtures, devices, boxes, covers, and accessories as required and Owner approved. Provide NEMA rated devices in conformity with approved device covers of a single manufacturer.

Smoke detectors. Smoke detectors must be located within 10' of sleeping room doors (inside and outside of bedroom) in addition to one directly over the stairway. Smoke detectors must be located in a basement with a stairway into the dwelling. Or as per city ordinance.

Electrical contractor shall provide temporary service for construction site as directed by the general contractor. Coordinate requirements with the electrician and utility company and provide all necessary permits. The Electrical Contractor shall provide load calculations per the NEC for family dwellings to the Architect and the local Electric Utility Company as required.

Electrical Contractor shall provide all electrical work and fixtures as follows: Electrical contractor shall coordinate electrical service and metering and coordinate with the local utility company and be responsible for any compensation to the local utility for their services.

Electrical contractor shall furnish and install new distribution panel(s), properly sized according to load calculations per the NEC requirements. Panels shall be enclosed mounted, (location per architect), dead front type and shall be UL listed and meet or exceed all electrical code requirements. Provide service entrance grounding per Article 250 of the latest adopted NEC.

Branch circuit breakers shall be thermal magnetic, ambient compensating, completely enclosed molded case type with non-removable silver alloy contacts and are listed. Circuit breakers shall be UL listed and conform to NEMA Standard AN-1-RTS and Federal Specifications HCS-57B. Circuit breakers shall have operating handle, silver alloy contacts and silver plated copper parts. Breaker units shall have visual indication of position and shall have a card holder with type written designation of use of each circuit. All panels shall have 20% spare circuits to be clearly marked.

Electrical contractor shall furnish and install a complete distribution wiring system to all equipment, fixtures, receptacles, switches, dimmers, controls, including all wiring, conduit, junction a receptacle boxes and plates, receptacles and silent type switches.

Provide ground-fault circuit-interrupter protection for receptacles in bedrooms, garages, accessory buildings, outdoor, crawl spaces, unfinished basements, kitchens where the receptacles are installed to serve the counter top and not less than per Article 210 of the NEC.

Contractors shall be completed and code approved to all equipment, switches, receptacles, light fixtures and

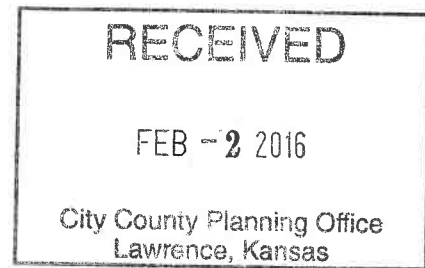


**CUP-16-00035: Conditional Use Permit for Stony Point Hall, a Reception
and Banquet Hall, Located at 1514 N 600 Road**



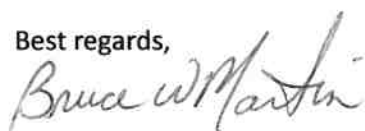
January 28, 2016

City of Lawrence Planning Commission
City Hall
6 East 6th Street
Lawrence, Kansas 66044
Attn: Sandra Day



Dear Ms. Day –

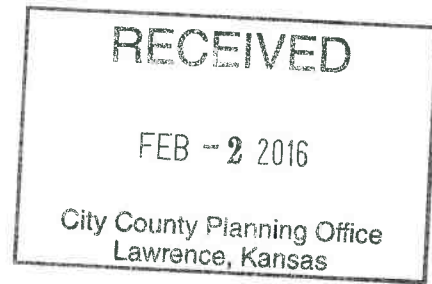
It is our understanding that Stony Point Hall, located 1514 N600th Road, Baldwin City, Kansas, is in the process of renewing their Conditional Use Permit for the business. As neighbors we would like to express our support for their continued operation and renewal of the C.U.P.

Best regards,


Bruce & Linda Martin
1538 N600th Road
Baldwin City, Kansas

January 28, 2016


City of Lawrence Planning Commission
City Hall
6 East 6th Street
Lawrence, Kansas 66044
Attn: Sandra Day



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It is our understanding that Stony Point Hall, located 1514 N600th Road, Baldwin City, Kansas, is in the process of renewing their Conditional Use Permit for the business. As neighbors we would like to express our support for their continued operation and renewal of the C.U.P.

Best regards,


Joseph M. Harvey
1521 N600th Road
Baldwin City, Kansas

Memo

To: Mary Miller, City/County Planner
From: Tina Rakes, Code Administrator
CC: Planning Commission File
Date: April 25, 2016
Re: Stony Point Hall CUP

On April 12, 2016 the Baldwin City Planning Commission met and reviewed the CUP application for Stony Point Hall.

By a unanimous vote, the Planning Commission voted in support of the continuation of the CUP, in addition, supports removing the requirement of ten year expiration for review.

The use is granted conditionally which allows for a review or investigation should complaints or noncompliance's become an issue.