#### PLANNING COMMISSION REPORT Regular Agenda —Public Hearing Item

PC Staff Report 4/25/16

ITEM NO. 1 CONDITIONAL USE PERMIT; STONY POINT HALL; 1514 N 600 RD (MKM)

**CUP-16-00035**: Consider the renewal of a Conditional Use Permit for Stony Point Hall, a reception and banquet hall, on approximately 13.98 acres, located at 1514 N 600 Rd, Baldwin City. Submitted by Russell and Lucretia Carlson, property owners of record. (*Joint meeting with Baldwin City Planning Commission*)

**STAFF RECOMMENDATION:** Staff recommends approval of the Conditional Use Permit for Stony Point Hall, a *Recreation Facility* use, and forwarding it to the Board of County Commissioners with a recommendation for approval based upon the findings of fact in the body of the staff report subject to the following condition:

1. The Conditional Use shall be administratively reviewed every 5 years.

**Reason for Request:** "We wish to renew the C.U.P. for Stony Point Hall. Our business has reliably and responsibly provided a rural space for weddings and special events since 2007 and we desire the opportunity to continue to do so into the future."

#### **KEY POINTS**

- A Conditional Use Permit, CUP-12-09-05, for the Stony Point Reception Hall was approved by the County Commission on March 15, 2006. One of the conditions was that the approval was valid for a ten year period unless the CUP was renewed. This CUP application is a request for a renewal following the expiration of the ten year approval period.
- The Zoning Regulations do not require that time limits be set for Conditional Use Permits but they can be applied in cases where it is expected that the use may not be compatible with the surrounding area as it develops.

#### **ATTACHMENT**

- A --CUP Plans
- B –Public communications

#### **ASSOCIATED CASES**

- A Conditional Use Permit, CUP-12-09-05, for the Stony Point Reception Hall was approved by the County Commission on March 15, 2006.
- A Site Plan was administratively approved on May 31, 2007 for changes to the structure which
  included addition of porch areas and a vestibule and enclosing an existing porch and
  additional parking. This site plan was included as part of the Conditional Use Permit and a
  new file was not created.
- A Site Plan, SP-16-00101, was administratively approved on March 28, 2016 for the addition of a gazebo in the reception/garden area.

#### OTHER ACTION REQUIRED

- Approval of the Conditional Use by the Board of County Commissioners.
- Applicant shall obtain a permit for the Conditional Use from the Zoning and Codes Office.

#### **PUBLIC COMMENT**

• Two letters of support were provided by nearby property owners. These are included as attachments with this staff report.

#### **GENERAL INFORMATION**

Current Zoning and Land Use: A (Agricultural) District; Recreation Facility, Residential

Detached Dwelling, Agriculture.

Surrounding Zoning and Land Use: In all directions: A (Agricultural) District; Agriculture, (Figure 1) Woodlands, and Residential Detached Dwellings.

To the southeast: F.F. (Floodway Fringe Overlay) District

To the southeast: F-F (Floodway Fringe Overlay) District; wooded stream corridor.



**Figure 1a.** Zoning of the area: Blue area is A (Agricultural), Pink area is F-F (Floodway Fringe). Subject property is outlined



Figure 1b. Land uses in the area.

#### **Summary of Request**

This request is for a renewal of a previously approved Conditional Use Permit which had a tenyear approval (expired March 15, 2016). The property is not within an urban growth area of any city but is within the 3 mile radius of Baldwin City; therefore, a joint meeting with the Lawrence-Douglas County Planning Commission and Baldwin City Planning Commission will be held on the request.

A 3,500 sq ft building was converted for reception and meeting facilities with the original Conditional Use Permit. The area was increased to 5,065 sq ft with the approval of the 2007 site plan. This plan noted that there was a 3,347 sq ft assembly area and a 462 sq ft kitchen area. Maximum occupancy was listed as 226 persons. The building, as approved in 2007, is shown in Figure 2. A site plan was approved in 2016 for the addition of a gazebo in the garden area.

The proposed use is included in the enumerated list of uses that are permitted as Conditional Uses in Section 12-319-4.11 *Recreation Facility.* This use is permitted in the A (Agricultural) Zoning District only when approved as a Conditional Use Permit.

#### 12-319-4.11 Recreation Facility

The proposed use has been reviewed with the following criteria provided in Section 12-319-1.02 of the Zoning Regulations:



**Figure 2.** Approved building elevation showing 2007 additions. 2016 approved gazebo location marked with a star.

#### I. ZONING AND USES OF PROPERTY NEARBY

Nearby properties are zoned A (Agricultural) and the principal land uses are agriculture, rural residences, and woodland. The F-F (Floodway Fringe Overlay) District containing regulatory floodplain is present to the southeast of the subject property.

The reception hall has been in operation since 2007. The Zoning and Codes Office indicated they received a few complaints the first few years of operation, but no complaints have been submitted to the Zoning and Codes Office regarding this use since. Two nearby property owner/residents provided letters of support for the CUP. (Figure 3)

**Staff Finding** – Surrounding land uses are predominantly agricultural, woodland/open space, and rural residential. The reception hall has been in existence since 2007 and is compatible with the surrounding land uses.



**Figure 3.** Subject property outlined. Properties with letters of support are marked with stars

#### II. CHARACTER OF THE AREA

The area is divided east and west by N 600 Road/County Route 460, a Principal Arterial, and is bounded on the east by E 1700 Road, County Route 1055, also a Principal Arterial. (Figure 4) N 600 Road/County Route 460 connects with E 1700 Road to the east and Hwy 59, another Principal Arterial, to the west. The topography in the area is varied, with steep slopes throughout. The woodlands correspond with the steep terrain. The character of the area is rural with woodlands, agriculture, and rural residences being the predominate uses. The facility has a rustic appearance and is set back from the road (Figure 5). The facility is compatible with, and enhances the rural character of the area.

**Staff Finding** – The area has access to the major transportation network with the subject property taking access to N 600 Road, an east/west Principal Arterial, which connects with 2 north/south Principal Arterials to the west and east. The area has a varied topography with woodlands corresponding with the steep terrain. Agriculture, woodlands, and rural residences are predominate land uses in the area. The design and location of the facility are compatible with the rural character of the area.



**Figure 4a.** Area map showing wooded areas and floodplain. Subject property marked with dot.



**Figure 4b.** Topography map. Light green: 3 to 7% slope, Orange: 7 to 15% slope, Red: 15% and above



Figure 5a. Reception Hall



Figure 5b. View of facility from road, Google Street View map.

## III. SUITABILITY OF SUBJECT PROPERTY FOR THE USES TO WHICH IT HAS BEEN RESTRICTED

Applicant's Response:

"The property has been used for this purpose since 2007. We have made many improvements in that time to make the property more suitable and idyllic for large group gatherings to celebrate and enjoy the natural beauty."

The subject property is zoned A (Agricultural). Section 12-306 of the County Zoning Regulations provides the following information on the A District:

"...the purpose of this district is to provide for a full range of agricultural activities, including processing and sale of agricultural products raised on the premises, and at the same time, to offer protection to agricultural land from the depreciating effect of objectionable, hazardous and unsightly uses."

The A District is associated with a majority of the unincorporated portion of Douglas County. Uses allowed in the A District include: farms, truck gardens, orchards, or nurseries for the growing or propagation of plants, trees and shrubs in addition other types of open land uses. Other uses allowed include residential detached dwellings, churches, hospitals and clinics for large and small animals, commercial dog kennels, rural home occupations, and agritourism.

In addition, all uses enumerated in Section 12-319, may be permitted when approved as Conditional Uses. The reception facility was approved with a CUP in 2006 and has been in operation since 2007.

**Staff Finding** – The property is suitable for agricultural uses which are permitted within the A (Agricultural) District. The property is also well suited for the existing reception hall, a *Recreation Facility* use.

#### IV. LENGTH OF TIME SUBJECT PROPERTY HAS REMAINED VACANT AS ZONED

**Staff Finding** – The property is not vacant at this time but is developed with a rural residence, outbuildings, and the reception hall. The reception facility began operation in 2007.

## V. EXTENT TO WHICH REMOVAL OF RESTRICTIONS WILL DETRIMENTALLY AFFECT NEARBY PROPERTY

Applicant's Response:

"We believe continuing our operations will not be detrimental to nearby property and owners. We strive to be conscientious of the desires, quality of life and property values of our neighbors and the surrounding countryside."

Section 12-319-1.01 of the County Zoning Regulations recognize that "certain uses may be desirable when located in the community, but that these uses may be incompatible with other uses permitted in a district...when found to be in the interest of the public health, safety, morals and general welfare of the community may be permitted, except as otherwise specified in any district from which they are prohibited." The proposed use is included in the Conditional Uses enumerated in Section 12-319-4 of the Zoning Regulations for the Unincorporated Territory of Douglas County as Recreation Facility.

Impacts from this type of use are usually associated with traffic, crowd noise or activity, and lighting. The use has been in operation since 2007 and the traffic, noise, and lighting associated

with the existing use have not resulted in complaints from nearby property owners and residents. The Zoning and Codes Office indicated they received a few complaints in the early years regarding fireworks, but that they haven't received any since. Continuing the current operation should have no detrimental impacts on nearby properties.

If the use were to be intensified: the building expanded or additional parking spaces added, for instance, a site plan application would need to be submitted to the Planning Office for review. Impacts of the change on nearby properties and the street network would be evaluated through the site plan review.

**Staff Finding** – The facility has been in operation since 2007 without detrimental impacts to nearby properties. Approval of the CUP will extend the use but will not change the intensity of the use. The approval of the CUP to allow the continuation of the current reception hall should not result in any detrimental impacts.

## VI. RELATIVE GAIN TO THE PUBLIC HEALTH, SAFETY AND WELFARE BY THE DESTRUCTION OF THE VALUE OF THE PETITIONER'S PROPERTY AS COMPARED TO THE HARDSHIP IMPOSED UPON THE INDIVIDUAL LANDOWNERS

#### Applicant's Response:

"We provide a popular, safe location for local families to hold special celebrations in a private, rural setting. We host a variety of social events including weddings, graduations, charity fundraisers, wakes, and award banquets."

Approval of this request would allow the continuation of the established reception hall, *Recreation Facility.* 

No benefit would be afforded to the public health, safety, or welfare by the denial of the request as no negative impacts are anticipated with the facility.

**Staff Finding** – In staff's opinion, there would be no gain to the public health, safety, and welfare by the denial of the request. Approval of the request would allow the continued use of the Stony Point Reception Hall which offers many city residents a rural Douglas County experience.

#### VII. CONFORMANCE WITH THE COMPREHENSIVE PLAN

#### Applicant's Response:

"The hall's architecture intentionally mirrors local, rural agriculture buildings so it is not obnoxious or non-conforming to the rural atmosphere of the area. It is somewhat unobtrusive to the area and provides an opportunity to share the history of the farm & area."

Chapter 16 of *Horizon 2020* recommends that the County encourage and develop policies that support agri- and eco-tourism. (Policy 2.7(d), Page 16-15, *Horizon 2020*) The Stony Point Reception Hall meets the definition of an Agritourism use: "...the intersection of agriculture and tourism, when the public visits rural areas for recreation, education, enjoyment, entertainment, adventure or relaxation. Agritourism uses the rural experience as a tool for economic development." (Section 12-319-7, Zoning Regulations of the Unincorporated Territory of Douglas County.)

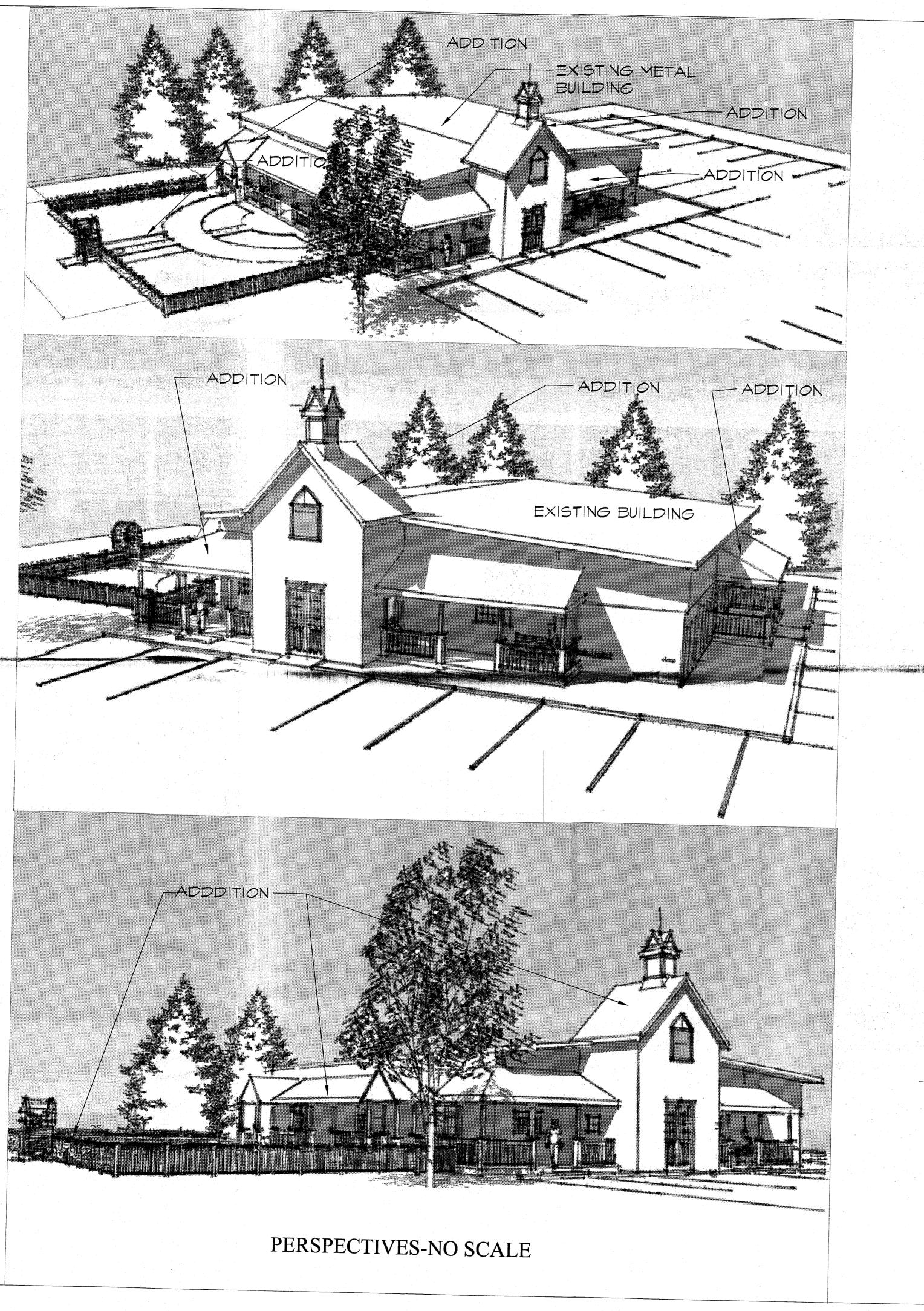
The reception hall could be approved through the Agritourism registration process with the County Commission or as a Conditional Use Permit. In many cases, a Conditional Use Permit is requested rather than registering as an Agritourism use due to the longer approval time frame. Agritourism uses must re-register with the State and the County every 5 years.

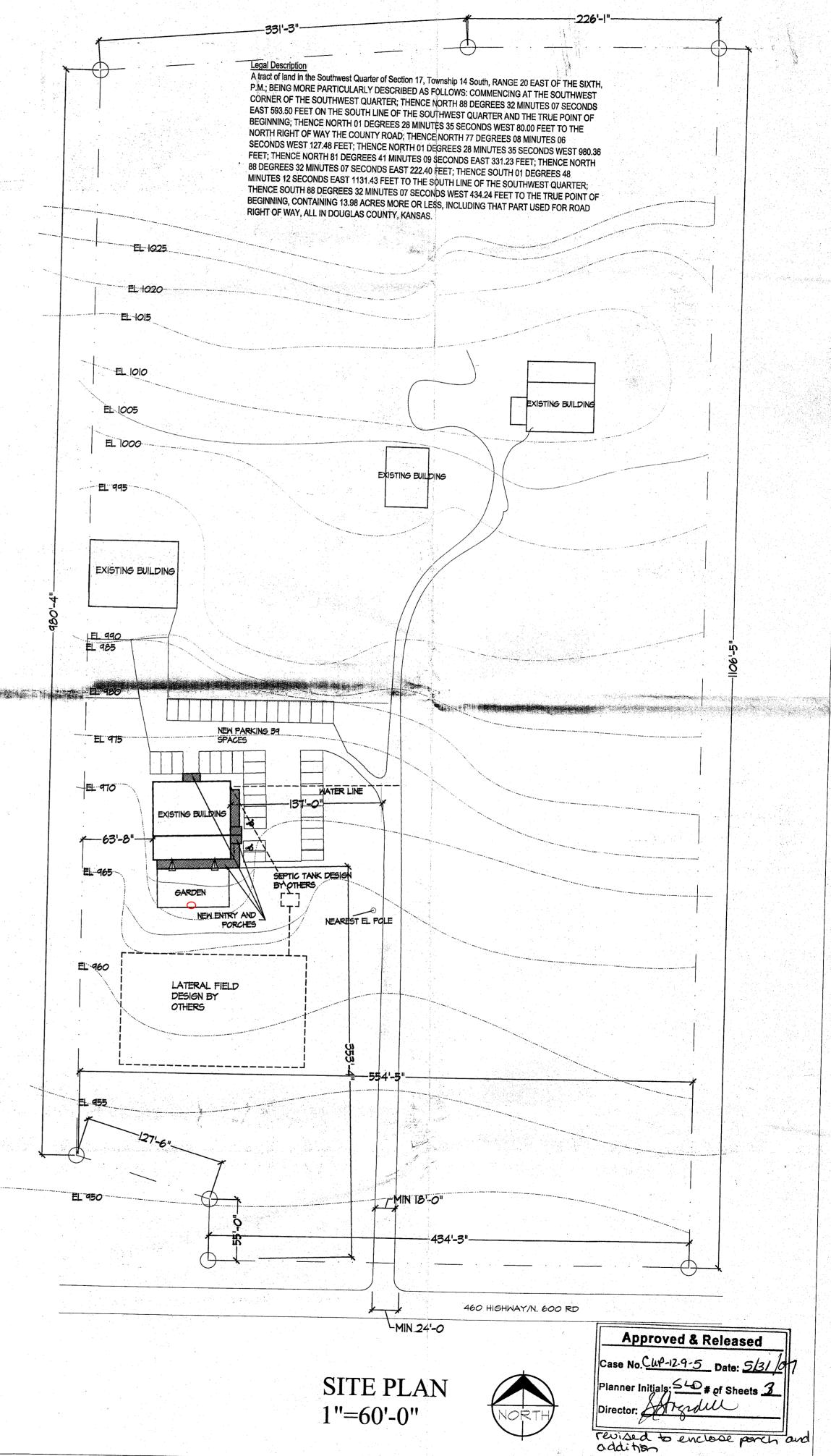
**Staff Finding** – The reception hall is in compliance with Policy 2.7(d) of the Comprehensive plan that recommends the encouragement of agritourism uses.

#### **CUP PLAN REVIEW**

No physical changes are proposed to the site. This CUP request is solely for the extension of the *Recreation Facility* use. The approved CUP plan is attached with this report for context only.

One change being proposed with this CUP renewal is the removal of the 10 year expiration time frame. An expiration date is a useful tool for managing Conditional Uses in developing areas where it is anticipated that the character of the area may change to the degree that the use is no longer compatible with the nearby land uses. In this case, the reception hall use is compatible with the existing development and should be compatible with the area as it further develops. Any intensification of the use would require site plan approval and impacts on nearby properties and road networks would be evaluated with the review of the site plan. Staff recommends the removal of the 10 year expiration but keeping the 5 year administrative reviews, which provide an opportunity for regular reviews but lessens the impact on the operator to re-apply every 10 years.





SS S

Francial Residents

Renton knowles

785 594 4115 fax 785 594 0396

Tomes@myvine.com www.globalhomesdesic

DATE: 3/17/07
DRAWN BY: KVK
REV. 5/1/07

SHEET NO.:

FILE COPY

and addition "5/1 F-11 1d1-011 "C-'44 ₽¥ 1/4"=1'-0" A-A Case No. CUP-12-9-5 Date: 5/31/07 FIRST FLOOR PLAN Approved & Released SLIATED NOITACHUSE FOR  $\nabla$ LO/1/9 COVERED PORCH :3TAQ LO-LI-E MEM FRENCH DR MEM MINDOM —I.50 MAX CROSS SLOPE IN ANY —IRECTION 10-19 10,EX,10,5 BAMORAH SINAS BAOOG HTOB BRANCIAH SINAG SROOT HTOE 18-181 10-177 "<u>[] }-'|</u> apartemental de la constitución de MEM MINDOM + "5/1 1-1E" 1514 VAN ACCESSABLE PARKING 10-102 =111 STAINED CONCRETE FLOOR 29000 HT09 Q10H239HT XAM 9YT "2 TH YATNE V DINING/MEETING AREA PANIC HARDWARE TOOT ATA "+/I @"E AU THOUTS ! 15,-01 "8'8X"OE -- SEE STRUCTURAL FOR FOUNDATION DETAILS PARKING CURBES PECYCLED PLASTIC **GREETING AREA** NEW MORK-VAN ACCESSABLE PARKING SMOKERS PORCH MEM MINDOM MAN BRA SILIAM GAHOTAH--NEW MORK WHU BRA STIAM CHOTAH-NEW MORK-Amment met and the second metallic and the second meta "C/I 9-17 "OI-'TI "5/1 E-1L1 TYP 8'X20' PARKING SPACE "C/I E-101 "9-1L BJBAT MECH RM A O Y C PARKING CURBES "2/1 T-18 FOUNDATION DETAILS FREEZER AOF LARUTOURTE EBE-MALK-IN PARKING CONTINUES 318AT **BJBAT BJBAT** V OPS DUTLET KITCHEN 出り上上の OVENS 301 **3JBAT** 240 M 10,8X1019 CELLULOSE TO R-19 M I/2" 6YP BD AND COVERED PORCH -2x4 MOOD FRAME WALL "5/1 OI-1P3

---NEW MORK

Set arithare feet founds founds for the feet founds founds for the feet founds for the

Contract with the owner-shall provide general liability, workers compensation insurance, and other statutorily mandated insurance as required by law.

Builder's risk insurance shall be provided by the owner. The contractor shall be responsible for per occurrence and aggregate deductibles.

Performance and labor and material payment lands shall be provided in amounts covering 100% of construction value by the responsible contractor.

Permits: The cost of building permits from any and all required jurisdictional authorities shall be paid for by the contractor. This shall include any and all permit fees, plan review fees, inspection fees and changes, top fees, cornection fees, and any and all related changes by such authorities.

Conditions of Site: The site is provided as is for construction. It shall be the responsibility of the contractor to determine what special provisions may be required to accomplish the work shown.

Howe of Work: The contractor shall furnish sufficient forces and work such shifts as may be required to ensure the prosecution of the work within the required time. There shall be no prohibition of work by the contractors at

Confidentiality Notice: No contractor, subcontractor, supplier, nor any other provider of goods and/or services incorporated in the project shall photograph, publish, present, advertise, illustrate, or in any other way make claim of involvement in the project or with the owner of the project without acknowledging in the same medium with equivalent size, frequency, and positive tone, the owner and architect who shall be identified as "GLOBAL HOMES, DESIGN INC".

The contractor shall furnish, in a timely manner, to the architect for review and approval detailed shop drawings for all fabricated items i.e. casework, heavy timber framing, structural and decorative steel wheather fabricated on an off-site prior to fabrication.

#### DIVISION I GENERAL REQUIREMENTS

CONTRACT FORMS: Owner /Contractor Agreements: AIA Standard form AIOI including General Conditions form A201.

TESTING: Concrete compressive strength and concrete slump tests shall be provided and paid for by the contractor. Soil compaction and bearing capacity tests shall be performed by an independent testing lab as approved by the Architect and paid for by the contractor.

LAYOUT: The General construction contractor shall provide to the proper layout of the building and building subgrade installation. All design dimensions shall be verified with discrepancies referred to the Architect for

TEMPORARY FACILITIES - ELECTRICITY. LIGHTING: The General Construction Contractor-shall furnish, install, and maintain temporary electrical service and convenience power and lighting for the use of all tradies during the construction of the building.

TEMPORARY FACILITIES - HEAT, VENTILATION: General Construction Contractor shall provide as required to maintain conditions for construction operations, to protect existing and new materials and finishes from damage also to temperature or humidity. Prior to operation of permanent facilities for temporary purposes, verify that installation is correct and per manufacture recommendations.

TEMPORARY FACILITIES - TELEPHONE SERVICE: The Contractor shall provide wholess telephone service at the site during working hours and while any work under his contract is underway.

TEMPORARY FACILITIES - WATER) General Construction Contractor shall connect and arrange for a accessible construction water source as and if

TEMPORARY FACILITIES - SANITARY FACILITIES General Construction Contractor shall arrange or provide for maintain, and pay for proper templorary sanitary facilities and enclosures during the entire project.

TEMPORARY FACILITIES - TRASH AND DEBRIS REMOVAL. General Construction Contractor shall provide, maintain, and pay for required trash and debris containment and removal facilities and enclosures during the entire project. The project shall be left broom clean and free of debris at the end of each work day. Failure to so clean the project may result in backshanges by the owner.

FINAL CLEANING: Execute final cleaning prior to final inspection. Clean interior and exterior glass and surfaces exposed to view; remove temporary labels, stains and foreign substances; polish transparent and glossy surfaces, vacuum carpeted and soft surfaces. Clean equipment and fixtures to a sanitary condition. Replace filters of operating equipment. Clean debris from noots, gutters, downspouts, and drainage systems. Clean site, sweep paved areas, nake clean landscaped surfaces. Remove waste and surplus materials, rubbish, and construction facilities from the site.

PROJECT RECORD DOCUMENTS. The contractor shall maintain a complete and concles record of drawing details and alimensions as adjusted through the course of construction. Prior to substantial completion, the contract shall provide two captes of such records complete with two copies of catalog data, shop drawings, and other submittal data for every product incongenated into the construction along with a complete list of maintenance, apenation, parts, and warmanty information for the entirety of the work and a complete list of material, equipment, and labor providers for the work including complete contact information for each.

## DIVISION 2 SITEMORK

SCOPE. The work will include, but is not limited to site cleaning and grubbing, stackpilling of tapsoil, engineered cut and fill aperations, soil compaction, compaction testing, building and pavement subgrade preparation, eite pavement, sidewalks, site lighting, final grading, tapsoil distribution, seeding, sadding, landscaping, and other sitework as may be required.

EARTHMORK: Perform site stripping, rough grading, cut and fill operations, excavations and backfill in accordance with the recommendations of a Solis Engineer. If any aspect of the engineer's report is inconclusive, propose procedures to the architect and structural engineer for acceptance before commencing the corresponding work. Earthwork apenations shall be performed to comply with engineering design criteria. Engage testing engineer for verification of bearing capacities of both excavated and engineered fill foundation bearing for every representative condition. Frotect all adjacent properties from construction apenations.

LANDSCAPING: Replace stockpilled stripped topsoil and add (if required) black topsoil to maintain minimum of 4" final depth with finish grades as shown on the plans. Plant all areas disturbed by construction with thick, uniform indigenous grass seed to match existing. Remove all crushed rock and construction debris prior to landscape soil, sed and planting area

SCOTT: Concrete work includes building foundations, concrete stairs on gnade, slabs on gnade, and other miscellaneous concrete whether structural or architectural, shown or required for a complete project including reinforcing steel, mesh, and accessories.

CAST-IN-PLACE CONCRETE: Refer to architectural drawings for foundations, slabs, stairs, and other required concrete. All concrete shall be placed with a maximum 4" slump. Exterior concrete subject to freeze/than shall be air entrained. Concrete shall be designed, mixed, placed, and treated in every regard during construction in accordance with corresponding ACI standards and recommendations. Carefully photectifinished slabs which are to remain exposed in the completed construction to avoid any discoloration and interruptions of uniformity in the finished work. Finish concrete to match existing adjacent, contiguous similar existing work, or as directed by Architect.

# CONCRETE DESIGN: ASTM C 94,28 Day Compressive Strength shall be: Foundations, and Footings: Walls, 4000 psi., Ftgs. 5000 psi. Slabs on Grade and Paving Base: 5500 psi Exterior Concrete and Pads Exposed to Weather: 4000 psi. w/ 6% atn

Minimum reinforcing steel shall be continuous #4,60000 PSI deformed stee at 12" on center each way, each face for thickness over 5".

<u>GROUTING</u>: Grouting is to be accomplished with "Inonite" or equal no-shrink flowable about mixed and placed in accordance with the manufacturers specifications and recommendations.

SCOTT: Masonry work includes concrete block, brick and limestone masonry construction for architectural and structural requirements.

CONCRETE MASCHEY UNITS: Concrete masonry construction is to be of running bond, round tooled joint. All reinforcing, anchors, lintels, and other accessorios shall be as shown on required (min. I'm = 1,500ps). Control and construction joints are to be provided as required. All construction of concrete makenry shall be in accordance with recommendations of the Masonry institute.

STONE MASCHIET: Limestone pattern and grount method shall be approved by the owner prior to setting. Provid newly quarried field and cut limestone and approved. Provide substrate cellifocting and/or anchors as required. miscellaneous steel angles, tabricated plate steel "beams", inserts, supports, rallings, and other steel shown or required.

## STRUCTURAL STEEL: Structural steel shall be in accordance with AISC Standands, Code of Standard Practice for Steel Buildings.

METAL FABRICATIONS. Structural Steel, and other miscellangous parts and assemblies shall be in accordance with drawings and/or corresponding contractor/trade requirements for such. Where reasonable, industry standards outlining guidelines or recommendations for corresponding details and construction shall be applied by the contractor providing the work. Such standards shall be submitted with the contractor's submittals for architect

SCOPE: Work in this section includes rough corporary required for structural and accessory installation of wood studk and field framing, plywood floor and rolof decking, blocking, finish carpentry and millwork, i.e. window sills, base cabinets, wall cabinets, counters, shelving, and related trim, hardware, and

ROUGH CARPENTRY: All required rough corpontry woold shall be of No. 2 southern yellow pine on Doulas Fir/Lanch. Glu-lam and/or micro-lam beams shall be nated at Fio 2600 psi 4 E 1,900/000 psi. Installation shall be plumb and true to building lines for exposed finish,

EINISH CARPENTRY: Finish and trim compentry and cobinets work shall be constructed in accondance with an superior to the American Wagdworking institute Standards for "PREMIUM" grade installations.

### DIVISION 7 THERMAL 4 MOISTURE PROTECTION

SCOPE: Thermal and Moisture protection work includes slab vapior barriers, foundation and slab perimeter insulation and water proofing, building wall insulation, insulated single ply roof system, gutters, flashings, and down spouts, caulking and sealants, building exterior joint caulking, and other thermal and moisture barriers shown or required for a complete project.

BUILDING INSULATION: Building envelop insulation: install minimum R-19 insulation in Hall cavities, R-50 in slaping ceiling cavities and R-50 over flat ceiling areas that would provide thermal protection of the building interior. Crawl space shall have RIT on interior face of exterior foundation Halls from

YAPOR BARRIER: Provide 6 mil polyethylene vapor barrier under all slabs on grade, installed with continuously sealed lap joints. Crawl space shall have 2" clean gravel over vapor retarder with max permeance of I.O perm

ROOF SYSTEM: Provide and install new roofing as shown on the drawings, to provide for weather tight installation.

FLASHING AND SHEET METAL. Provide flashing over all windows, exterior doors, roof eaves and rakes, chimneys, and the like. All flashings and sheet metal work specified or required to complete the work shall be fabricated and installed in accordance with standards of the Association of

bint SEALANTS. Exterior Wall Joints: Propage and apply two part polysulfide caulk joints with booker rod for complete water and weatherproof sealant of exterior building skin. Material by Tremco or equal shall be in color selected by Owner. Interior Wall Joints: Prepare and apply paintable silicone coulking at all Interior joints.
Concrete Slab Joints: Provide two part flowable joint sealer flush with

MATER PROOFING: Poured-in-place toundation waits shall be water proofed with 6 mill poly-ethylene from grade to the top of the footing. Masonry foundations shall be from finished grade to top outside edge of footings. Waterpract concrete majorry units and joints between poured concrete and criu's and joints between new and existing poured concrete with someborne HLMSOOOT

SMOKE ALARMS: Hardwired interconnected smoke alarms shall be installed In every sleeping room (existing and new) and outside each separate sleeping area in the immediate vicinity of the bedrooms

## DIVISION & DOORS AND WINDOWS

SCOPE: Work under this section includes exterior insulated windows, solid core interior and exterior wood doors, frames, glazing, and hardware, including arrip caps, thresholds, weatherstripping, and hardware.

WOOD DOORS: Interior and/or Exterior grade, doors as selected by Owner burchased and installed by Contractors

DOOR HARDWARE. Provide and install handware required to complete the work, generally matching existing handware. Provide handware typically associated on required for specific application on as directed by

Typical Hardware includes, but is not limited to weatherproof thresholds at exterior diaces, keyed lacks with thumb turn, I % pain of hinges per door drip cap where applicable, weatherstrip at exterior daars, wall or floor stops as

SCOPE: Work in this section includes guo board framing and finish system for walls, ceilings, soffits, flooring and base per plans, and painting of gypeum

SYPSUM BOARD ASSEMBLIES. Supeum board framing and finishes shall be in accordance with US. Supeum recommended construction practices and distalls. ELCORING: Provide and install materials as selected and described on the Drawings or per owner. Install materials where indicated on plans or as

directed by the owner in strict accordance with manufacturers

## GENERAL CONSTRUCTION NOTES

### DIVISION IS MECHANICAL

SCOPE. Plumbing work includes, but not limited to the redistribution of existing waterlines, drainline and vent lines. Coordinate work with the drawings and Owners requirements. Provide drains, disposer, fixtures, faucets, and all accessaries as selected by Owner. All work to done in accordance with adopted codes and/or restrictions.

SCOPE: HVAC work includes, but not limited to the redistribution of existing supply and return duct work, architecturally integral adjustable discharge grilles, supply and return duct risers, filtered plenum intake return grilles, biathnoom and kitchen exhaust fans with exterior architectural discharge grilles to match exterior anchitectural sheet metal or as selected by Owner All work to done in accordance with adopted codies and/or restrictions.

Provide all required plumbing work as follows:

Nater supply system in the house shall be furnished and installed including type "L" copper hot and cold water lines to all fixtures with air chambers and cut-off valves at all fixtures. Provide pressure reducing valve at required. Lines adjacent to outside walls shall run on interior side of wall and shall be concealed and wrapped with pipe insulation. Drain, waste and vent system for house shall be furnished and installed complete. Sall lines above concrete floors shall be cast iron. Vent line ma be of PVC. PVC may be used below slabs. Furnish and install cleanouts as required to facilitate cleaning of lines.
Installation of all appliance, equipment and fixtures shall be complete and in strict accordance with cades and ordinances. Furnish and install out-off valves at all plumping flutures.
Furnish and install antifreeze sillocks, locations per owner.
Heating Ventilation and Air Conditioning Systems required shall be as follows:
Equipment shall be sized to maintain an interior temperature of 70 degrees

Equipment shall be sized to maintain an interior temperature of 70 degrees FDB, at an exterior design temperature of -10 degrees FDB, at an exterior design temperature of 75 degrees FDB, at an exterior design temperature of 100 degrees FDB; with 40% relative humidity. Equipment shall Carrien Lennox or equal.
Cooling equipment shall have a combined minimum Seasonal Energy Efficiency
Ratio or 12 btuh/watt when rated at standard Department of Energy (190E)
conditions. Condensing units shall be rated in accordance with the latest
edition of ARI Standard 210 and shall comply with the latest editions of
ANSI/ASHRAE and NEC. Provide start assist for the compressor to protect
against low voltage conditions. Provide a time delay relay to prevent
compressor re-start for 5 minutes after shut-down.

Gas heating aculpment shall have a minimum Annual Fuel Utilization Efficiency (AFVE) of 80 percent.

Thermostats shall be electronic, programmable, automatic changeove single-stage heat, single-stage cool for units up to 5 tons. Provide multi-stage thermostats for units over 5 tons. multi-stage thermostate for units over 5 tons.

Refrigerant piping shall be pre-charged copper tubing in manufacturer's standard sizing up to 50° feet in length. Between 50° feet and 175 feet, use tupe ACR hard copper with mought-capper sweat fittings sized to compensate for increased line losses. All sizing shall be in strict accordance with manufacturer's lang-line application guidelines. Refrigerant lengths over 175 feet are not permitted. Provide crankcase heaters whenever interconnecting retrigorant piping exceeds 50 feet.
Provide (standard efficiency, 1-inch disposable filters)(4-inch pleated med 40 percent efficiency filters)(electronic air cleaner with washable pre-filter). Provide humidifier complete with water and drain tubing, by-plass dictwork, and raiom humidistat, eized to maintain a minimum of 55% relative humidity at Shoot motal work shall be for complete supply and return systems including duct work, grills, registers and dampers required for uniform arvolume and distribution. System shall be tested and balanced to give even

air flows. All supply ducts in the attic shall be insulated with it three lbx vents shall be code approved and shall be furnished and installed for all exhaust fans, equipment and appliances including oven, cooktop and owner's clothes dryen including weather cap.
All air vents and combustion air ducts shall be complete with weather caps and/or noof jacks as required.

Adjustments shall include testing and balancing the HVAC system. Equipment shall be leveled and all rattles, vibrations, and pape shall be removed from

all dicts, housings, damper controls and equipment.

No stud shall be cut more than 1/2 it's depth to receive piping and duct work.

Condenser pad shall be furnished and installed with new condensers. Care shall be taken in installation to keep pads level Manufacturer's guarantees and warranties on all equipment shall b delivered to the owner and instructions given on the operation of all equipment, at the completion of the project.

All materials and workmanship shall be in strict accordance with the recommendations of the sheet metal contractor's National Association, inc. as

set forth in the current edition of standard practices in sheet metal work Manuals #1 and #2. The mechanical contractor shall guarantee the performance of the installed heating and cooling equipment. Equipment shall be capable of maintaining the specified temperatures and the duct system shall deliver uniform, balanced

an flows without hot on cold spots.

Crawlispice shall be automatically supplied with 02 cfm per sq. ft. of horizontal space when relative humidity of the space exceds 60%.

SCOPE: Work includes, but not limited to the redistribution and balancing of existing electrical service and branch, circuit, switch control wiring, telephone. network, and cable wall box and condult stubs. Provide and install light fixtures, devices, boxes, covers, and accessories as required and Owner approved. Provide NEMA rated devices in Ivory with approved device covers of a single manufacturer/system.

Smoke detectors must be located within 10° of sleeping room doors (inside and outside of bedraom) in addition to one directly over the stairway. Smoke detector must be located in a basement with a stairway into the

On as per city ordinance.

Electrical contractor shall provide temporary service for construction site as directed by the general contractor Coordinate requirements with the local utility company and include all costs in the block.

Electrical contractor shall provide local calculations per the NEC to tarrilly Electrical Contractor shall provide load calculations per the NEC for family disellings to the Architect and the local Electric Utility Company as required. Electrical contractor shall provide all electrical work and fixtures as

Electrical contractor shall coordinate electrical service and metering requirements with the local utility company and be responsible for any compensation to the local utility for their services. Electrical contractor shall furnish and install new distribution panel(s), properly elzed according to load calculations per the NEC requirements.

Panel(s) shall be surfaced mounted, (location per architect), dead front type and shall be UL listed as Service Entrance Equipment

Provide service entrance grounding per Article 250 of the latest adopted

Branch circuit breakers shall be thermal magnetic, ambient compensa completely enclosed molded case type with non-welding eliver alloy contacts and anc chutes. Circuit breakers shall be U.L. listed and conform to NEMA Standard AM-1-1975 and Federal Specifications W.C-375B: Circuit breakers shall have operating handle, silver alloy contacts and silver plated copper parts. Breaker units shall have visual indication of position and shall have a card holder with type written designation of use of each circuit. All panels shall have 20% spare circuits to be clearly marked. Electrical contractor shall furnish and install a complete distribution wiring

Electrical contractor shall furnish and install a complete distribution wiring system to all equipment, fixtures, receptacles, switches, dimmers, controls; including all wiring, conduit, junction a receptacles boxes and plates, receptacles and silent type switches.

Provide gnound-fault circuit-interrupter protection for receptacles in bothnooms, garages, accessory buildings, autidoon craini spaces, unfinished basements, kitchens where the receptacles are installed to serve the counter top and wet bars per Article 210 of the NEC.

Connections shall be completed and code approved to all equipment, switches, receptacles, light fixtures and smoke detectors.

Habit up all items as required under equipment and HVAC.

All electrical work shall be in strict accordance with all local, state and national codes and ordinances.

national codes and ordinances. All work shall comply with the latest edition of the National Electrical Code (NFPA No. 70) and all applicable laws, cades, recommendations, regulations, and interim amendments of the governmental badies having jurisdiction. Provide all fees and permits that are required in connection with this Mork. Secure all inspections as required by the authorities having jurisdiction. Locations, manufacturer and model number of all new user interface electrical devices such as light fixtures, switches, receptacles etc hall be selected and located by the architect and owner

## BUILDER'S PLANS

The term "builder's plans" refers to a certain level of development of the the term builder's plans refers to a contrain level of development of the drawings. These plans require that the contractor possess competence in residential construction. The contractor warrants to GLOBAL HOMES DESIGN INC and any other consulting engineers, that they possess the particular competence and skill in construction necessary to build this project without full engineering and design services, and for that reason the contractor or the owner has restricted the scope of professional services. The construction documents provided by the limited services shall be termed "builder's plans". Any ambiguity of discrepancy discovered by the use of these plans shall be reported immediately to the architect and any other consulting engineers. Construction may require that the contractor adapt the consulting engineers. Construction may require that the contractor adapt the "builder's plans" to the field conditions encountered and make lagical adjustments in fit and form, dimension and quantity. Changes made from the plans without the consent of GLOBAL HOMES DESIGN INC and any other consulting engineers are unauthorized. It is also understood that the contractor will be responsible for meeting all applicable building codes and zoning ordinances. In the event additional design details or structural design is needed by the contractor or owner for construction of any aspect of the project, SLOBAL HOMES DESIGN INC and any other consulting engineers or a qualified architect/engineer shall immediately be retained. Failure to notify GLOBAL HOMES DESIGN INC of these needs or of changes to the plans shall relieve GLOBAL HOMES DESIGN INC and any other consulting engineers of any responsibility of the consequences.

MINIMUM OF TWO MEANS OF EGRESS ARE REQUIRED WHERE NUMBER OF OCCUPANTS IS AT LEAST 50 OCCUPANT LOAD FACTOR 3

(square feet) 15 = 75000

### 1997 UNIFORM BUILDING CODE, YOLUME I

SECTION 303 - REQUIREMENTS FOR GROUP OCCUPANCIES 303.1.1 Group A Occupancies defined. Group A Occupancies include the use of a building or structure, on a portion thereof, for the gathering together of 50 or more persons for purposes such as civic, social or religious functions, recreation, education or instruction, food or drink consumption, or awaiting transportation. A room on space used for assembly purposes by less than 50 persons andiaccessory to another occupiancy shall be included as a part of that major occupancy. Assembly occupancies shall include the

Division 3A building or portion of a building having an assembly noom with an accupant load of less than 300 without a legitimate stage, including such buildings used for educational purposes and not classed as Group B on E Occupancies

SECTION 1001 - ADMINISTRATIVE 1001.1 Scope. Every building or portion thereof shall be provided with a means of egress as required by this chapter. A means of agrees is an exit system that provides a continuous, unobstructed and undiminished path of exit thavel from any occupied point in a building or structure to a public way. Such means of egress system consists of three separate and distinct

I. The exit access, 2. The exit, and 3. The exit discharge.

SECTION 1005 - THE EXIT 1005.1 General. The exit is that portion of the means of egrees system between the exit access and the exit discharge or the public way. Components that may be selectively included in the exit Include exterior exit doors, exit enclosures, exit plassageways and horizontal exits, in addition to those common means of egre components described in Section 1003.3.

1005.2 Exit Design Requirements The exit portion of the means of agrees system shall comply with the applicable design requirements of this section. 1005.2.1 Separation of exits. Exits

shall be separated in accordance

with the requirements of Section 1005.2.2 Travel distance. Travel distance shall not be limited within an exit enclosure or exit passageway, which compiles with the applicable requirements of Section 1005.3

1004.2.3.3 From Individual spaces All occupied portions of the building shall have access to not less than one exit or exit-access doorway. Access to not less than two exits, exit-access doorways or combination thereof shall be provided when the individual or cumulative occupant load served

listed in Table 10-A 4. Assembly areas, less-concentrated use Conference nooms Dining rooms Drinking establishments Exhibit nooms Gymnasiums Lounges

by a portion of the exit access is

equal to, or greater than, that

SECTION 502 - PREMISES IDENTIFICATION Approved numbers on addresses shall be provided for all new buildings in such a position as to be plainly visible and legible from the street or road fronting the

SECTION 503 - LOCATION ON PROPERTY 503.1 General. Buildings shall adjoin or have access to a public way or yand on not less than one side. Required yards shall be permanently maintained.

SECTION 504 - ALLOWABLE FLOOR AREAS 504.1 One-story Areas. The area of a one-story building shall not exceed the limits set forth in Table 5-B, except as provided in

TABLE 5-B-BASIC ALLOWABLE BUILDING HEIGHTS AND BASIC ALLOWABLE FLOOR AREA FOR BUILDINGS ONE STORY IN HENGHT AREA) 6000SF CONST TYPE V

SECTION 606 - TYPE V BUILDINGS 606. Definition. Type V buildings may be of any materials allowed by this code.

1103.1.2 Group A Occupancion A n bebivora ea eldiceosaa ed llade colonoguación 1103.2 Design and Construction. 1103.2.1 General/then accessibility is required by this chapter, it shall be designed and constructed in accondance with this chapter and CABO/ANSI Ali7.I. EXCEPTIONING B dwelling units shall comply with

1103.2.2 Accessible routilinen a building, or portion of a building, is required to be accessible, an accessible route shall be provided to all portions of the building, to accessible building entrances, connecting accessible pedestrian walkways and the public

EXCEPTION other than the offices of health-care providers, transportation facilities, airports and Group M Occupancies with five or more tenants, floors above and below accessible levels that have an ag gregate area of not more than 3,000 square feet (278.7 m need not be

served by an accessible route from an accessible When floor levels are required to be connected by an accessible route, and an Interior path of travel is provided between the levels, an interior accessible route between the levels shall be provided. When only one accessible noute is provided, it shall not pass through kitchens, storage nooms, tollet rooms, bathrooms, closets or other similar spaces. EXCEPTION single accessible route may pass through a kitchen or stonage room in a Type A

dwelling unit. When more than one building or facility is located on a site, accessible routes shall be provided connecting accessible buildings and accessible site facilities. EXCEPTIONS Group R, Division I appartment occupancies, when the slope of the finished grade between accessible buildings and facilities exceeds unit vertical in 12 units horizontal (8.33% slope), or when physical barriers of the site prevent the installation of an accessible route, a vehicular route with parking at each accessible building or facility may be provided in place of an accessible route 1103.2.3 Accessible entrandanch building and structure, and each separate tenancy within a building or structure, shall be provided with at least one entrance that complies with the accessible route provisions

of CABO/ANSI AIIT.I, At least 50 percent of

all entrances shall be accessible

APPLICABLE CODES UBC 1997 & FAMILY OF CODES

SCOPE OF WORK I. ADD PORCHES AND OUTDOOR GARDEN AREA 2. ADD PARKING FOR MIN 34 CARS (INCL 2 HANDICAP) 3. ADD UTILITIES (WATER, ELEC. PLUMBING)

4. ADD WARMING KITCHEN (NO COOKTOP, GRILL, FYER, OR 5. RENOVATE AND INSULATE EXISTING METAL BUILDING TO

MIN R-19 6.ADD TO EXISTING SEPTIC SYSTEM

7. ADD HEATING AND COOLING 8. ADD INTERIOR AND EXTERIOR LIGHTING SECTION 2905 - GENERAL Each building shall be provided with sanitary facilities, including provisions for accessibility in accordance with Chapter II. Plumbing fixtures shall be provided for the type of building occupancy with the minimum numbers as shown in Table A=29-A. The number of fixtures are the minimum required as shown in Table A-29-A and are assumed to be based on 50 percent male and 50 percent female. The occupant load factors shall be as shown in Table A-29-A. EXCEPTION: Where circumstances dictate that a

different ratio is needed, the adjustment shall be approved by the building official. Group A Conference rooms, dining rooms, drinking establishments, exhibit nooms, gymnasiums, lounges, stages and similar uses including restaurants classified as Group B Occupancies 3:76-125 MALE 3:76-125 FEMALE

2. Entrances to spaces not required to be

accessible route provisions of CABO/ANSI

accessible as provided for in Section 1103. When a building or facility has entrances that normally serve accessible parking facilities, transportation facilities, passenger loading zones, taxi stands, public streets and eldewalks, or accessible interior vertical access, at least one of the entrances serving each such function shall comply with the

The primary entrance to either a Type A or Type B dwelling unit mont etuon eldieeessa na na betasal ed ilahe public or common areas. The primary entrance to the dwelling

unit shall not be to a 1103.2.4 Signs. 1103.2.4.1 International symbol of accessibility. The following elements and spaces of

accessible facilities shall be identified by the international symbol of accessibility: I. Accessible parking spaces, except where the total parking spaces provided are five or 2. Accessible areas of refuge.

3. Accessible passenger loading zones 4. Accessible toilet and bathing facilities 1103.2.4.2 Other sign-naccessible building entrances, inaccessible public toilets and bathing facilities, and elevators not on an accessible route shall be provided with directional signage indicating the route to the nearest similar accessible element. in assembly areas, a sign notifying the general public of the availability of assistive listening systems shall be provided at ticket offices or similar locations Each door to an exit stairway shall have a tactile sign, including raised letters and Braille, stating EXIT and shall comply with

CABO/ANSI AIIT.I. At exits and elevations serving a required accessible space, but not providing an approved accessible means of egress, signs accessible means of egress. In addition to the international symbol of accessibility, each uni sex tollet on bathing room shall be identified

by a tactile sign includ ing raised letters and Braille. Directional signage shall be provided at all separate-sex toilet or bathing facilities indicating the location of the nearest unisex room.

SECTION 1104 - EGRESS AND AREAS OF REFUGE 1104.1 Means of Egress. 1104.1.1 General All required accessible spaces shall be provided with not less than one accessible means of egress. When more than one exit or exit-access door is required from any accessi ble space, each accessible portion of the

space shall be served by not less than two accessible means of egrees. The maximum travel distance from any accessible space to an area of refuge shall not exceed the travel distance set forth in Chapter 10. Each accessible means of earness shall be continuous from each required accessible occupied area to a public way and shall include accessible routes, ramps, exit stairs, elevators, horizontal exits or smoke barriers

1106.6.4 Toilet and bathing fixtures. Toilet and shall comply with either Section 1106.6.4.1 or 106.6.4.2. 1106.6.4.1 Option AEach fixture provided shall comply with this section EXCEPTION: A lawatory and a water closet located in a noom con taining only a lavatory and water closet, provided that the room does not

> contain the only lavatory or water closet on the accessible level of the 1106.6.4.1.1 LavatoryA 30-Inch-by-48-Inch (762 mm by 1219 mm) minimum clear floor-space positioned for panallel approach shall be provided

EXCEPTION: lavatory complying with Section 4.20 of CABO/ ANSI AIIT.I.

Clear floor space shall extend 15 inches (38) from each side of the lavatory center line.

1106.6.4.1.2 Water closethe lateral distance from the center line of the water closet to a bathtub, lavatory or wall shall be 18 inches (457 mm) minimum on one side and 15 inches (381 mm) minimum on the other side. Where the water closet is located adja cent to a wall, the lateral distance from the center line of the water

closet to the wall shall be 18 inches (457 mm) and 15 Inches (381 mm) minimum to a lavatory or bathtub. Where the water closet 1 not located adjacent to a wall, the water closet shall be located to allow for the installation of a gnab bar on the side with 18-inch (457

mm) cleanance. Clearance areas around the water closet shall com ply with one of the following: I. Parallel approach. I.I Fifty-six inches (1422 mm) minimum, measured from the wall behind the water closet. 1.2 Forty-eight inches (1219 mm) minimum, measured from a point 18 inches (457 mm) from the center

water closet on the side designated for the installation of 1.3 Vanities or lavatories located on the wall

behind the water closet are permitted to overlap the clear floor 2. Forward approach. 2.1 Sixty-six inches (1676 mm) minimum,

measured from

Installation of

grab bars.

the wall behind the water closet. 22 Forty-eight inches (1219 mm) minimum, measured from a point 18 inches (457 mm) from the center line of the water closet on the side designated for the installation of

anab bans. 2.3 Vanities or lavatories located on the wall behind the water closet are permitted to overlap the clear floor

3. Parallel or forward approach. 3.1 Fifty-six inches (1422 mm) minimum, measured from the wall behind the water closet. 3.2 Sixty inches (1524 mm) minimum, measured from a point 18 inches (457 mm) from the center line of the water closet on the side designated for the

GENERAL CODE NOTES

GENERAL INFO

· ZONING- AGRICULTURAL (CONDITIONAL USE PERMIT) O SINGLE STORY SLAB ON GRADE METAL FRAME BUILDING

GROSS AREA- 5065 SF CONST. TYPE- VN OCCUPANCY GROUP- A3

ASSEMBLY AREA 3,347 SF @ 16=223 KITCHEN AREA 462 SF@ 1200=3 TOTAL OCCUPANCY 226

• HEIGHT- 34 FT · USE- DINING, MEETINGS, RECEPTIONS

• PARKING 34 REQ'D 39 PROVIDED

Approved & Released Case No. CUP-12-9-5 Date: 5/31/9 Planner Initials: 500 # of Sheets 3 Director: Attribute revised to enclose porch and addition

RD

homes

<mark></mark> 항

59. Ob

785 w.gl

2 w E

DATE: 3/17/07 DRAWN BY: 5/01/07  $\triangle$ 

KVK

SHEET NO .:



CUP-16-00035: Conditional Use Permit for Stony Point Hall, a Reception and Banquet Hall, Located at 1514 N 600 Road





January 28, 2016

City of Lawrence Planning Commission City Hall 6 East 6<sup>th</sup> Street Lawrence, Kansas 66044 Attn: Sandra Day RECEIVED

FEB - 2 2016

City County Planning Office Lawrence, Kansas

Dear Ms. Day -

It is our understanding that Stony Point Hall, located 1514 N600th Road, Baldwin City, Kansas, is in the process of renewing their Conditional Use Permit for the business. As neighbors we would like to express our support for their continued operation and renewal of the C.U.P.

Best regards,

Bruce & Linda Martin 1538 N600th Road Baldwin City, Kansas January 28, 2016

City of Lawrence Planning Commission City Hall 6 East 6<sup>th</sup> Street Lawrence, Kansas 66044 Attn: Sandra Day RECEIVED

FEB - 2 2016

City County Planning Office Lawrence, Kansas

Dear Ms. Day -

It is our understanding that Stony Point Hall, located 1514 N600th Road, Baldwin City, Kansas, is in the process of renewing their Conditional Use Permit for the business. As neighbors we would like to express our support for their continued operation and renewal of the C.U.P.

Best regards,

Joseph M. Harvey 1521 N600th Road Baldwin City, Kansas

## CITY OF BALDWIN CITY

## Memo

To: Mary Miller, City/County Planner

From: Tina Rakes, Code Administrator

CC: Planning Commission File

Date: April 25, 2016

Re: Stony Point Hall CUP

On April 12, 2016 the Baldwin City Planning Commission met and reviewed the CUP application for Stony Point Hall.

By a unanimous vote, the Planning Commission voted in support of the continuation of the CUP, in addition, supports removing the requirement of ten year expiration for review.

The use is granted conditionally which allows for a review or investigation should complaints or noncompliance's become an issue.

1