

DEVELOPMENT SUMMARY

IMPERVIOUS SURFACE SUMMARY			
EXISTING SUMMARY	AREA (SQ. FT.)	SUMMARY AFTER PROJECT COMPLETION	AREA (SQ. FT.)
Existing Building	5,252	Proposed Buildings	5,252
Existing Pavement	3,556	Proposed Pavement	3,836
Existing Impervious	8,808	Proposed Impervious	9,088
Existing Pervious	19,192	Proposed Pervious	18,912
Property Area	28,000		28,000
BUILDING COVERAGE 18.8%		BUILDING COVERAGE 18.8%	
IMPERVIOUS LOT COVERAGE 31.4%		IMPERVIOUS LOT COVERAGE 32.5%	

PARKING SUMMARY		
PARKING REQUIREMENT	AREA	PARKING REQUIRED
1 SPACE PER 500 S.F. OF KENNEL	4992	10
PARKING PROVIDED		
TOTAL PARKING SPACES	9	
STANDARD SPACES	8	
ADA HANDICAP SPACES (VAN)	1	
BICYCLE PARKING	-0-	

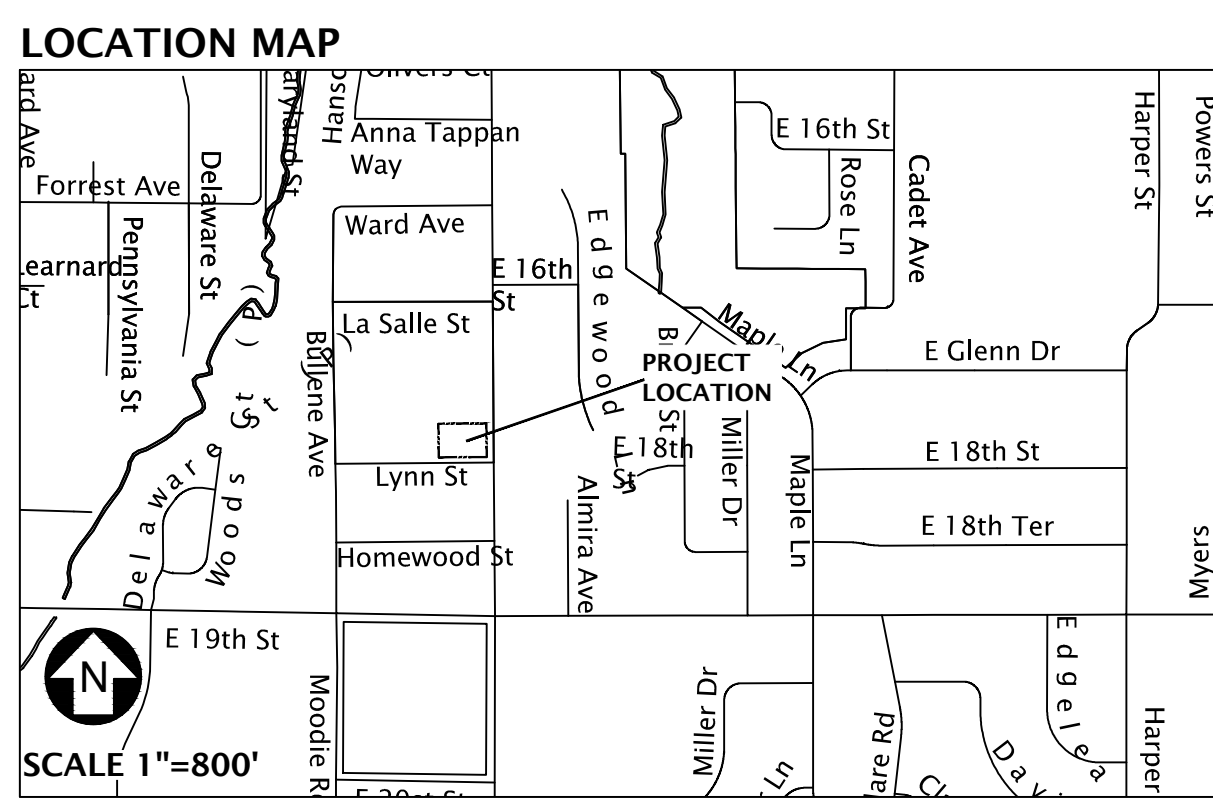
LANDSCAPING SCHEDULE			
SYMBOL	QUANT.	NAME	SIZE & COND
		STREET TREES - 1 PER 40' OF FRONTAGE	VARIES
	1 & 8	EXISTING & LARGE CANOPY - LACEBARK ELM, SHUMARD OAK, SUMMERSHADE NORWAY MAPLE, OR APPROVED EQUAL	2" CAL - B&B
		PERIMETER LANDSCAPING REQUIREMENT 1 TREE PER 25' OF PARKING LOT PLUS CONTIN. ROW OF EVERGREEN SHRUBS	
		NO PARKING LOT PERIMETER LANDSCAPING DUE TO ZERO SETBACK ON EXISTING PARKING LOT GRANTED BY CITY OF LAWRENCE BZA CASE 8-10-30-00	
		INTERIOR LANDSCAPING REQUIREMENT PARKING LOTS - 40 S.F. PER STALL, 1 SHADE TREE & 3 SHRUBS PER 10 STALLS	
		NO INTERIOR PARKING LOT LANDSCAPING IS REQUIRED AS THERE ARE LESS THAN 11 PARKING STALLS	
		BUFFERYARD LANDSCAPING TYPE 3 BUFFERYARD REQUIRED BY CODE SECTION 20-522(1)(ii)(a)(3) AT 25 FEET WIDE - 4 TREES AND 20 SHRUBS PER 100'	
	5	TAYLOR JUNIPER, HOLMSTRUP ARBORVITAE, OR APPROVED COLUMNAR TYPE EQUAL	
	6110 SF	ARTIFICIAL TURF AT OUTDOOR DOG EXERCISE AREAS	
		ALL UNPAVED AREAS SHALL BE PLANTED WITH TURF GRASSES	

PAVING/SURFACING SCHEDULE	
SYMBOL (SHADED FOR CLARITY)	AREAS AND PAVING MATERIAL
	EXISTING CONCRETE PAVING
	NEW 4" CONCRETE SIDEWALKS

LEGAL DESCRIPTION
 LOT 8, REPLAT OF LOTS 1 THRU 6 & LOT 23 BLOCK 4 HOMECOMING GARDENS SUBURBAN ADDITION IN THE CITY OF LAWRENCE, DOUGLAS COUNTY, KANSAS.

GENERAL NOTES

- OWNER Big J Properties
 2712 Stratford Road
 Lawrence, Kansas 66049
- CONTRACT PURCHASER Wagmore Canine Enrichment
 Lawrence, Kansas
- Land Planner/Engineer: Grob Engineering Services, LLC
 3210 Mesa Way, Suite A
 Lawrence, Kansas 66049
 - This Site Plan is being submitted as a Standard Development Project.
 - Aerial and topographic information obtained from aerial survey performed for the City of Lawrence and Douglas County 2006, 2013 & 2015.
 - Typical Soil Type: Pc - Pawnee clay loam.
 - Existing Land Use: Vacant Office & Storage Building
 - Proposed Land Use: Kennel
 - Current Zoning: IG
 - Existing utility locations, elevations, and sizes are based on information available at the time the Site Plan was prepared.
 - No part of the property is located within a SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% CHANCE FLOOD per FEMA Flood Insurance Rate Map (FIRM) Panel 178 of 460, Map # 20045C0178E, Map Revised September 2, 2015.
 - Soils investigations shall be performed before primary structures are erected on lots with slopes greater than 3:1, or non-engineered fill greater than 12 inches. A soils engineer licensed by the State of Kansas, shall perform investigations, and a report of the investigation shall be submitted to the City of Lawrence Codes Enforcement Division.
 - This Site Plan has been designed to comply with the provisions of the Americans with Disabilities Act Accessibility Guidelines (ADAAG) for Buildings and Facilities, appendix A to 28 CFR, part 36.
 - Exterior ground-mounted or building mounted equipment including, but not limited to, mechanical equipment, utilities boxes and meters, shall be fully screened from view of adjacent properties and from street rights-of-way (as measured 6 feet above ground level).
 - Storm Drainage arrows generally represent existing and proposed overland stormwater flow at the site. Limited grading will be performed for the proposed building and parking.
 - All disturbed areas not shown for trees and landscaping shall be reseeded with turf type grasses and otherwise restored to their original condition.
 - Trash will be collected and stored in individual polybags retained outside the structure and set out at street on trash collection days. The City of Lawrence will not be responsible for pavement damage due to refuse collection.
 - Site lighting will be shielded to prevent off-site glare and will be designed to meet the requirements of the City of Lawrence Standards, Section 20-1103. Any future exterior lighting will require the submittal and approval of a photometric plan prior to installation.
 - The Planning Director has approved a reduction in minimum parking spaces from 10 spaces to 9 spaces based on the deletion of one in order to provide access isle for ADA parking (pending).
 - Lawrence City Commission approved the use of artificial turf on October __, 2018 (pending).



LEGEND

— OHW —	— OHW —	— OVERHEAD WIRE		SANITARY MANHOLE
— OHE —	— OHE —	— OVERHEAD ELECTRICAL		STORM MANHOLE
— UGT —	— UGT —	— UNDR GRND TELEPHONE		STORM DRAIN
— GAS —	— GAS —	— GAS		GUY ANCHOR
— W —	— W —	— WATERLINE		UTILITY POLE
— SAN —	— SAN —	— SANITARY SEWER LINE		WATER METER
— SS —	— SS —	— SANITARY SEWER SERVICE		WATER VALVE
— STM —	— STM —	— STORMWATER LINE		FIRE HYDRANT
— — — — —	— — — — —	— PROPERTY LINE		TRAFFIC SIGNAL STR.
— — — — —	— — — — —	— CENTERLINE		GAS VALVE
— — — — —	— — — — —	— PAVEMENT		GAS METER
— — — — —	— — — — —	— EASEMENT		LIGHT POLE
— SB —	— SB —	— BUILDING SETBACK LINE		SIGN
				ELECTRIC BOX
				CABLE TV BOX

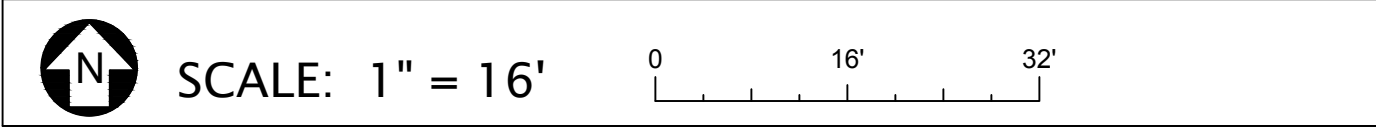
NOTE: "X" IN UTILITY LINE DENOTES EXISTING FEATURE



NOT TO SCALE
SOUTHWEST ELEVATION VIEW (EXISTING)
 NOT TO SCALE

NOT TO SCALE
SOUTHEAST ELEVATION VIEW (EXISTING)
 NOT TO SCALE

NOT TO SCALE
NORTHEAST ELEVATION VIEW (EXISTING)
 NOT TO SCALE



**SITE PLAN for
 WAGMORE CANINE
 ENRICHMENT**

Approved and Released

Case No. _____
 Approval Date: _____
 Release Date: _____
 Planner: _____
 _____ of _____ Sheets
 Asst./Director: _____

City of Lawrence
 Douglas County
 PLANNING & DEVELOPMENT SERVICES

GES

GROB ENGINEERING SERVICES, LLC

3210 Mesa Way, Suite A * Lawrence, Kansas 66049
 Phone 785-856-1900 * Fax 785-856-1901
 www.grobengineering.com

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**SITE PLAN FOR
 WAGMORE CANINE ENRICHMENT
 1735 HASKELL AVENUE
 LAWRENCE, KANSAS**

DESIGNED BY
 JDG

CHECKED BY
 JDG

ISSUE DATE
 AUGUST 21, 2018

REVISIONS