



SP-18-00327: A site plan for sidewalk hospitality area for Lark A Fare (formerly Port Fonda) located at 900 New Hampshire Street. Submitted by Mike Heitman for 900 New Hampshire, LLC, the property owner of record.

ADMINISTRATIVE DETERMINATION: The Planning Director approves the above-described Site Plan for sidewalk dining subject to the following condition:

- Execution of a sidewalk dining license from the City prior to occupying the public right-of-way per Chapter 6-1203 of the City Code.
- Execution of an agreement with the City of Lawrence for use of the right-of-way per Chapter 6-1204 of the City Code.

ASSOCIATED CASES

- DR-18-00328; Historic Resource Review for sidewalk dining. Administratively approved on September 26, 2018.

KEY POINTS

- The applicant proposes to construct an approximately 406 square foot sidewalk dining area for food and beverage service.
- The proposed outdoor area will accommodate eight tables seating 22 people. The area will be separated from the pedestrian sidewalk with a railing 3 feet high.

OTHER ACTION REQUIRED

- Submittal of building permit applications as required.

PLANS AND STUDIES REQUIRED

- *Traffic Study – Not required for this project.*
- *Downstream Sanitary Sewer Analysis – Accepted.*
- *Historic Review Standards – Approved.*
- *Drainage Study – Not required for this project.*
- *Retail Market Study – Not applicable to request.*
- *Alternative Compliance – Not proposed with request.*

COMMUNICATIONS RECEIVED

1. None

GENERAL INFORMATION

Current Zoning and Land Use

CD (Downtown Commercial District); Eating and Drinking Establishment.

Surrounding Zoning

To the north, west, south, and east: CD (Downtown Commercial District); Eating and Drinking Establishments, Retail Sales, Residential and Office.

Legal Description:

The site is platted as Lots 70, 72, 74, 76, and 78 on New Hampshire in the city of Lawrence, Douglas County, Kansas. Commonly described as 900 New Hampshire, Unit B. Plate number U01034.

SITE SUMMARY

| Land Use: | Existing <i>Quality Restaurant</i> | Proposed <i>Quality Restaurant</i> | Change |
|---------------------------|---------------------------------------|---------------------------------------|--------------------|
| Total Building footprint | 4,125 square feet | 4,125 square feet | 0 |
| Total Pavement (west) | 480+/- square feet | 480+/- square feet | 0 |
| Proposed Hospitality Area | 0 | 406+/- square feet | 406+/- square feet |

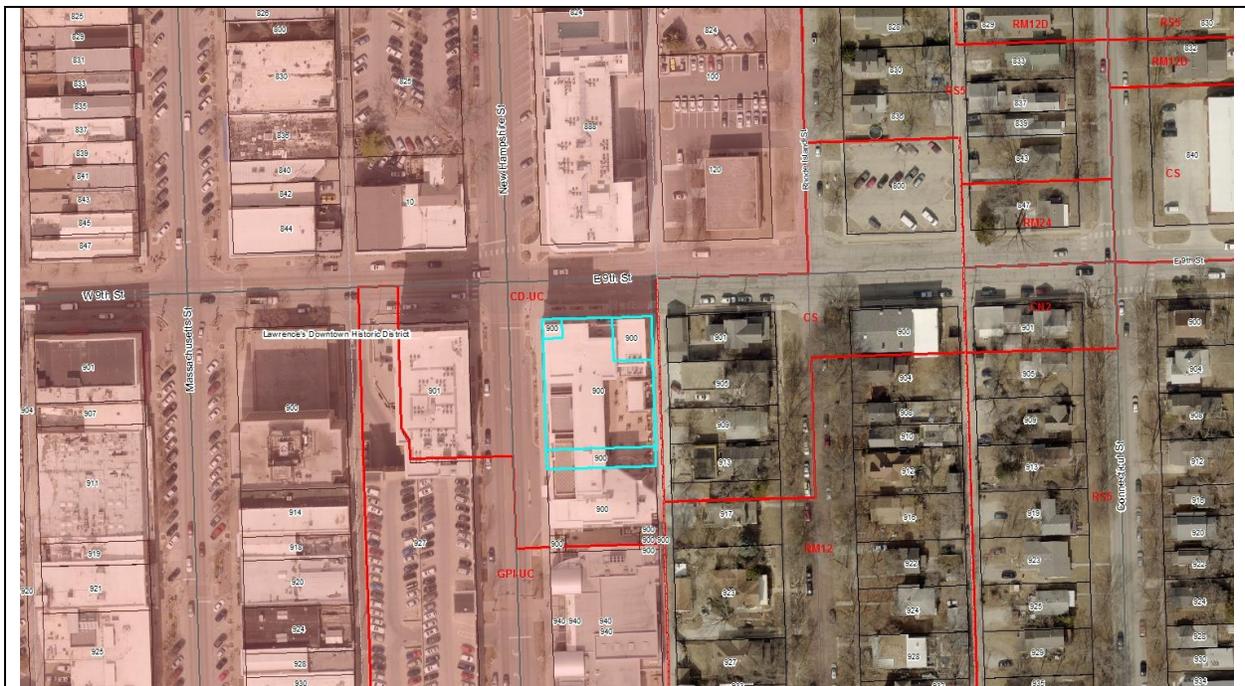
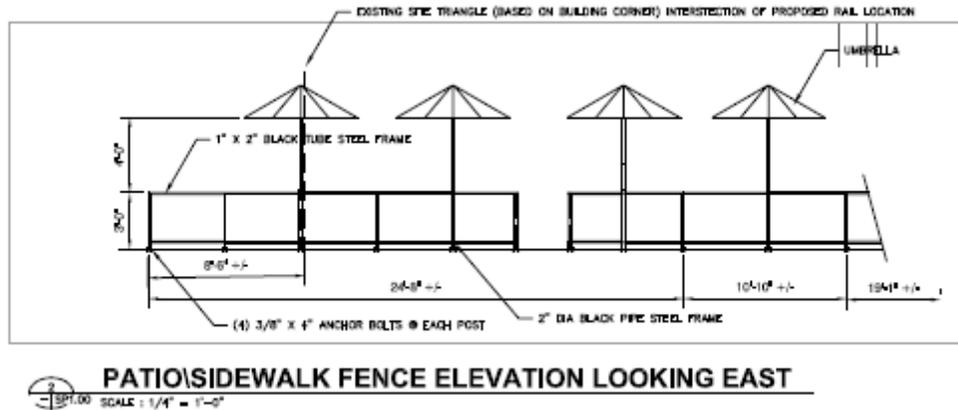


Figure 1. Surrounding zoning and land use is CD. The subject property is outlined in blue.

SUMMARY OF REQUEST

The applicant proposes to construct an approximately 406 square foot sidewalk dining area for food and beverage service. The sidewalk hospitality area will extend outward from the west face of the building 8 foot 6 inches for 24 foot from north to south. The center 7 foot will be utilized as an access to the entrance to the building and will not have tables or chairs. This access isle is 56 square feet and reduces the actual hospitality area to 350 square feet. The sidewalk hospitality area leaves an unobstructed clear space of 6 foot 0 inches of the New Hampshire Street sidewalk. The proposed outdoor area will accommodate eight tables seating 22 people. The area will be separated from the pedestrian sidewalk with a railing 3 foot high. The site plan identifies that no

umbrellas will be used in the designated area and no new exterior lighting is proposed at this time. A note on the site plan identifies that if these amenities are added in the future they will comply with the regulations for hospitality areas.



Proposed Dining Area Elevation

PARKING SUMMARY

Section 20-901(f), Exception for CD District, exempts uses in the CD Zoning District from the requirement to provide off-street parking and off-street loading spaces.

STAFF REVIEW

Findings

Per Section 20-1305, staff shall first find that the following criteria have been met:

1) The site plan shall contain only platted land;

The site is platted as Lots 70, 72, 74, 76, and 78 on New Hampshire in the City of Lawrence, Douglas County, Kansas. Commonly described as 900 New Hampshire, Unit B. Plate number U01034.

2) The site plan shall comply with all standards of the City Code, this Development Code and other adopted City policies and adopted neighborhood or area plan;

As conditioned, the site plan complies with all standards of the City Code and the Downtown Plan.

FLOODPLAIN

This property is not located within the regulatory floodplain.

HISTORIC REVIEW

The installation of a sidewalk hospitality area at 900 New Hampshire Street requires a Certificate of Appropriateness, and Downtown Design Guidelines Review. The property is located in the environs

of the Social Service League (905 Rhode Island). The property is also located in the Downtown Urban Conservation Overlay District.

Based on the information provided by the applicant and in accordance with Chapter 20-308(f)(3) of the City Code, staff reviewed this project using the Downtown Design Guidelines and determined that the project, as proposed, meets these development and design standards.

In accordance with Chapter 22 of the Code of the City of Lawrence, the standards of evaluation for a Certificate of Appropriateness, staff administratively approved the project and made the determination that the project does not significantly encroach on, damage, or destroy the landmarks or their environs.

The Historic Resources Commission will confirm the administrative approval of this project on September 17, 2017.

3) The proposed use shall be allowed in the district in which it is located or be an allowed nonconforming use;

The subject property is zoned CD (Downtown Commercial) District. Quality Restaurant establishments are permitted in this district.

4) Vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well and shall also conform with adopted corridor or access management policies and;

The property is located on New Hampshire Street. No changes are proposed that would affect vehicular access to this property. No off-street parking is required or proposed with this project due to its location in the CD (Downtown Commercial) District.

5) The site plan provides for the safe movement of pedestrians within the site;

There are no changes proposed to pedestrian access. Six feet of unobstructed public sidewalk area is preserved along New Hampshire Street for safe pedestrian movement to and from the subject business. A 4 foot access aisle has been provided in the hospitality space.

Conclusion

The site plan, as conditioned, is in conformance with the City Code (Chapter 20, Chapter 22, and Chapter 6).