

<b>Lawrence Historic Resources Commission</b>	<b>Item No. 5</b>
1040 Massachusetts Street and 1041 and east side 1000 Block New Hampshire Street	<b>DR-18-00503</b>
Demolition and New Construction	3-21-2019

<p><b>Applicant</b></p> <p><b>Standards for Review</b></p> <p>Chapter 22</p> <ul style="list-style-type: none"> <li>• Standard 1</li> <li>• Standard 2</li> <li>• Standard 9</li> <li>• Environs <ul style="list-style-type: none"> <li>○ 1047 Massachusetts Street (Watkins Bank Building)</li> <li>○ 1100 Massachusetts Street (Douglas County Courthouse) Area 1</li> <li>○ 1040 New Hampshire Street (English Lutheran Church) Area 1</li> </ul> </li> </ul> <p>Downtown Design Guidelines</p> <p><b>Associated Cases</b>  SUP-18-00502  SUP-19-00033</p>	<p><b>Request</b></p> <p>The applicant proposes to demolish the structures located at 1041 New Hampshire Street and 1040 Massachusetts Street and construct a new mixed use structure that will be located at 1040 Massachusetts Street and 1041 New Hampshire Street. The applicant also proposes to construct a new parking garage and two mixed use structures north of 1040 New Hampshire Street.</p> <p><b>Reason for Request</b></p> <p>The property is located in the environs of 1047 Massachusetts Street (Watkins Bank Building), 1100 Massachusetts Street (Douglas County Courthouse), and 1040 New Hampshire Street (English Lutheran Church).</p> <p>The property is also located in the Downtown Urban Conservation Overlay District.</p> <p><b>Staff Recommendation</b></p> <p><u>Certificate of Appropriateness</u>  Staff recommends the Commission find that the proposed project will encroach upon, damage, and destroy the environs of the listed properties and deny the Certificate of Appropriateness.</p> <p><u>Downtown Design Guidelines Review</u>  Staff recommends the Commission find that the proposed project does not meet the intent of the Downtown Design Guidelines.</p> <p><u>Special Use Permit</u>  Staff recommends the Commission comment on the revised Special Use Permits and forward a comment to the Planning Commission and City Commission that the ground floor residential uses as shown on the revised plans do not harm the environs of the listed properties. Because the ground floor units are not adjacent to the primary street (New Hampshire Street) and are only minimally visible from the primary street, the ground floor units as shown on the revised drawings meet the intent of the Downtown Design Guidelines.</p>
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## **Project Description**

The proposed project includes a mixed use structure that will cover the properties located at 1040 Massachusetts Street with a five story portion of the structure and 1041 New Hampshire Street with a six story portion of the structure. The footprint of the structure will be approximately 51,480 square feet at levels one and two. (A portion of this footprint is a parking area and service area of approximately 15,000 square feet.) The project will connect with structure over the alley at level three to create a mass of 54,520 square feet for levels three to five. (These square footage numbers are approximate and may differ from the applicant's gross square footage number because they are based on site plan dimensions for the mass of the structure.) The fourth and fifth floor on the Massachusetts Street elevation have two slightly recessed sections of approximately 5 feet. The fifth floor is recessed 20 feet from the west and south wall planes for the portion of the structure west of the alley.

### Massachusetts Street Elevation (West Elevation)

The primary façade faces Massachusetts Street with a modern aluminum three part storefront system with a cast stone bulkhead at the ground level. This western elevation is divided into five sections at the ground that continue vertically from two to five stories. Each section is a different color brick with the exception of the second to the last section to the south which is stucco or cast stone. Above each corresponding brick section, a stucco panel siding with reveal joints is proposed. The majority of the windows on the upper floors are taller than they are wide. Cornices are proposed on the top of each section and on the top of the fifth story.

### 11<sup>th</sup> Street Elevation (South Elevation)

The south elevation continues the brick corner element from the Massachusetts Street elevation and three part storefronts are proposed for the first three bays of the structure that correspond to this brick section. The second brick section with stucco above will have a garage door and utilitarian openings. This section will have a series of four panel details above the utilitarian doors. The alley is directly adjacent to this section of the structure. The alley remains open for the first two levels (32 feet) of the structure and the structure crosses over the alley for levels three through five-six. The eastern half of this elevation is divided into sections similar to the west elevation and has glazing sections similar to storefront design. All of these sections are brick on the first two levels and the upper levels vary with brick and stucco panels. The 6<sup>th</sup> floor cornice line extends the length of the elevation on this portion of the structure.

### New Hampshire Street Elevation (East Elevation)

The eastern elevation continues the brick five story section that is common to the south elevation. The sixth floor will be stucco. Two other divisions are located on this elevation. The center section is two stories of brick with stucco above and the north section is brick with stucco siding with reveal joints above. The ground level façade has glazing systems on the southern section similar to the systems located on the south elevation. In the center section, three larger systems have multiple panes in a grid form. The entrance to this side of the structure is located in the north section of the building. The glazed doors are flanked by large glazed panels.

### North Elevation

The north elevation is recessed approximately 10 feet from the northern property line and is divided into three sections. The alley divides the center of the elevation on the first three levels

with levels four through six crossing over the alley. The eastern section of the elevation is a continuation of the brick element from the east elevation. The remainder of the elevation is a stucco. Projecting balconies exist on this elevation.

All windows are proposed to be vinyl.

### Parking Garage

The project also proposes a 246 foot by 117 foot parking garage on the vacant lots north of 1040 New Hampshire Street. This three level parking structure will face New Hampshire Street with one access point at the north end of the structure. The west elevation mass is divided into six sections with changes in materials and some change in the height of the parapet that partially screens the third level of parking. Openings are spaced in a rhythm to give the indication of windows. The parking structure is adjacent to the proposed mixed use structure on the south and is set back 2 feet 7 inches from the eastern property line. The east elevation has sections of color stucco siding with reveal joints, and the north elevation has no fenestration. Materials include brick and stucco.

### Mixed use structures on the east side of New Hampshire Street

Two mixed use structures are proposed for the east side of New Hampshire Street. Both will have commercial storefronts at the ground level on the west façade. The structure to the north is approximately 20 feet wide and is adjacent to the parking garage. The structure to the south is approximately 43 feet wide. Both structures are approximately 114 feet deep and are 3 stories. The structures are separated by a 20 foot green space/courtyard. The building to the south is setback 20 feet from the south property line. The south elevation of this structure has pedestrian doors and large windows between the unit separations. Building materials are brick for the ground floors with stucco on the second and third levels. The corner of the building to the south has brick on the first two floors.

## **Project Review**

### Certificate of Appropriateness

Environs review for a Certificate of Appropriateness begins with a presumption that a Certificate of Appropriateness will be approved unless the proposed construction or demolition would significantly encroach on, damage, or destroy the landmark or historic district. The review focuses on the environment of the listed property and how the project interacts with the environment of the listed property. Section 22-505(B)(9) states that contemporary design should not be discouraged, but is should be compatible with the size, scale, color, material and character of the property.

In addition to review by Section 22-505, the proposed new construction should be reviewed using the design criteria in Section 22-506. These design criteria help to promote the standards set forth in Section 22-505. Specifically, Section 22-506(c)(2) provides review criteria for new construction. Identified criteria for new construction includes but is not limited to building scale, height, orientation, site coverage, spatial separation from other buildings, facade and window patterns, entrance and porch size and general design, materials, textures, color, architectural details, roof forms, emphasis on horizontal or vertical elements, walls, fences, landscaping, and other features deemed appropriate by the Commission. The design criteria in Section 22-506.1

emphasize review of height, massing, scale, directional expression, setbacks, sense of entry, platforms, roof shapes, rhythm of openings, and imitation of historic architecture.

The proposed project is located in the environs of 1047 Massachusetts Street (Watkins Bank Building), 1100 Massachusetts Street (Douglas County Courthouse), and 1040 New Hampshire Street (English Lutheran Church). Each of these listed properties has a environs definition. (See review criteria.) All three definitions identify the project site of the proposed structure that faces Massachusetts Street, 11<sup>th</sup> Street, and New Hampshire Street as a commercial form. However, while the environs of the English Lutheran Church recognize the area should reflect the development patterns established for the commercial areas of downtown, it also states that the area should create a transition area between the commercial area, the listed property and the residential area. The proposed garage structure is also in this proposed transition area.

The greatest challenge for this project, for the mixed use structures and the garage structure, for a Certificate of Appropriateness is the height, mass, and scale. These items are interrelated. The height and mass of the structures dictate that the scale will also be out of proportion with the environs of the listed properties.

No other structures of this size have ever existed in the environs of the listed properties. The Douglas County Courthouse has been the dominant structure for the area. The Watkins Bank Building is a dominant feature on Massachusetts Street because of its size and architectural style. The English Lutheran Church still maintains its significance as a transitional structure between the commercial area to the west and the residential neighborhood to the east. Structures in the environs of the three structures are one and two story commercial structures with the exception of a portion of the environs for the English Lutheran Church which are residential structures.

The overall design of the primary mixed use structure creates a mass that is a block that covers 9 original townsite lots. This block of mass is not characteristic of the environs of the listed properties. The large mass of the mixed use structure damages and encroaches upon the environs of the Watkins Bank Building and the Douglas County Courthouse. The large mass of the primary mixed use structure destroys the environs of the English Lutheran Church. There is no other mass located in the environs, and there was no mass of this size in the environs historically. While the Douglas County Courthouse is a large mass, it is a civic structure on a large lot and is meant to be the dominant structure of the area.

The height of the proposed primary mixed use structure damages and encroaches upon the Watkins Bank Building and the Douglas County Courthouse. The height destroys the environs of the English Lutheran Church. The reduction of height of the proposed primary mixed use structure from 6 stories to 5 stories on Massachusetts Street (the 5<sup>th</sup> story is recessed 20 feet from the Massachusetts Street wall plane and the 11<sup>th</sup> Street wall plane) does not mitigate the impact of the structure on the Watkins Bank Building and the Douglas County Courthouse. The overall height reduction is only 6 feet, 6 inches. The mass of the structure cannot be reduced due to the proposed program of the structure. It will encroach upon the Watkins Bank Building and the Douglas County Courthouse, and it will destroy the environs of the English Lutheran Church.

Like the mass and height, the scale of the proposed primary mixed use structure is not appropriate for the environs of the listed properties. Scale is the size of an object in relation to the size of another object. The size of the proposed primary mixed use structure is much larger than the commercial buildings on Massachusetts Street. The size of the primary mixed use structure is also

larger than the Douglas County Courthouse, the Watkins Bank Building, and the English Lutheran Church. The proposed size of the primary mixed use structure is intensified by the number of stories of the structure. The mixed use structure is not in scale with Douglas County Courthouse, the Watkins Bank Building, or the English Lutheran Church. Only a significant reduction in size would allow the primary mixed use structure to be compatible in scale with the listed properties.

### East Side New Hampshire Street Mixed Use Structures

The proposed mixed use structures on the east side of New Hampshire Street will not significantly encroach upon, damage, or destroy the Douglas County Courthouse or the Watkins Bank Building. The proposed mixed use structures will encroach upon the English Lutheran Church. However, the 3 story structures are set back 20 feet from the English Lutheran Church and this helps to mitigate the impact on the English Lutheran Church. The height of the structures in relationship to the English Lutheran Church is the primary concern for this portion of the development. The height of the structures also impacts the neighborhood to the east and how the environs of the English Lutheran Church relate to this area. There are other 3 story structures in the area. A transitional structure from the church to the buildings on the north would be more appropriate for the environs of the church. The scale, size, and mass of the proposed new structures does encroach upon the English Lutheran Church.

### Parking Garage

The parking garage structure damages the environs of the English Lutheran Church. The structure is too tall, too massive, and is out of scale with the church building. While the applicant has tried to mitigate some of the adverse effect of the parking garage on the English Lutheran Church with architectural treatments, this treatment does not mitigate the size, scale, and massing of the parking structure. However, the mixed use structures that separate the parking garage from the English Lutheran Church mitigates most of the direct impact of the structure on the English Lutheran Church. It is the size, mass, and the transition to the neighborhood that damages the environs of the English Lutheran Church.

The large mass and scale of the parking structure has no impact on the environs of the Watkins Bank Building or the Douglas County Courthouse.

Staff is of the opinion that the project, with the exception of the mixed use structures located on the east side of New Hampshire Street, as proposed, does not meet the intent of Chapter 22 and the environs definitions for the listed properties. The development project as a whole encroaches upon, damages, and destroys the environs of the Watkins Bank Building, the Douglas County Courthouse, and the English Lutheran Church.

### Downtown Design Guidelines

The following guidelines apply to the project

## **PART TWO – PRINCIPLES, STANDARDS, AND CRITERIA**

### **4. General Urban Design Principles**

4.1 Promote pedestrian-oriented urban forms.

The project partially meets this guideline. The storefront systems for the mixed use structures

on the east side of New Hampshire Street meets this guideline. The primary mixed use structure and a portion of the 11<sup>th</sup> Street elevation and the New Hampshire Street elevation appear to meet this guideline, but it is difficult to tell from the renderings if there is a solid material between the ground and mezzanine floors. The project is less successful at meeting this guideline on Massachusetts Street where the height of some of the storefronts is 21 feet.

4.2 Maximize connectivity and access.

The project partially meets this guideline for the site. The alley will remain open. Pedestrian access is provided on Massachusetts Street and New Hampshire Street. There is no pedestrian access to 11<sup>th</sup> Street. Appropriate access is provided to the garage and the mixed use structures on New Hampshire Street.

4.3 Encourage adaptive reuse and support the preservation of historically significant buildings.

Demolition is proposed for the buildings that exist on the site. A portion of the building on New Hampshire Street is historic. As a stand-alone structure it is significant. With the existing alterations and additions, it no longer retains architectural integrity. The existing building on Massachusetts Street is also historic. It no longer retains architectural integrity.

4.4 Encourage creativity, architectural diversity, and exceptional design.

Design refinement has partially achieved this guideline.

4.5 Encourage the integration of public art into public and private development.

No public art is currently proposed with the project.

4.6 Emphasize strong, mixed-use core activity development along Massachusetts Street and east/west streets.

The project meets this guideline for Massachusetts Street and a portion of New Hampshire Street. While the interior portions and the design of the storefronts on 11<sup>th</sup> Street and New Hampshire Street indicate activity, there is no direct access to the streets other than the one entrance to the ground level on New Hampshire Street. The mixed use structures on the east side of New Hampshire Street meet this guideline.

4.7 Maintain existing Downtown vehicular, streetscape, and pedestrian traffic patterns.

The project meets this guideline.

4.8 Promote safety and appeal through appropriate boundaries and transitions.

The project meets this guideline.

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## **5. Street and Landscape Elements**

5.1 Existing street patterns and layout shall be maintained. Closure of existing streets or alleyways shall not be permitted.

The project meets this guideline. However, the proposed project connects the two forms of the building across the alley on the third through fifth levels of the structure. This is not a pattern for the district and will change the visual separation between structures that is found in alleys in the district. This visual separation is important to keep the visual extension of the 117 foot lot development of the district and the original townsite development pattern.

5.2 Alleyways shall be maintained for vehicular and/or pedestrian traffic.

The project meets this guideline.

5.3 Accent paving shall be used at intersections and mid-block crossings.

This will be addressed with the site plan review.

5.4 Street trees and pedestrian-scale lighting shall be an integral part of the streetscape.

The project meets this guideline for street trees. Pedestrian-scale lighting will be addressed with the site plan.

5.5 Existing landscaping features such as raised planters and street trees shall be

maintained.

The project meets this guideline.

5.6 A curbed or non-curbed landscape bed shall separate the street and the pedestrian sidewalk.

The project meets this guideline as appropriate for 11<sup>th</sup> Street and New Hampshire Street.

5.7 Landscape strips shall be centered around required street trees.

The project meets this guideline as appropriate for 11<sup>th</sup> Street and New Hampshire Street.

5.8 An irrigation system shall be provided for all plant materials in the landscape bed.

This will be addressed in the site plan review.

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## **6. Block Elements**

6.1 Buildings should have retail and commercial uses at street level.

A portion of the project meets this guideline. The Massachusetts Street street level has retail and commercial on the ground floor. Amenities are located on the 11<sup>th</sup> Street and New Hampshire Street elevations, but there is no pedestrian access to the space, and the amenities are not a commercial or retail uses. Ground floor residential uses are part of the development. These ground floor residential uses do not face a primary street and are not visible for the primary mixed use structure. The residential units on the mixed use structures on the east side of New Hampshire Street will be minimally visible from New Hampshire Street. A special use permit will be required to allow residential uses on the street/ground level.

6.2 The main or primary entrance to buildings shall be oriented toward the primary street. For instance, if a building fronts Massachusetts Street, the main entrance shall face Massachusetts Street. Likewise, if a building faces 7th Street, the main entrance shall face 7th Street.

The project meets this guideline.

6.4 Buildings located on corner sites are considered anchor buildings and their building form should reflect this designation. Anchor buildings should be larger in scale and massing, and more ornate than adjacent infill buildings.

The Architectural Review Committee has worked with the applicant to better meet this guideline.

6.5 Buildings located on corner sites shall have a primary facade and a secondary facade. For instance, the building located at 8th and Vermont Street has a primary facade along 8th Street and a secondary facade along Vermont Street.

The project meets this guideline.

6.7 Buildings shall reflect the existing topography by providing "stepping down" of the facade. The "stepping down" of a facade helps maintain a sense of pedestrian scale.

The project meets this guideline.

6.8 Buildings fronting Massachusetts Street shall be constructed to zero front and side lot lines. Exceptions may be made for architectural features such as recessed or projecting entryways and balconies.

The project meets this guideline.

6.9 Buildings fronting Massachusetts Street should have commercial/retail components at the storefront level.

The project meets this guideline.

6.10 Buildings fronting Massachusetts Street should reflect the prevailing party-wall construction pattern, with adjacent buildings sharing a common party-wall.

The project meets this guideline.

6.11 Buildings fronting Vermont and New Hampshire Streets should be constructed to zero front and side lot lines.

The project partially meets this guideline. The proposed mixed use primary structure meets this guideline on Massachusetts Street, New Hampshire Street, and 11<sup>th</sup> Street. The structure is set back 10 feet on the north property line at the area of the structure that extends from the alley to New Hampshire Street. The parking garage meets this guideline. The mixed use structures on the east side of New Hampshire Street partially meet this guideline. A 20 foot setback is proposed for the south building from the south property line. The setback from this lot line creates an important greenspace separation from a National, State, and Lawrence registered property. This is important mitigation for the listed property and is a reasonable deviation from this guideline as noted for this purpose

6.13 Storefronts should respect the 25-foot or 50-foot development pattern ratios that prevail. Upper story facades may vary from this pattern but must unify the building as a whole.

The project partially meets this guideline. The Massachusetts Street elevation divisions vary from approximately 40 feet to 55 feet with none of the sections exact ratios of the development pattern. Other than the 40 foot section, the sections are close to the 50 foot pattern within approximately 5 feet. The upper story facades maintain this pattern for varying from two to five stories. Upper stories behind the varying facades are unified as a whole across the building and not vertically. The mixed use structures on the east side of New Hampshire Street do not meet the 25 foot or 50 foot pattern. One structure is approximately 43 feet and the other is approximately 21 feet.

The parking garage does not meet this guideline. However, the New Hampshire Street elevation is divided into sections to break up the mass of the structure. Several of the increments are approximately 30 feet.

6.14 Buildings shall maintain the pattern of multiple-story buildings throughout the downtown area. Existing one-story buildings should be considered for compatible redevelopment.

The project partially meets this guideline. The primary mixed use structure is multi-story, but the height of the structure is not within the predominant downtown pattern. The mixed use structures on the east side of New Hampshire Street, while taller than the typical two story historic building pattern, are within the range of the current structures in this area of downtown. Historically some three story structures existed on Massachusetts Street.

6.15 Buildings shall maintain a distinction between upper stories and the street-level facade.

The project meets this guideline.

6.16 For buildings that provide a separate upper-story entrance on the exterior facade, the street level use entrance should be the primary focus of the building facade while entrances for upper story uses shall be a secondary feature of the building facade.

The project meets this guideline.

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## **7. New Construction**

7.1 New infill buildings should be multistory in height, up to and within appropriate limits. The new structure is multistory in height, but is incompatible in height for the site. It is not compatible with other one and two story structures in the downtown district in this area. The Watkins Bank Building and the Douglas County Courthouse provide some context for a taller



structure, but the height of this structure exceeds these structures. The height of the structure is not within the appropriate limits of this area of downtown.

7.2 The height of a new building must be in acceptable proportion to its width, following patterns and proportions established by existing structures; likewise, story-to-story heights must be appropriate.

The proposed project does not meet this guideline. The structure is too tall and too long. Lower level façade details help to mitigate this, but the primary mixed use structure does not relate to the established proportion and patterns of existing structures in the downtown district. The ground floor to second floor of the primary mixed use structure on Massachusetts Street is 21 feet tall. This is not a story to story height found in the district. The mixed use structures on the east side of New Hampshire Street meet this guideline. The parking garage does not meet this guideline.

7.3 The height of new buildings and additions shall relate to the prevailing heights of nearby buildings. New construction that greatly varies in height from adjacent buildings shall not be permitted.

The proposed primary structure does not meet this guideline. It does not relate to the height of the Douglas County Courthouse or the Watkins Bank Building nor does it relate to the height of the one and two story structures in the district. The height of the structure on Massachusetts Street is approximately 67 feet (elevations do not have a scale and the sections do not show clearly the height to the top of the parapet) and the height on New Hampshire Street is 65 feet, 6 inches not including the terrace area. The height of the mixed use structures on the east side of New Hampshire Street meet this guideline for the district although they greatly vary from the English Lutheran Church. In addition, the garage and the mixed use structures on the east side of New Hampshire Street do not provide a transitional height to the residential area to the east.

7.4 Buildings on the interior of a continuous block face must be no more than one story taller than adjacent structures. Buildings on corners must be larger in scale than adjacent structures.

The project partially meets this guideline. The primary mixed use structure creates a continuous block face that is more than one story taller than adjacent structures. It is also larger in scale than adjacent structures. However, the corner is larger in scale than the adjacent structures. The height of the garage is similar to the structure to the north. The mixed use structures on the east side of New Hampshire Street are taller than the one story English Lutheran Church.

7.5 A building's overall proportion (ratio of height to width) must be consistent with existing historic structures.

The project does not meet this guideline. The mass and the overall proportion of the proposed primary mixed use structure and the parking garage structure are not consistent with existing historic structures. It is too wide and too tall for the district. The upper floors on the 11<sup>th</sup> street elevation and the New Hampshire Street elevation accentuate this by being one long continuous building.

7.6 Storefront- and/or display-style windows must be included in all retail developments at the street level on the primary facade.

The project partially meets this guideline. The Massachusetts Street elevation meets this guideline. While the 11<sup>th</sup> Street elevation and the New Hampshire Street elevation now have glazing systems, they are not storefront or display-style windows.

7.7 Corner buildings shall be a minimum of two-stories in height; taller buildings are encouraged at corner locations.

The project meets this guideline.

7.8 In cases of infill construction, the width of a building's façade should fill the entire available space.

The proposed project partially meets this guideline. The New Hampshire Street façade of the mixed use structure does not meet this guideline because of the approximately 10 foot setback from the north property line. A future structure will not be able to have a party wall and the result will be a gap in the streetscape on New Hampshire Street.

The parking garage meets this guideline.

The mixed use structures on the east side of New Hampshire Street do not meet this guideline. However, setback on the south property line of 20 feet will protect the adjacent National, State, and Lawrence register listed property. This is an important setback to mitigate the impact of the new structure on the listed property.

7.9 Facade widths for new buildings and additions should correspond with other buildings widths in the same block. On Massachusetts Street, widths are typically built to increments of 25 feet.

The project does not meet this guideline. While some of the building divisions help to achieve the appearance of this historic pattern (the divisions are not derivatives of 25 feet and 50 feet), the new structure is 250 feet long on Massachusetts Street. The façades on New Hampshire Street and 11<sup>th</sup> Street do not correspond with buildings in the block or in the district. The garage has a façade that is approximately 245 feet long and does not meet this guideline. Façade treatments help to mitigate this lack compliance. The mixed use structures on the east side of New Hampshire Street meet this guideline.

7.10 If a site is large, the mass of a new building's facade should be broken into a number of smaller bays to maintain a rhythm similar to surrounding buildings. This is particularly true for storefront level facade elements.

The project meets this guideline.

7.11 The size and proportion of window and door openings on a new building should be similar to other buildings in the block.

The project meets this guideline.

7.12 The ratio of window area to solid wall for new construction shall be similar to other buildings in the block.

The project meets this guideline.

7.13 New construction shall be built with party-wall construction methods. Exceptions will be made for detached governmental, civic, or institutional buildings and when required by residential egress requirements.

The project meets this guideline. While actual party-wall construction is not used, the new mixed use structure is placed immediately adjacent to the building to the north on Massachusetts Street along the north property line. The building to the north does not extend to the alley. The building does not use an adjacent wall system from the alley to New Hampshire Street on the north side of the mixed use building. (It is set back approximately 10 feet from the north property line partially to allow for residential building code separation and projecting balconies from the property line.) This will not allow for future development to have a party wall system; therefore a gap between buildings would be created by this setback.

7.14 The composition of an infill facade (that is, the scale, massing, and organization of its constituent parts) shall be similar to the composition of surrounding facades in the block.

The project does not meet this guideline. The height, mass, and scale of the structure are not consistent with surrounding facades in the block which are smaller in width and shorter in height.

7.15 The setback of a proposed building shall be consistent with the setback of adjacent buildings, and/or with nearby buildings fronting on the same street. Buildings must be placed with the express goal of continuing the overall building line of a streetscape.

The project partially meets this guideline. The setbacks of the primary mixed use structure are consistent with the zero setbacks of the district with the exception of the north side setback. This has been reduced to a 10 foot setback to accommodate ground floor dwellings. The garage meets this guideline. The mixed use structures that face New Hampshire Street partially meet this guideline. The front setback is consistent with the zero setbacks of the district. The side setbacks do not meet this guideline. The side setback on the southern building creates a buffer from the English Lutheran Church which is listed in the National, State, and Lawrence registers. This is an important setback for the preservation of the structure.

7.16 Rhythms that carry throughout a block (such as the patterns, placement, sizes, and spans of windows, doors, etc.) shall be sustained and incorporated into new facades.

The proposed project partially meets this guideline. The Massachusetts Street elevation storefront rhythms and patterns do not meet the pattern of the 25 and 50 foot building sections. The depth of the window openings should not recessed beyond a typical window opening for the district. (This is difficult to determine from the renderings.) The height of the storefront on the southwest corner of the primary mixed use structure is too tall to relate to the three part storefronts in the district. The transom area is significantly higher than the typical patterns of the district. The large divided glazing systems on the east elevation do not reflect the patterns in the district. The absence of additional entrances on the east elevation does not reflect the patterns of the district.

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## **10. Building Materials**

10.2 Building materials shall be traditional building materials consistent with the existing traditional building stock. Brick, stone, terra cotta, stucco, etc., shall be the primary facade materials for buildings fronting along Massachusetts Street.

The project meets this guideline.

10.3 While traditional building materials such as brick, stone, terra cotta, stucco, etc., are the preferred building materials for buildings fronting New Hampshire, Vermont Street, or numbered streets, consideration will be given to other materials.

The project meets this guideline.

10.4 Materials should be compatible between storefronts or street-level facades, and upper levels.

The project meets this guideline.

10.5 The secondary facades of buildings facing Massachusetts Street shall be composed of building materials consistent with the existing traditional building stock brick, stone, terra cotta, stucco, etc.

The project meets this guideline.

10.6 While permanent materials should be considered for party-wall construction, other materials which meet associated building and fire code requirements will be considered.

Building code materials will be addressed at the time of the building permit.

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## **11. Commercial Storefronts and Street Level Facades**

11.4 Buildings where multiple storefronts span a larger, wider façade should extend design compatibility from storefront to storefront.

The proposed project partially meets this guideline. There are glazing systems but no storefronts on the New Hampshire Street elevation.

11.5 Solid, non-traditional 'security-style' doors shall not be used in primary storefronts.

The proposed project meets this guideline.

11.6 Storefronts shall be designed to reflect the traditional pattern of containment. The storefront shall be bounded by the enframing storefront cornice and piers on the side and the sidewalk on the bottom.

The proposed project meets this guideline on Massachusetts Street if the elevations and not the renderings reflect the storefront systems. The project does not meet this guideline on New Hampshire Street. There are glazing patterns but no storefronts on New Hampshire Street.

11.8 Storefronts may be recessed or extended slightly (typically, 3 to 9 inches) to emphasize the feeling of containment and provide architectural variety.

The proposed project meets this guideline.

11.9 Storefronts should provide for a recessed entry.

The proposed project meets this guideline.

11.10 Storefronts shall be pedestrian oriented and consist primarily of transparent glass. Most storefronts in Downtown Lawrence contain 65% to 80% glass. Storefront designs shall reflect this glass to other building material ratio.

The proposed project meets this guideline.

11.11 Storefront designs should reflect the traditional three-part horizontal layer by providing for a transom area, display windows, and a bulkhead.

The proposed project may meet this guideline. The storefronts on Massachusetts Street and the mixed use structures on the east side of New Hampshire Street meet this guideline. The renderings do not clearly show the glazing systems on New Hampshire Street for the primary mixed use structure.

11.12 Storefront materials typically consist of wood, metal, steel, or brick. Renovations and/or new construction should reflect these materials. Use of unpainted rough cedar is an example of an inappropriate storefront material.

The proposed project meets this guideline.

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## **12. Upper Story Façades**

12.8 Upper-story facade elements should reflect existing window to wall surface ratios (typically 20% to 40% glass-to-wall).

The proposed project appears to meet this guideline.

12.9 Upper-story windows shall have only minimal tinting and should appear transparent from street level. Dark or reflective tinting is not allowed on upper story windows.

This was not addressed in the application and can be addressed with the final building material selection.

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## **13. Secondary and Rear Facades**

13.1 Secondary facades for corner buildings (i.e., facades that do not face the primary north/south street) shall contain secondary display windows and/or secondary storefronts.

The proposed project partially meets this guideline. A portion of the south elevation at the west end of the structure has storefronts. The eastern half of the structure has no storefront or secondary display windows.

13.2 Secondary facades shall contain upper story windows.

The proposed project meets this guideline.

13.3 Secondary facades should be balanced in design and shall provide a distinction between lower and upper sections of the building.

The proposed project meets this guideline.

13.4 Secondary facades should not directly compete with the primary facade.

The proposed project meets this guideline.

## **15. Architectural Details, Ornamentation, and Cornices**

15.7 New construction should provide for a variety of form, shape, and detailing in individual cornice lines.

The proposed partially meets this guideline. The cornice line for the 5<sup>th</sup> floor on has no variation in height or detail.

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## **16. Rooflines and Parapets**

16.2 Mechanical equipment should not be visible from the pedestrian level and should be screened through the use of parapet walls or projecting cornices.

A roof plan was not submitted with the application. The proposed project has the potential to meet this guideline due to setbacks and parapets.

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## **17. Awnings, Canopies, and Marquees**

17.2 Awnings should be of the traditional sloped configuration rather than curved, vaulted, or semi-spherical.

If the awnings shown on the renderings are shed roof fabric awnings, the project meets this guideline.

17.3 Canopies and awnings shall reflect the door and window openings or structural bays of the building. An awning, canopy, or marquee that spans continuously across more than one structural bay or storefront is not appropriate.

The proposed project meets this guideline.

17.4 Movable and stationary awnings should be made of cloth or other woven fabric such as canvas.

If the awnings shown on the renderings are shed roof fabric awnings, the project meets this guideline.

17.5 Metal awnings are generally not appropriate, but can be used in some instances if they are compatible with the historic character of the building.

The proposed project meets this guideline.

17.6 Vinyl or plastic awnings are not appropriate.

The proposed project meets this guideline.

17.7 While Downtown Lawrence once contained a number of pole- or post-supported awnings and canopies, this type of awning shall not be allowed because of pedestrian considerations.

The proposed project meets this guideline.

17.8 Back-lit or illuminated awnings or canopies are not permitted. These awnings, because of their high visibility, function more as signs than a means of providing comfort and protection for pedestrians.

Lighting of the awnings has not been addressed. The project has the potential to meet this guideline.

17.9 Awnings mounted at the storefront level should not extend into the second story of building facade.

The proposed project meets this guideline.

17.10 Upper-floor awnings should be mounted within window openings.

No upper-floor awnings are proposed.

17.11 Awnings shall be narrow in profile and shall not comprise residential design elements such as mansard roof forms or shake shingle cladding.

The proposed project meets this guideline.

17.12 Awnings and canopies should not project more than 6 feet from the lot line and must be suspended from, or affixed to, the building.

Proposed awning extension is not included on the plans. The project has the potential to meet this guideline.

17.13 If a building facade contains a transom area, awnings should be installed in such a way as not to obscure or damage it.

The proposed project meets this guideline.

17.14 Awning fabric or material design should be striped or solid color, using colors appropriate to the period of the storefront.

The proposed project meets this guideline.

17.15 Awnings should not obscure character-defining features such as arched transom windows, window hoods, cast-iron ornaments, etc.

The proposed project meets this guideline.

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## **18. Signs and Signage**

All signage will be reviewed with the sign permits. This application does not include the review of any signs. The applicant should note the guidelines for signage in the Downtown Design Guidelines.

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## **19. Lighting**

19.3 Lighting levels should provide adequate safety, but not detract from or overly emphasize the structure or property.

Lighting was not addressed in the application. The proposed project has the potential to meet this guideline. This will be addressed in the site plan.

19.4 Landscape lighting should be located and directed such that there is no infringement on adjacent properties.

Lighting was not addressed in the application. The proposed project has the potential to meet this guideline. This will be addressed in the site plan.

19.5 Exterior lighting in parking lots must be directed into the parking area itself, and not onto adjacent properties.

Lighting was not addressed in the application. The proposed project has the potential to meet this guideline. This will be addressed in the site plan.

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## **20. Parking**

20.1 Parking lots or structures shall not be permitted to front Massachusetts Street unless the ground floor contains storefront uses. Existing surface parking areas with frontage along Massachusetts Street shall be targeted for redevelopment with appropriate new

construction.

[The proposed project meets this guideline.](#)

20.2 Surface-parking lots fronting New Hampshire and Vermont Streets shall be contained within the interior of the block.

[The proposed project meets this guideline.](#)

20.3 Parking structures fronting New Hampshire and Vermont Streets should be contained within the interior of the block. Exceptions will be made for parking structures that have commercial, retail or office uses on the ground floor.

[The proposed project meets this guideline.](#)

20.8 The materials and design of screening for parking areas should be compatible with the adjacent structures and the district.

[The proposed project meets this guideline.](#)

20.11 Primary access to parking structures shall be taken from New Hampshire or Vermont Streets. The alleyway may be used for secondary access to the parking structure.

[The proposed project meets this guideline.](#)

20.12 Parking structures should be constructed to zero-lot lines. Parking structures adjacent to registered historic structures, such as the English Lutheran Church or the Lucy Hobbs Taylor Building, shall respect the historic property by providing a transition between the proposed structure and the historic property in the form of additional setback, green space and/or reductions in building height.

[The proposed project meets this guideline.](#)

20.13 The inclusion of retail, commercial or office uses is encouraged at the ground floor of parking structures.

[The proposed project does not meet this guideline. No other use is proposed for the ground floor of the parking structure.](#)

20.14 The primary facade of a parking structure should be designed to be compatible with neighboring buildings.

[The proposed project meets this guideline.](#)

20.15 Parking structure facades should contain building materials consistent with the existing traditional building stock: brick, stone, terra cotta, etc.

[The proposed project meet this guideline.](#)

20.16 Parking structures facades shall contain sufficient detail to break up the overall massing of the structure.

[The proposed project meets this guideline.](#)

20.17 Parking structures shall meet the provisions set forth in the Land Development Code of the City of Lawrence.

[This will be addressed with the site plan.](#)

20.18 Saw-tooth parking shall be maintained along Massachusetts Street. Otherwise, on-street parking shall be parallel in orientation. Special consideration will be given for existing angle parking in the 600 block of Vermont Street.

[The proposed project meets this guideline. However, staff is assessing opportunities to add on street parking in this area of downtown due to demand in this area.](#)

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## **22. Utilities and Energy Retrofit**

22.3 Locate roof ventilators, hardware, antennas, and solar collectors inconspicuously on roofs where they will not be visible from the street.

[This was not addressed in the application. The project has the potential to meet this guideline.](#)

22.4 Install mechanical equipment, including heating and air conditioning units, in areas and spaces requiring the least amount of alteration to the appearance and the materials of the building such as roofs. Screen the equipment from view.

[This was not addressed in the application. The project has the potential to meet this guideline.](#)

22.5 Locate exposed exterior pipes, raceways, wires, meters, conduit, and fuel tanks on rear elevations or along an inconspicuous side of the building. Screen them from view.

[This was not addressed in the application. The project has the potential to meet this guideline.](#)

22.6 Locate window air-conditioning units on rear or inconspicuous elevations whenever possible.

[Window air-conditioning units are not part of this project.](#)

22.7 It is not appropriate to install large antennas and satellite dishes on primary elevations. Small, digital satellite dishes must not be visible from a public street and must be screened from view.

[This was not addressed in the application. The project has the potential to meet this guideline.](#)

22.8 Aerial antennae shall be screened, concealed or camouflaged.

[This was not addressed in the application. The project has the potential to meet this guideline.](#)

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## **23. Demolition**

23.1 Any demolition request that is not related to public safety shall be accompanied by additional documentation indicating the existing condition of the building and the proposed, post-demolition use for the site. Documentation must include proposed elevations and an explanation of why it is not feasible to use the existing structure.

[The applicant has submitted building condition information. The program of the project does not allow for the rehabilitation or reuse of the historic and non-historic structures.](#)

23.2 Demolition permits shall be reviewed by the Historic Resources Commission and the City Commission.

[This project will be scheduled for the City Commission once the Historic Resources Commission has made determinations on the project.](#)

23.3 No structure within the Conservation Overlay District may be demolished or removed, in whole or in part, until after the application for a building and/or demolition permit has been reviewed by the Historic Resources Commission and approved by the City Commission.

[This project will be scheduled for the City Commission once the Historic Resources Commission has made determinations on the project.](#)

## **Staff Discussion**

The proposed project has some positive benefits for downtown. The primary structure is proposed to be a mixed use structure that will have both commercial and residential uses. This mixed use structure will provide new opportunities for new commercial entities and new residents for the downtown area. Significant residential density will be created with the project and this will provide more activity for the downtown area. Residential density is important to the vibrancy of the downtown area. The Massachusetts Street elevation will have street level commercial spaces that will extend the downtown commercial patterns of commercial storefronts to 11<sup>th</sup> Street. The extension of these storefronts will activate this portion of the east side of the 1000 block of Massachusetts Street. The west side of the 1000 block of New Hampshire Street will also have increased activity created by the residents of the building. The project will also develop several



lots that are currently vacant or underutilized. By introducing building forms to this area, gaps in the streetscape will be removed. Downtown is the community center of Lawrence and this mixed use project will encourage development that reinforces this community center by adding commercial uses and residential density.

The applicant has worked diligently with the Architectural Review Committee (ARC) to refine the design of the project to meet more of the Downtown Design Guidelines. The architectural details of the project have been adjusted to meet previous review comments and input from the ARC. Significant changes to the project include the redesign of the storefront systems on Massachusetts Street, the redesign of the 11<sup>th</sup> Street façade, the removal of the subterranean portion of the project on New Hampshire Street, the redesign of the New Hampshire Street façade at the street level, and appropriate changes to the proposed building materials. The length of the parking garage has also been reduced.

While significant changes have been made to the project, staff and the ARC continue to have concerns about the primary mixed use building.

The guidelines promote retail or commercial space at the street level in order to activate the street experience. The proposed project does not have commercial uses at the ground level on the east half of 11<sup>th</sup> Street or on New Hampshire Street. Amenity spaces are proposed for 11<sup>th</sup> Street and the New Hampshire Street elevation. While this will create some activity at the ground level and provide some interaction between the sidewalk and the building, the lack of pedestrian access and commercial uses at the ground level do not totally activate the space.

The overall height of the primary mixed use structure is not appropriate for this location. While the number of building stories has been reduced to four stories on the Massachusetts Street elevation with a fifth floor setback from the front plane of the building, the overall height of the structure has only decreased by 6 feet 6 inches. The New Hampshire Street portion of the structure is six stories and is 65 feet, 6 inches tall. The Land Development Code allows for a maximum height of 90 feet in the Downtown Commercial District. However, footnote 7 of Section 20-505 (b) notes that this height is "Subject to location and height limitations in Downtown Design Guidelines and Downtown Design Standards." The railing for the rooftop amenities on the 11<sup>th</sup> Street and New Hampshire Street portion of the building has been recessed to mitigate the impact of what may appear as additional height on the New Hampshire Street elevation. Floor to ceiling heights at 11 feet could be reduced to 10 feet to reduce the overall height of the structure. One floor is currently 10 feet.

The connection of the two building forms across the alley is also a challenge. This upper closure of the alley demarcation and division of buildings to express the original townsite plat of 117 foot lots is not recommended on the plane of the south level façade. The connection of the building has been recessed 15 feet to create a void on the south elevation above the alley and this helps to mitigate the loss of the open space and to read better that an alley exists at this location. However, this connection is not a part of the downtown character. If allowed, this portion of the building should be recessed a minimum of 50 feet which is the width of two original townsite lots.

The roofline of the structure on the fifth floor on Massachusetts Street and the sixth floors of 11<sup>th</sup> Street and New Hampshire Street has no variation in design or change in height. These rooflines with corresponding cornice lines create a monolithic structure that expresses the mass of the building. Parapet heights should be varied to reflect the patterns of the downtown and architectural details can be adjusted to achieve this.

The depth of the window recesses on some of the renderings appear to be too deep. This should be revised to a common pattern found in the district of simple window recesses and as shown in some of the renderings.

Vinyl windows should not be used. Vinyl is not a compatible material for the environs of the listed properties and is not appropriate for the district.

The proposed project meets several of the Downtown Design Guidelines. However, there are significant guidelines that the project does not meet. The primary mixed use structure is not compatible with the size, scale, massing, and height of the downtown district.

### Special Use Permit

Chapter 22 (Section 22-505(B)(12)) allows the Historic Resources Commission to comment on Special Use Permits (SUP). The Land Development Code requires a SUP for ground level residential uses in the Downtown Commercial District (20-517(3)(ii)). The applicant proposes ground level residential units on the north elevation of the primary mixed use structure, in the interior of the primary mixed use structure, and on the ground floor of the mixed use structures on the east side of New Hampshire Street.

The Downtown Design Guidelines do not promote residential uses on the ground floor. Ground level residential units are not a pattern found in the downtown district; however, residential uses that do not face public rights of way have no impact on the street level façades and are supportable if balanced with an appropriate amount of non-residential uses on the ground level.

The proposed residential units for the mixed use structures on the east side of New Hampshire Street are visible from the street right of way. However, they do not face the street and they help to create a transition from the commercial area that faces the street to the residential area to the east and the English Lutheran Church to the south.

Staff recommends the Commission comment on the SUP requests that, as proposed, the SUP requests meet the intent of the Downtown Design Guidelines. The interior residential units have no impact on the visual patterns of the district. The residential units in the mixed use structures on the east side of New Hampshire Street do not face the street and create a transitional pattern to the neighborhood uses to the east.

### **STANDARDS FOR REVIEW**

#### Chapter 22 of the Code of the City of Lawrence (Certificate of Appropriateness)

(A) An application for a certificate of appropriateness shall be evaluated on a sliding scale, depending upon the designation of the building, structure, site or object in question. The certificate shall be evaluated on the following criteria:

- 1. Most careful scrutiny and consideration shall be given to applications for designated landmarks;*
- 2. Slightly less scrutiny shall be applied to properties designated as key contributory within an historic district;*
- 3. Properties designated contributory or non-contributory within an historic district shall receive a decreasing scale of evaluation upon application;*

*4. The least stringent evaluation is applied to noncontributory properties and the environs area of a landmark or historic district. There shall be a presumption that a certificate of appropriateness shall be approved in this category unless the proposed construction or demolition would significantly encroach on, damage, or destroy the landmark or historic district. If the Commission denies a certificate of appropriateness in this category, and the owner(s) appeals to the City Commission, the burden to affirm the denial shall be upon the commission, the City or other interested persons.*

(B) In considering an application for a certificate of appropriateness, the Commission shall be guided by the following general standards in addition to any design criteria in this Chapter and in the ordinance designating the landmark or historic district:

*1. Every reasonable effort shall be made to provide a compatible use for a property that requires minimal alteration of the building, structure, site or object and its environment, or to use a property for its originally intended purpose;*

*2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural feature should be avoided when possible;*

*3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance shall be discouraged;*

*4. Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected;*

*5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure or site shall be treated with sensitivity;*

*6. Deteriorated architectural features shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new materials should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplication of features, substantiated by historic, physical, or pictorial evidence, rather than on conceptual designs or the availability of different architectural elements from other buildings or structures;*

*7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building material shall not be undertaken;*

*8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, and project;*

*9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alteration and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environs.*

Design Criteria 22-506

(C) In considering any application for a certificate of appropriateness and in reviewing and commenting on matters before other bodies, the Commission shall consider the standards for review listed above and the following:

(1) Alterations. Specific design criteria for exterior alterations of landmarks and key contributing and contributing properties within historic districts shall be based on the U.S. Secretary of the Interior's Standards for Rehabilitation, as published in Section 36, Code of Federal Regulation, Part 67, and as revised from time to time; and by further reference to such specific design criteria as the Commission may require for the designation of the landmark or historic district.

(2) New Construction and Additions to Existing Buildings.

(a) The design for new construction shall be sensitive to and take into account the special characteristics that the district is established to protect. Such consideration may include, but should not be limited to, building scale, height, orientation, site coverage, spatial separation from other buildings, facade and window patterns, entrance and porch size and general design, materials, textures, color, architectural details, roof forms, emphasis on horizontal or vertical elements, walls, fences, landscaping, and other features deemed appropriate by the Commission.

(b) New buildings need not duplicate older styles of architecture but must be compatible with the architecture within the district. Styles of architecture will be controlled only to insure that their exterior design, materials, and color are in harmony with neighboring structures.

(c) The following specific design criteria shall be used to review all applications for certificates of appropriateness for new construction or additions to existing buildings (See 22-506.1).

(3) Demolition, Relocation, and Land Surface Change.

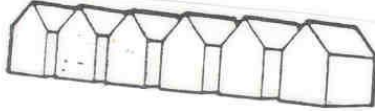
(a) Demolition in whole or in part of individual landmarks or any key contributory or contributory structure within an historic district shall not be permitted. Exceptions are allowed only if a structure has been substantially damaged through fire or deterioration, and if there is reasonable proof that it would not be economically or physically feasible to rehabilitate. Other exceptions may be allowed if a structure does not possess the integrity, originality, craftsmanship, age or historical significance to merit preservation. However, demolition of past additions which have not gained historical significance and which have disguised or sheathed original elements or facades are encouraged, as long as the intention is to restore such elements or facades. Demolition under this chapter shall be subject to Ordinance 5810, as amended.

(b) Structures should not be removed from their original site. Exceptions will be allowed only if there is substantial evidence that it would not be practical or economical to utilize the building on its present site. If a structure lies in the path of a public improvement project, involving the city and if the building is worthy of preservation by virtue of its integrity, originality, craftsmanship, age, or historical significance relocation may be considered as an alternative.

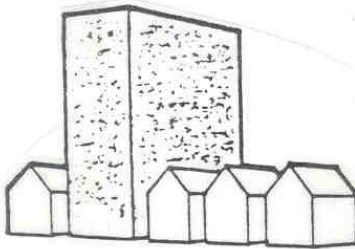
- (c) Major and substantial change of land surface within the boundaries of a landmark or historic district should not be permitted. Exceptions will be allowed only if there is substantial evidence that the change would not be detrimental to the historical and architectural character of surrounding structures or landscaping.

### HEIGHT

**Consider** - Relating the overall height of new construction to that of adjacent structures. As a general rule, construct new buildings to a height roughly equal to the average height of existing buildings from the historic period on and across the street.

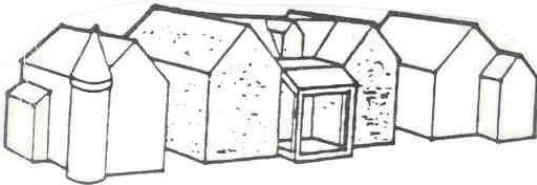


**Avoid** - New construction that greatly varies in height (too high or too low) from older buildings in the vicinity.

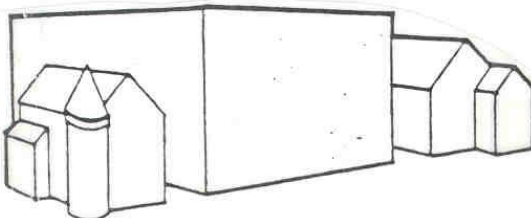


### SCALE

**Consider** - Relating the size and proportions of new structures to the scale of adjacent buildings. Although much larger than its neighbors in terms of square footage, the building shown maintains the same scale and rhythm as the existing buildings.

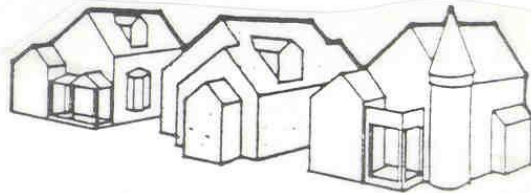


**Avoid** - Buildings that in height, width, or massing violate the existing scale of the area. The new building shown here disrupts the scale and rhythm of the streetscape, although it might be appropriate in a different location.

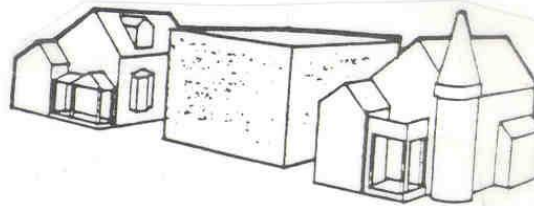


### MASSING

**Consider** - Breaking up uninteresting boxlike forms into smaller, varied masses such as are common on most buildings from the historic period. Variety of form and massing are elements essential to the character of the streetscape in historic districts.



**Avoid** - Single, monolithic forms that are not relieved by variations in massing. Boxlike facades and forms are intrusive when placed in a streetscape of older buildings that have varied massing and facade articulation.



### DIRECTIONAL EXPRESSION

**Consider** - Relating the vertical, horizontal, or nondirectional facade character of new buildings to the predominant directional expression of nearby buildings. Horizontal buildings can be made to relate to the more vertical adjacent structures by breaking the facade into smaller masses that conform to the primary expression of the streetscape.



**Avoid** - Strongly horizontal or vertical facade expressions unless compatible with the character of structures in the immediate area. The new building shown does not relate well to either its neighbors or to the rhythm of the streetscape because of its unbroken horizontal facade.



### SETBACK

**Consider** - Maintaining the historic facade lines of streetscapes by locating front walls of new buildings in the same plane as the facades of adjacent buildings. If exceptions are made, buildings should be set back into the lot rather than closer to the street. If existing setbacks vary, new buildings should conform to historic siting patterns.

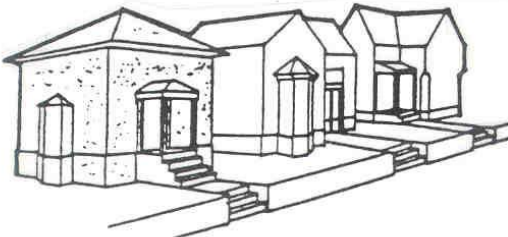


**Avoid** - Violating the existing setback pattern by placing new buildings in front of or behind the historic facade line. Avoid placing buildings at odd angles to the street, unless in an area where diverse sitting already exists, even if proper setback is maintained.



### PLATFORMS

**Consider** - The use of a raised platform is a traditional siting characteristic of some of the older buildings in Lawrence. This visual "pedestal" is created by retaining walls and stepped entries.

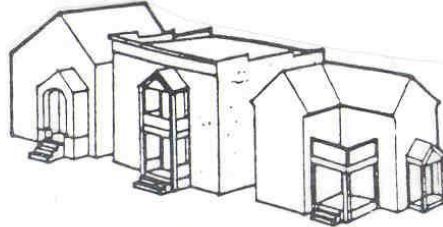


**Avoid** - Bringing walls of new buildings straight out of the ground without a sense of platform, i.e., without maintaining the same entry height as neighboring buildings. Such structures seem squat, visually incomplete, and do not relate well to their elevated neighbors. Also avoid leveling off terraced slopes or removing retained platforms.

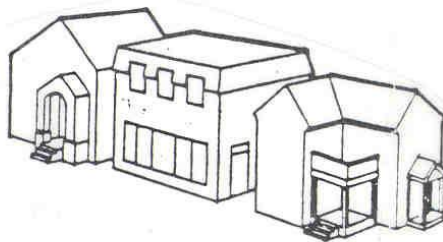


### SENSE OF ENTRY

**Consider** - Articulating the main entrances to the building with covered porches, porticos, and other pronounced architectural forms. Entries were historically raised a few steps above the grade of the property and were a prominent visual feature of the street elevation of the building.

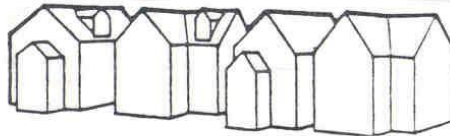


**Avoid** - Facades with no strong sense of entry. Side entries or entries not defined by a porch or similar transitional element result in an incompatible "flat" first-floor facade.

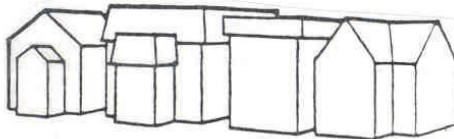


### ROOF SHAPES

**Consider** - Relating the roof forms of the new buildings to those found in the area. Although not entirely necessary, duplication of the existing or traditional roof shapes, pitches, and materials on new construction is one way of making new structures more visually compatible.



**Avoid** - Introducing roof shapes, pitches, or materials not traditionally used in the area.

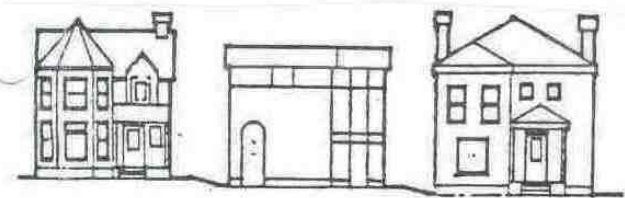


### **RHYTHM OF OPENINGS**

Consider - Respecting the recurrent alternation of wall areas with door and window elements in the facade. Also consider the width-to-height ratio of bays in the facade. The placement of openings with respect to the facade's overall composition, symmetry, or balanced asymmetry should be carefully studied.



Avoid - Introducing incompatible facade patterns that upset the rhythm of openings established in surrounding structures. Glass walls and window and door shapes and locations shown in the example are disrespectful to the adjoining buildings.

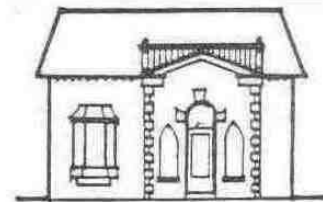


### **IMITATIONS**

Consider - Accurate restoration of or visually compatible additions to existing buildings, and, for new construction, contemporary architecture that well represents our own time, yet enhances the nature and character of the historic district.



Avoid - Replicating or imitating the styles, motifs, or details of older periods. Such attempts are rarely successful and, even if done well, present a confusing picture of the true character of the historical area.



## Environs

The Environs for Douglas County Courthouse (1100 Massachusetts Street)

The Environs for 1100 Massachusetts Street, the Douglas County Courthouse, are divided into two areas and the proposed project is located in Area One.

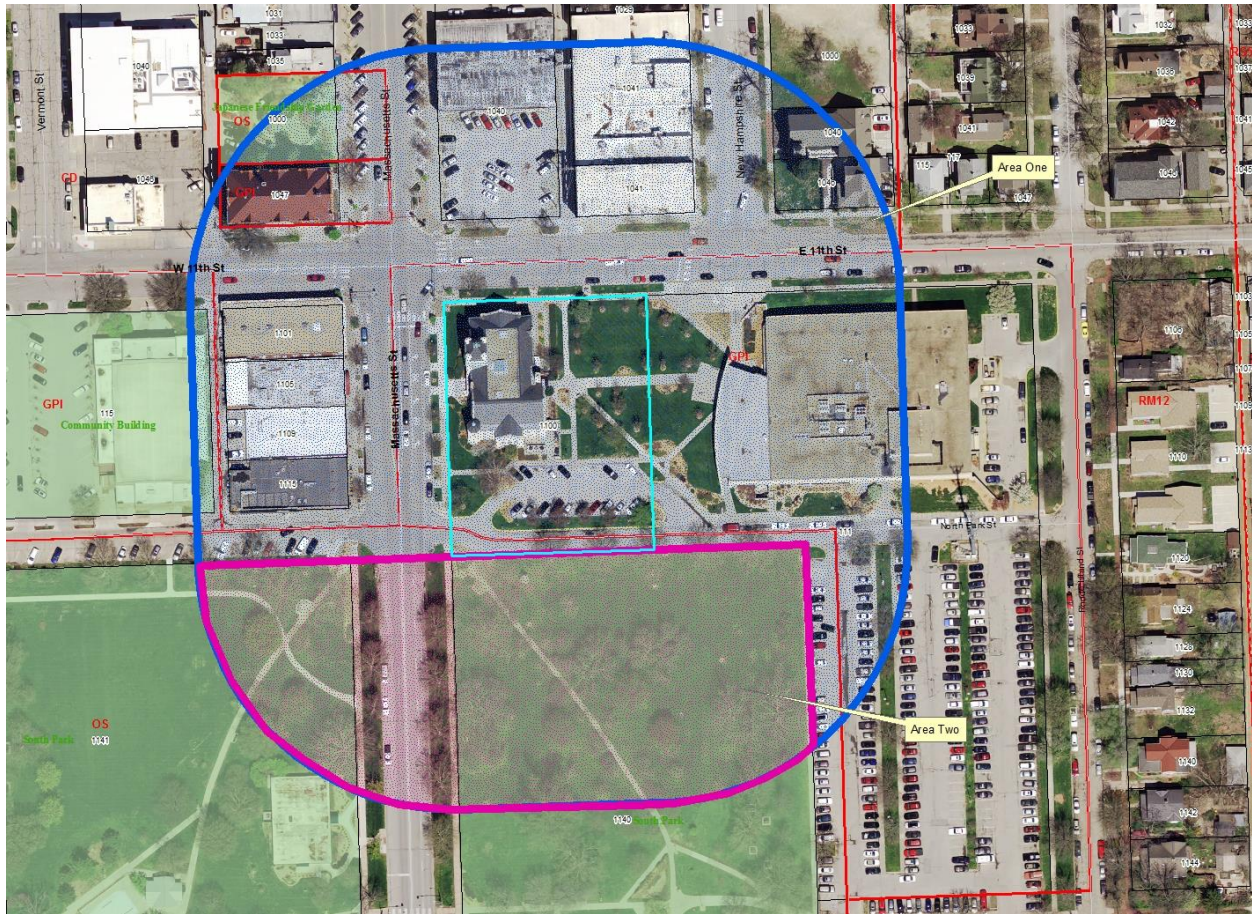
### Area One

The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505. Design elements that are important are scale, massing, site placement, height, directional expression, percentage of building coverage to site, setback, roof shapes, rhythm of openings and sense of entry. Maintaining views to the listed property and maintaining the rhythm and pattern in the environs are the primary focus of review. Views to the clock tower should be preserved.

Minor projects will be approved administratively by the Historic Resources Administrator. The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505.



Major projects (demolition of main structures, new infill construction, significant additions, etc.) will be reviewed by the Historic Resources Commission. The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505.



The Environs for 1040 New Hampshire Street, the English Lutheran Church, are divided into two areas and the proposed project is located in Area 1.

Area 1: The area no longer reflects the residential character of the historic environs. The majority of the area has developed in commercial patterns. It is anticipated with downtown commercial zoning that this area will continue to develop with commercial uses. However, while the area should reflect the development patterns established for the commercial areas of downtown, the area should create a transition area between the commercial area, the listed property and the residential area.

The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505. Design elements that are important are scale, massing, site placement, height, directional expression, percentage of building coverage to site, setback, roof shapes, rhythm of openings and sense of entry. Demolition of properties shall be approved if a compatible

structure is proposed on the site. Maintaining views to the listed property and maintaining the rhythm and pattern in the environs are the primary focus of review.

Minor projects will be approved administratively by the Historic Resources Administrator. The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505.

Major projects (demolition of main structures, new infill construction, significant additions, etc.) will be reviewed by the Historic Resources Commission. The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505.



The Environs for 1047 Massachusetts Street, the Watkins Bank Building, is reviewed in the following manner.

The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505. Design elements that are important are scale, massing, site placement, height, directional expression, percentage of building coverage to site, setback, roof shapes, rhythm of openings and sense of entry. Maintaining views to the listed property and maintaining the rhythm and pattern in the environs are the primary focus of review.

Minor projects will be approved administratively by the Historic Resources Administrator. The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505.

Major projects (demolition of main structures, new infill construction, significant additions, etc.) will be reviewed by the Historic Resources Commission. The proposed alteration or construction should meet the intent of the Criteria set forth in 22-505.



### Downtown Design Guidelines

The City Commission and the Historic Resources Commission have adopted a set of *Downtown Design Guidelines* (2009) to review projects within the Downtown Urban Conservation Overlay District. The guidelines that relate to this project are:

## **PART TWO – PRINCIPLES, STANDARDS, AND CRITERIA**

### **4. General Urban Design Principles**

- 4.1 Promote pedestrian-oriented urban forms.
- 4.2 Maximize connectivity and access.
- 4.3 Encourage adaptive reuse and support the preservation of historically significant buildings.
- 4.4 Encourage creativity, architectural diversity, and exceptional design.
- 4.5 Encourage the integration of public art into public and private development.

- 4.6 Emphasize strong, mixed-use core activity development along Massachusetts Street and east/west streets.
- 4.7 Maintain existing Downtown vehicular, streetscape, and pedestrian traffic patterns.
- 4.8 Promote safety and appeal through appropriate boundaries and transitions.

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## **5. Street and Landscape Elements**

- 5.1 Existing street patterns and layout shall be maintained. Closure of existing streets or alleyways shall not be permitted.
- 5.2 Alleyways shall be maintained for vehicular and/or pedestrian traffic.
- 5.3 Accent paving shall be used at intersections and mid-block crossings.
- 5.4 Street trees and pedestrian-scale lighting shall be an integral part of the streetscape.
- 5.5 Existing landscaping features such as raised planters and street trees shall be maintained.
- 5.6 A curbed or non-curbed landscape bed shall separate the street and the pedestrian sidewalk.
- 5.7 Landscape strips shall be centered around required street trees.
- 5.8 An irrigation system shall be provided for all plant materials in the landscape bed.
- 5.9 An agreement to participate in a benefit district for streetscape improvements may be executed in lieu of immediate improvements.

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## **6. Block Elements**

- 6.1 Buildings should have retail and commercial uses at street level.
- 6.2 The main or primary entrance to buildings shall be oriented toward the primary street. For instance, if a building fronts Massachusetts Street, the main entrance shall face Massachusetts Street. Likewise, if a building faces 7th Street, the main entrance shall face 7th Street.
- 6.3 Corner buildings may have entrance doors that face the intersection or both streets.
- 6.4 Buildings located on corner sites are considered anchor buildings and their building form should reflect this designation. Anchor buildings should be larger in scale and massing, and more ornate than adjacent infill buildings.
- 6.5 Buildings located on corner sites shall have a primary facade and a secondary facade. For instance, the building located at 8th and Vermont Street has a primary facade along 8th Street and a secondary facade along Vermont Street.
- 6.6 Buildings that are adjacent to parking areas or structures shall have the main or primary entrance on the street-facing elevation. A secondary or minor entrance may be provided on the parking lot elevation.
- 6.7 Buildings shall reflect the existing topography by providing "stepping down" of the facade. The "stepping down" of a facade helps maintain a sense of pedestrian scale.
- 6.8 Buildings fronting Massachusetts Street shall be constructed to zero front and side lot lines. Exceptions may be made for architectural features such as recessed or projecting entryways and balconies.
- 6.9 Buildings fronting Massachusetts Street should have commercial/retail components at the storefront level.
- 6.10 Buildings fronting Massachusetts Street should reflect the prevailing party-wall construction pattern, with adjacent buildings sharing a common party-wall.
- 6.11 Buildings fronting Vermont and New Hampshire Streets should be constructed to zero front and side lot lines.
- 6.12 Buildings fronting numbered streets (7th, 8th, etc.) shall be constructed to zero front and side lot lines. Exceptions may be made for architectural features such as recessed or projecting entries and balconies. Exceptions may be made for detached building forms which are traditionally set back from the property line.
- 6.13 Storefronts should respect the 25-foot or 50-foot development pattern ratios that prevail. Upper story facades may vary from this pattern but must unify the building as a whole.
- 6.14 Buildings shall maintain the pattern of multiple-story buildings throughout the downtown area. Existing one-story buildings should be considered for compatible redevelopment.

- 6.15 Buildings shall maintain a distinction between upper stories and the street-level facade.
- 6.16 For buildings that provide a separate upper-story entrance on the exterior facade, the street level use entrance should be the primary focus of the building facade while entrances for upper story uses shall be a secondary feature of the building facade.

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## **7. New Construction**

- 7.1 New infill buildings should be multistory in height, up to and within appropriate limits.
- 7.2 The height of a new building must be in acceptable proportion to its width, following patterns and proportions established by existing structures; likewise, story-to-story heights must be appropriate.
- 7.3 The height of new buildings and additions shall relate to the prevailing heights of nearby buildings. New construction that greatly varies in height from adjacent buildings shall not be permitted.
- 7.4 Buildings on the interior of a continuous block face must be no more than one story taller than adjacent structures. Buildings on corners must be larger in scale than adjacent structures.
- 7.5 A building's overall proportion (ratio of height to width) must be consistent with existing historic structures.
- 7.6 Storefront- and/or display-style windows must be included in all retail developments at the street level on the primary facade.
- 7.7 Corner buildings shall be a minimum of two-stories in height; taller buildings are encouraged at corner locations. No building shall be higher than five stories.
- 7.8 In cases of infill construction, the width of a building's facade should fill the entire available space.
- 7.9 Facade widths for new buildings and additions should correspond with other buildings widths in the same block. On Massachusetts Street, widths are typically built to increments of 25 feet.
- 7.10 If a site is large, the mass of a new building's facade should be broken into a number of smaller bays to maintain a rhythm similar to surrounding buildings. This is particularly true for storefront level facade elements.
- 7.11 The size and proportion of window and door openings on a new building should be similar to other buildings in the block.
- 7.12 The ratio of window area to solid wall for new construction shall be similar to other buildings in the block.
- 7.13 New construction shall be built with party-wall construction methods. Exceptions will be made for detached governmental, civic, or institutional buildings and when required by residential egress requirements.
- 7.14 The composition of an infill facade (that is, the scale, massing, and organization of its constituent parts) shall be similar to the composition of surrounding facades in the block.
- 7.15 The setback of a proposed building shall be consistent with the setback of adjacent buildings, and/or with nearby buildings fronting on the same street. Buildings must be placed with the express goal of continuing the overall building line of a streetscape.
- 7.16 Rhythms that carry throughout a block (such as the patterns, placement, sizes, and spans of windows, doors, etc.) shall be sustained and incorporated into new facades.

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## **8. Additions**

- 8.1 The size and the scale of additions shall not visually overpower historic buildings.
- 8.2 Additions should be situated and constructed so that the original building's form remains recognizable by differentiation.
- 8.3 In the case of historic buildings, additions should be designed so that they may be removed in the future without significant damage or loss of historic materials.
- 8.4 An addition's impact on a site in terms of loss of important landscape features shall be considered.
- 8.5 Additions should be located as inconspicuously as possible, to the rear or on the least character-defining elevation of historic buildings.

- 8.6 Additions shall be constructed so that there is the least possible loss of historic fabric.
  - 8.7 Character-defining features of historic buildings should not be obscured, damaged, or destroyed.
  - 8.8 The size and the scale of additions shall not visually overpower historic buildings.
  - 8.9 Additions should be designed so that they are compatible with the existing building in mass, materials, color, proportion, and spacing of windows and doors. Design motifs should be taken from the existing building, or compatible, contemporary designs introduced.
  - 8.10 It is not appropriate to construct an addition that is taller than the original building.
  - 8.11 Additions that echo the style of the original structure, and additions that introduce compatible contemporary elements, are both acceptable.
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### **9. Detached Building Forms**

- 9.1 Detached building forms should have a high degree of architectural embellishment.
  - 9.2 Detached building forms should be set back from the property line. The setback, typically three to five feet, serves as a green space between the building and the sidewalk.
  - 9.3 The overall design of a detached building should be carried throughout all of the facades; for detached buildings, primary and secondary facades may be appropriately differentiated by changes in material and by degrees of architectural embellishment.
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### **10. Building Materials**

- 10.1 Original building materials, whether located on primary, secondary, or rear facades, shall be retained to every extent possible. If the original material has been overlaid by such coverings as aluminum or stucco, these alterations should be removed and the original material maintained, repaired or replaced with similar materials.
  - 10.2 Building materials shall be traditional building materials consistent with the existing traditional building stock. Brick, stone, terra cotta, stucco, etc., shall be the primary facade materials for buildings fronting along Massachusetts Street.
  - 10.3 While traditional building materials such as brick, stone, terra cotta, stucco, etc., are the preferred building materials for buildings fronting New Hampshire, Vermont Street, or numbered streets, consideration will be given to other materials.
  - 10.4 Materials should be compatible between storefronts or street-level facades, and upper levels.
  - 10.5 The secondary facades of buildings facing Massachusetts Street shall be composed of building materials consistent with the existing traditional building stock brick, stone, terra cotta, stucco, etc.
  - 10.6 While permanent materials should be considered for party-wall construction, other materials which meet associated building and fire code requirements will be considered.
  - 10.7 Masonry walls, except in rare instances, shall not be clad with stucco, artificial stone, parging, or EIFS (Exterior Insulation and Finish Systems). This includes publicly visible party-walls constructed of brick or rubble limestone.
  - 10.8 Existing unpainted masonry walls, except in rare instances, shall not be painted. This includes publicly visible party-walls.
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### **11. Commercial Storefronts and Street Level Facades**

- 11.1 Historic storefronts and storefront features such as entryways, display windows, doors, transoms, bulkheads, sign friezes or cornices, pilasters, etc. shall be retained to every extent possible.
- 11.2 Removal of historic materials and/or architectural features shall be avoided.
- 11.3 Removal of non-historic storefront elements and facade treatments, including metal cladding, stuccos, or other non-historic features that have been introduced at later times, is encouraged during renovation.
- 11.4 Buildings where multiple storefronts span a larger, wider façade should extend design

- compatibility from storefront to storefront.
- 11.5 Solid, non-traditional 'security-style' doors shall not be used in primary storefronts.
  - 11.6 Storefronts shall be designed to reflect the traditional pattern of containment. The storefront shall be bounded by the enframing storefront cornice and piers on the side and the sidewalk on the bottom.
  - 11.7 Remodeled storefronts shall be designed to fit within the original opening.
  - 11.8 Storefronts may be recessed or extended slightly (typically, 3 to 9 inches) to emphasize the feeling of containment and provide architectural variety.
  - 11.9 Storefronts should provide for a recessed entry.
  - 11.10 Storefronts shall be pedestrian oriented and consist primarily of transparent glass. Most storefronts in Downtown Lawrence contain 65% to 80% glass. Storefront designs shall reflect this glass to other building material ratio.
  - 11.11 Storefront designs should reflect the traditional three-part horizontal layer by providing for a transom area, display windows, and a bulkhead.
  - 11.12 Storefront materials typically consist of wood, metal, steel, or brick. Renovations and/or new construction should reflect these materials. Use of unpainted rough cedar is an example of an inappropriate storefront material.
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## **12. Upper Story Facades**

- 12.1 Retain and preserve historic facades and facade details such as corbelled brick, string or belt courses, cornices, windows, terra cotta, and stonework.
  - 12.2 If replacement of a deteriorated facade feature is necessary, replace only the deteriorated element to match the original in size, scale, proportion, material, texture and detail.
  - 12.3 Removal of non-historic storefront elements and facade treatments, including metal cladding, stuccos, or other non-historic features that have been introduced at later times, is encouraged during renovation.
  - 12.4 Maintain the pattern created by upper-story windows and their vertical-horizontal alignment.
  - 12.5 Existing windows on conforming upper facades shall not be eliminated or decreased in size or shape.
  - 12.6 Window replacement in existing buildings should replicate original window patterns and finishes.
  - 12.7 New window openings that disrupt the existing balance on facades visible from the street shall not be introduced.
  - 12.8 Upper-story facade elements should reflect existing window to wall surface ratios (typically 20% to 40% glass-to-wall).
  - 12.9 Upper-story windows shall have only minimal tinting and should appear transparent from street level. Dark or reflective tinting is not allowed on upper story windows.
  - 12.10 Metal screens or bars shall not cover upper-story window openings.
  - 12.11 Upper windows on non-visible party-walls may be filled in with compatible material only if the treatment is reversible.
  - 12.12 Alteration of existing upper story elements should not significantly alter the proportion and/or balance of the existing building.
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## **13. Secondary and Rear Facades**

- 13.1 Secondary facades for corner buildings (i.e., facades that do not face the primary north/south street) shall contain secondary display windows and/or secondary storefronts.
- 13.2 Secondary facades shall contain upper story windows.
- 13.3 Secondary facades should be balanced in design and shall provide a distinction between lower and upper sections of the building.
- 13.4 Secondary facades should not directly compete with the primary facade.
- 13.5 While rear facades on older structures are more symmetrical in their design, more recent

- buildings may provide a more utilitarian design approach. In most cases, rear entrances and openings should occupy a relatively small part of the rear facade and exhibit more of a utilitarian character.
- 13.6 Rear facades should be maintained and developed to support the overall appearance of Downtown Lawrence.
  - 13.7 Rear entrances on buildings that face public-parking areas are encouraged.
  - 13.8 Rear facades should provide sufficient architectural features, such as window and door openings, to articulate the building facade.
  - 13.9 Rear facades should not compete with the primary facade of the structure.
  - 13.10 Pedestrian-level window and door openings may be covered with security features such as screens or bars. However, every effort should be made to maintain the visual appearance on rear facades which face surface parking areas.
  - 13.11 Maintain the pattern created by upper-story windows and their alignment on rear facades that face surface-parking areas.
  - 13.12 Existing windows on rear facades should not be eliminated or decreased in size or shape.
  - 13.13 While not encouraged, upper windows on rear facades that do not face parking areas may be closed in a reversible manner with compatible material.

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#### **14. Office, Institutional, Religious, Utility, and Other Non-Retail Buildings**

- 14.1 Non-retail buildings fronting Massachusetts Street shall contain storefronts or a storefront appearance at the street level. Storefronts shall be pedestrian oriented, include fundamental storefront elements such as recessed entry and/or division into bays, and consist primarily of transparent glass. Most storefronts in Downtown Lawrence contain 65% to 80% glass. Storefront designs shall reflect this prevailing, glass-to-other-building-material ratio.
- 14.2 Non-retail buildings fronting numbered-streets, Vermont Street, or New Hampshire Street shall be pedestrian oriented. A ratio of 40% to 60% window area to wall surface shall be provided on street level facades at these locations.
- 14.3 The existing form of non-retail category buildings such as churches, industrial facilities, warehouses, etc. shall not be obscured or so transformed as to render the original form unrecognizable.

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#### **15. Architectural Details, Ornamentation, and Cornices**

- 15.1 Existing ornamentation such as curved glass displays, terra cotta detailing, cast iron pilasters, transoms, ornamental brickwork, brackets, decorative cornices, quoins, columns, etc. shall be maintained.
- 15.2 Retain and preserve any architectural features and details that are character-defining elements of downtown structures, such as cornices, columns, brickwork, stringcourses, quoins, etc.
- 15.3 If original detailing is presently covered, exposing and restoring the features is encouraged.
- 15.4 Existing identifying details such as inset or engraved building names, markings, dates, etc. should be preserved.
- 15.5 Cornices shall not be removed unless such removal is required as a result of a determination by the Chief Building Inspector that a cornice poses a safety concern.
- 15.6 Original cornices should be repaired rather than replaced. If replacement is necessary, the new cornice should reflect the original in design.
- 15.7 New construction should provide for a variety of form, shape, and detailing in individual cornice lines.



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## **16. Rooflines and Parapets**

- 16.1 The original roofline and parapet features of existing buildings shall be retained.
- 16.2 Mechanical equipment should not be visible from the pedestrian level and should be screened through the use of parapet walls or projecting cornices.

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## **17. Awnings, Canopies, and Marquees**

*Movable fabric awning:* A retractable, roof-like shelter constructed to permit being rolled, collapsed, or folded back to the facade of the building.

*Stationary fabric awning:* Awnings of stationary design, typically with metal frames, and covered with fabric.

*Fixed awning:* A rigid, roof-like shelter sloping and draining away from the building.

*Canopy:* A rigid, flat roof-like structure, sloping and draining towards the building.

*Marquee:* A large rigid, flat roof-like structure erected only over the entrance to a building.

- 17.1 All effort should be made to retain and restore existing canopies, awnings, and marquees.
- 17.2 Awnings should be of the traditional sloped configuration rather than curved, vaulted, or semi-spherical.
- 17.3 Canopies and awnings shall reflect the door and window openings or structural bays of the building. An awning, canopy, or marquee that spans continuously across more than one structural bay or storefront is not appropriate.
- 17.4 Movable and stationary awnings should be made of cloth or other woven fabric such as canvas.
- 17.5 Metal awnings are generally not appropriate, but can be used in some instances if they are compatible with the historic character of the building.
- 17.6 Vinyl or plastic awnings are not appropriate.
- 17.7 While Downtown Lawrence once contained a number of pole- or post-supported awnings and canopies, this type of awning shall not be allowed because of pedestrian considerations.
- 17.8 Back-lit or illuminated awnings or canopies are not permitted. These awnings, because of their high visibility, function more as signs than a means of providing comfort and protection for pedestrians.
- 17.9 Awnings mounted at the storefront level should not extend into the second story of building facade.
- 17.10 Upper-floor awnings should be mounted within window openings.
- 17.11 Awnings shall be narrow in profile and shall not comprise residential design elements such as mansard roof forms or shake shingle cladding.
- 17.12 Awnings and canopies should not project more than 6 feet from the lot line and must be suspended from, or affixed to, the building.
- 17.13 If a building facade contains a transom area, awnings should be installed in such a way as not to obscure or damage it.
- 17.14 Awning fabric or material design should be striped or solid color, using colors appropriate to the period of the storefront.
- 17.15 Awnings should not obscure character-defining features such as arched transom windows, window hoods, cast-iron ornaments, etc.
- 17.16 Awning units should be mounted or affixed in such a way as to avoid damage to the building's distinctive architectural features.

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## **18. Signs and Signage**

- 18.1 All signs shall conform to the Sign Code provisions in Article 7 of the Code of the City of Lawrence.
- 18.2 The primary focus of signs in Downtown Lawrence shall be pedestrian-oriented in size, scale, and placement, and shall not be designed primarily to attract the notice of vehicular traffic.
- 18.3 'Permanent' sign types that are allowed are: awning, hanging, projecting, wall, and window signs. Freestanding signs will not be considered except in cases where a detached building is set back from the street.
- 18.4 Temporary (i.e., sidewalk, easel-mounted or freestanding) signage is permitted as long as it is in compliance with other City codes, and does not obscure significant streetscape vistas or architectural features.
- 18.5 In no case shall a temporary sign substitute as a permanent sign.
- 18.6 Wall signs must be flush-mounted on flat surfaces and done in such a way that does not destroy or conceal architectural features or details.
- 18.7 Signs identifying the name of a building, the date of construction, or other historical information should be composed of materials similar to the building, or of bronze or brass. These building identification signs should be affixed flat against the building and should not obscure architectural details; they may be incorporated into the overall facade design or mounted below a storefront cornice.
- 18.8 Signs should be subordinate to the building's facade. The size and scale of the sign shall be in proportion to the size and scale of the street level facade
- 18.9 Storefront signs should not extend past the storefront upper cornice line. Storefront signs are typically located in the transom area and shall not extend into the storefront opening.
- 18.10 Signs for multiple storefronts within the same building should align with each other.
- 18.11 Existing signs of particular historic or architectural merit, such as the Varsity or Granada theater marquees, should be preserved. Signs of such merit shall be determined at the discretion of the Historic Resources Commission.
- 18.12 Wall-mounted signs on friezes, lintels, spandrels, and fasciae over storefront windows must be of an appropriate size and fit within these surfaces. A rule of thumb is to allow twenty (20) square inches of sign area for every one foot of linear facade width.
- 18.13 A hanging sign installed under an awning or canopy should be a maximum of 50% of the awning or canopy's width and should be perpendicular to the building's facade.
- 18.14 A projecting sign shall provide a minimum clearance of eight feet between the sidewalk surface and the bottom of the sign.
- 18.15 A projecting sign shall be no more than fifteen square feet in size with a maximum sign height of five feet.
- 18.16 A larger projecting sign should be mounted higher, and centered on the facade or positioned at the corner of a building.
- 18.17 A projecting sign shall in no case project beyond 1/2 of the sidewalk width.
- 18.18 A window sign should cover no more than approximately thirty percent (30%) of the total window area.
- 18.19 Sign brackets and hardware should be compatible with the building and installed in a workman-like manner.
- 18.20 The light for a sign should be an indirect source, such as shielded, external lamps. Consideration may be given to internal or halo illumination.
- 18.21 Whether they are wall-mounted, suspended, affixed to awnings, or projecting, signs must be placed in locations that do not obscure any historic architectural features of the building or obstruct any views or vistas of historic downtown.
- 18.22 Signs illuminated from within are generally not appropriate. Lighting for externally illuminated signs must be simple and unobtrusive and must not obscure the content of the sign or the building facade.

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## **19. Lighting**

- 19.1 New exterior lighting should be compatible with the historic nature of the structure, the property, and the district. Compatibility of exterior lighting and lighting fixtures is assessed in terms of design, material, use, size, scale, color, and brightness.
- 19.2 Lighting fixtures should be installed to be as unobtrusive as possible; they should be installed such that they will not damage or conceal any historic architectural features.
- 19.3 Lighting levels should provide adequate safety, but not detract from or overly emphasize the structure or property.
- 19.4 Landscape lighting should be located and directed such that there is no infringement on adjacent properties.
- 19.5 Exterior lighting in parking lots must be directed into the parking area itself, and not onto adjacent properties.

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## **20. Parking**

- 20.1 Parking lots or structures shall not be permitted to front Massachusetts Street unless the ground floor contains storefront uses. Existing surface parking areas with frontage along Massachusetts Street shall be targeted for redevelopment with appropriate new construction.
- 20.2 Surface-parking lots fronting New Hampshire and Vermont Streets shall be contained within the interior of the block.
- 20.3 Parking structures fronting New Hampshire and Vermont Streets should be contained within the interior of the block. Exceptions will be made for parking structures that have commercial, retail or office uses on the ground floor.
- 20.4 Existing corner surface-parking areas fronting New Hampshire and Vermont Streets should be targeted for appropriate infill.
- 20.5 Primary access to surface parking areas shall be taken from New Hampshire or Vermont Streets. The alleyway may be used for secondary access to the parking area.
- 20.6 While there is no established setback for surface parking areas, there should be a clear separation between vehicular parking areas and pedestrian areas. Pedestrian-scale landscaping, fencing, and/or walls shall be provided to separate the parking area from the pedestrian sidewalk.
- 20.7 Pedestrian-scale lighting shall be provided in surface parking areas.
- 20.8 The materials and design of screening for parking areas should be compatible with the adjacent structures and the district.
- 20.9 While some interior landscaping shall be provided, surface-parking areas shall not be required to meet landscaping provisions set forth in the Land Development Code of the City of Lawrence.
- 20.10 Surface-parking areas shall meet the provisions set forth in the Land Development Code of the City of Lawrence.
- 20.11 Primary access to parking structures shall be taken from New Hampshire or Vermont Streets. The alleyway may be used for secondary access to the parking structure.
- 20.12 Parking structures should be constructed to zero-lot lines. Parking structures adjacent to registered historic structures, such as the English Lutheran Church or the Lucy Hobbs Taylor Building, shall respect the historic property by providing a transition between the proposed structure and the historic property in the form of additional setback, green space and/or reductions in building height.
- 20.13 The inclusion of retail, commercial or office uses is encouraged at the ground floor of parking structures.
- 20.14 The primary facade of a parking structure should be designed to be compatible with neighboring buildings.
- 20.15 Parking structure facades should contain building materials consistent with the existing traditional building stock: brick, stone, terra cotta, etc.
- 20.16 Parking structures facades shall contain sufficient detail to break up the overall massing of the

- structure.
- 20.17 Parking structures shall meet the provisions set forth in the Land Development Code of the City of Lawrence.
- 20.18 Saw-tooth parking shall be maintained along Massachusetts Street. Otherwise, on-street parking shall be parallel in orientation. Special consideration will be given for existing angle parking in the 600 block of Vermont Street.
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## **21. Safety and Accessibility Features**

- 21.1 Review proposed new uses for existing historic buildings to determine if meeting related building code and accessibility requirements is feasible without compromising the historic character of the building and the site.
- 21.2 Meet health and safety code and accessibility requirements in ways that do not diminish the historic character, features, materials, and details of the building.
- 21.3 Where possible, locate fire exits, stairs, landings, and decks on rear or inconspicuous side elevations where they will not be visible from the street.
- 21.4 It is not appropriate to introduce new fire doors if they would diminish the original design of the building or damage historic materials and features. Keep new fire doors as compatible as possible with existing doors in proportion, location, size, and detail.
- 21.5 When introducing reversible features to assist people with disabilities, take care that historic materials or features are not damaged.
- 21.6 If possible, comply with accessibility requirements through portable or temporary, rather than permanent, ramps.
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## **22. Utilities and Energy Retrofit**

- 22.1 Retain and preserve the inherent energy-conservation features of a historic building, such as operable windows, transoms, awnings, and shutters.
- 22.2 Generally, it is not appropriate to replace operable windows or transoms with fixed glass.
- 22.3 Locate roof ventilators, hardware, antennas, and solar collectors inconspicuously on roofs where they will not be visible from the street.
- 22.4 Install mechanical equipment, including heating and air conditioning units, in areas and spaces requiring the least amount of alteration to the appearance and the materials of the building such as roofs. Screen the equipment from view.
- 22.5 Locate exposed exterior pipes, raceways, wires, meters, conduit, and fuel tanks on rear elevations or along an inconspicuous side of the building. Screen them from view.
- 22.6 Locate window air-conditioning units on rear or inconspicuous elevations whenever possible.
- 22.7 It is not appropriate to install large antennas and satellite dishes on primary elevations. Small, digital satellite dishes must not be visible from a public street and must be screened from view.
- 22.8 Aerial antennae shall be screened, concealed or camouflaged.
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## **23. Demolition**

- 23.1 Any demolition request that is not related to public safety shall be accompanied by additional documentation indicating the existing condition of the building and the proposed, post-demolition use for the site. Documentation must include proposed elevations and an explanation of why it is not feasible to use the existing structure.
- 23.2 Demolition permits shall be reviewed by the Historic Resources Commission and the City Commission.

- 23.3 No structure within the Conservation Overlay District may be demolished or removed, in whole or in part, until after the application for a building and/or demolition permit has been reviewed by the Historic Resources Commission and approved by the City Council.

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## **PART THREE – SIDEWALK DINING AND HOSPITALITY AREAS**

### **2. General**

- 2.1 The sidewalk dining/hospitality area must be contiguous with any side of a building wherein a hospitality establishment is located.
- 2.2 No portion of a Sidewalk Dining/Hospitality area shall be used for any purpose other than dining/hospitality and circulation therein.
- 2.3 The Sidewalk Dining/Hospitality area shall not occupy more than thirty (30) percent of the total area of the primary hospitality operation. The Sidewalk Dining/Hospitality area shall be considered an auxiliary use to the interior hospitality establishment area.
- 2.4 A hospitality establishment may be permitted to operate only one sidewalk area, and each sidewalk area shall be confined to a single location on the sidewalk;
- 2.5 The Sidewalk Dining/Hospitality area shall not extend past the hospitality establishment's storefront.
- 2.6 A Sidewalk Dining/Hospitality area shall not utilize any public amenities such as benches, seats, tables, or trash receptacles.

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### **3. Usable Sidewalk Dining/Hospitality Area**

- 3.1 The proposed Sidewalk Dining/Hospitality area shall maintain a minimum of six (6) feet or half (1/2) the width, whichever is greater, unobstructed sidewalk between the food service establishment dining area and all obstructions, measured from the outer edge of the dining area to the curb side obstacle. Consideration may be given to providing a minimum of five (5) feet width on local streets such as 7th, 8th, etc;
- 3.2 The proposed Sidewalk Dining/Hospitality area shall be a minimum of five (5) feet from the street corner areas as defined by building lines extended to the street;
- 3.3 The Sidewalk Dining/Hospitality area shall be delineated by an approved railing that is clearly visible to pedestrians. The railing shall take into consideration ADA requirements;
- 3.4 Unless the main access to the hospitality establishment is provided through the Sidewalk Dining/Hospitality area, the Sidewalk Dining/Hospitality area should only be accessible through the interior of the establishment. Provisions should be made to provide adequate fire safety egress.

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### **4. Elevation and Other Design Considerations**

- 4.1 The Sidewalk Dining/Hospitality area shall be the same elevation as the adjoining sidewalk. Paint, artificial turf, carpets, platforms, or any other surface cover or treatment of any kind are prohibited from being placed upon the designated area at any time;
- 4.2 In order to maintain maximum visual access, the height of the railing shall not be higher than forty-five (45") inches. Thirty-six inches is recommended. Consideration of height variations may be given to properties with significant grade changes;
- 4.3 Railings shall be designed in a manner to make them removable. The City shall have the authority to require any Sidewalk Dining/Hospitality area to suspend operation and clear such area, or to move or modify the location or operation of the Sidewalk Dining/Hospitality area,

- for such things as, but not limited to: Any permitted special event; Any street, sidewalk, or utility construction; Any emergency situations; The protection of the health, safety, and welfare of the public.
- 4.4 Railings and barriers shall be constructed of ornamental metal, wrought iron or other compatible materials and shall reflect the character of the area.
  - 4.5 The railing shall not be attached to the building.
  - 4.6 The Sidewalk Dining/Hospitality area shall be unenclosed and shall be open to the sky with the exception that it may be covered with a retractable awning or fixed awning, which is compatible with the surrounding area; and
  - 4.7 In order to maintain maximum visual access, Sidewalk Dining/Hospitality area furnishings may not include outdoor heaters.

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## **5. Operation of Sidewalk Dining/Hospitality Area**

- 5.1 Sidewalk areas shall not operate when the hospitality establishment is closed;
- 5.2 Advertising signage shall not be permitted in the Sidewalk Dining/Hospitality area except for the name of the establishment on chairs or tables as approved by the City;
- 5.3 All amenities including railings, barriers, chairs, and tables shall be maintained in good condition;
- 5.4 No blockage of building entrances or exits shall be permitted in the Sidewalk Dining/Hospitality area;
- 5.5 The establishment operating the Sidewalk Dining/Hospitality area shall be responsible for trash removal and must maintain the following areas in a clean and litter-free manner during the hours of operation: The Sidewalk Dining/Hospitality area; The area from the front building façade to the curb line; Five (5) feet along the adjacent sidewalk to both sides of the Sidewalk Dining/Hospitality area.
- 5.6 Trash and refuse storage for the Sidewalk Dining/Hospitality area shall not be permitted within the Sidewalk Dining/Hospitality area or on adjacent sidewalk areas, and the permittee shall remove all trash and litter as it accumulates.
- 5.7 Per City Code, Section 9-902, outdoor dining areas must be managed to prevent stormwater pollution:
- 5.8 Food waste, trash, cigarettes and other solid wastes must be contained, collected and disposed of properly. Collection must be frequent enough to prevent wastes carried offsite by wind or stormwater runoff.
- 5.9 Wastewater from the cleaning of pavement, buildings, furniture or other outdoor surfaces must be collected and discharged to the sanitary sewer system or other approved wastewater treatment process. Installation of a nearby sanitary sewer cleanout is recommended for this purpose.
- 5.10 Pavement and furnishings must be cleaned frequently enough to prevent contamination of stormwater runoff.
- 5.11 Failure to comply may result in fines, stop work orders or disconnection of utility service.
- 5.12 Food preparation is not permitted within Sidewalk Dining/Hospitality areas. Sidewalk Dining/Hospitality areas must comply with all applicable state and local health codes.

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## **6. Site Plan Submittal Requirements**

In addition to the requirements identified in Chapter 20-1305 of the Code of the City of Lawrence, the following items shall be included.

- 6.1 The site plan shall show the relationship to the interior establishment and Sidewalk Dining/Hospitality area.
- 6.2 The site plan shall state the square footage of the interior establishment and Sidewalk Dining/Hospitality area.
- 6.3 The site plan shall state the occupancy of the interior establishment and Sidewalk Dining/Hospitality area.
- 6.4 The site plan shall show the composition of railings and barriers proposed for the delineation of the Sidewalk Dining/Hospitality area. The plans shall detail the style, design, and color of the proposed railings or barriers.
- 6.5 The site plan shall provide a detail of the sidewalk attachment method.
- 6.6 The site plan shall provide information regarding the type and style of awning (if applicable) and the type, design, and materials of the proposed chairs and tables.
- 6.7 The site plan shall contain such other conditions and restrictions on the use of the Sidewalk Dining/Hospitality area.