

Use of Right-of-Way Agreement

- The sidewalk dining area is not being used when the restaurant or food service establishment is closed.
- Advertising signage is not present in the sidewalk dining area except for the name of the establishment on chairs or tables as approved by the City, or as otherwise permitted by City Code.
- All amenities including railings, barrier, chairs, and tables are maintained in good condition.
- Six (6) feet of unobstructed pedestrian clearance is maintained in good condition.
- Any and all umbrellas are maintained at a height no less than 80 inches from the sidewalk surface to the lowest part of the umbrella's opened canopy.
- Any amplified music or sound complies with the city's noise ordinance.
- There is no blockage of the building entrances or exits in the sidewalk dining area.
- The sidewalk dining area, the area from the front building facade to the curb line, and five (5) feet along the adjacent sidewalk to both sides of the sidewalk dining area, contain no trash.
- No trash or refuse storage containers are in the sidewalk dining area or on adjacent sidewalk areas.
- Stormwater needs: Pursuant to Section 9-902 of the City Code, sidewalk dining areas must be managed to prevent stormwater pollution.
 - Food waste, trash, cigarettes and other solid wastes must be contained, collected, and disposed properly. Collection must be frequent enough to prevent wastes carried off by wind or stormwater runoff;
 - Wastewater from the cleaning of pavement, buildings, furniture or other outdoor surfaces must be collected and discharged to the sanitary sewer system or other
 - approved wastewater treatment process. Installation of a nearby sanitary sewer cleanout is recommended for this purpose;
 - Pavement and furnishings must be cleaned frequently enough to prevent contamination of stormwater runoff.
- Food preparation is not permitted within sidewalk dining areas.
- If the establishment no longer has a current sidewalk dining license, the Codes Enforcement Division will contact the former licensee or owner of the premises to require removal of the railing or other amenities (chairs, tables, etc.) remaining in the right of way.
- For sidewalk dining licensees with a valid drinking establishment license or cereal malt beverage license and City Commission approval to sell, and its patrons to possess and consume alcoholic beverages or cereal malt beverages in the public right of way, the Codes Enforcement Division will inspect the sidewalk dining area to ensure compliance with the following:
 - Possession and consumption of alcohol in the sidewalk dining area is limited to patrons seated at tables.
 - An employee of the licensee is working in the sidewalk dining area, or otherwise able to monitor the sidewalk dining area, to prevent alcoholic beverages or cereal malt beverages from leaving the licensed premises and to ensure compliance with other alcohol related provisions.
 - All alcoholic beverages or cereal malt beverages consumed in the sidewalk dining area are in appropriate containers (no glasses, cans or bottles) unless the establishment demonstrates it meets the 55% food sales requirement.
 - No taps, kegs, coolers, or other alcoholic beverage or cereal malt beverage storage devices are used in the sidewalk dining area.
- Applicant is responsible for adhering to the public notice process of a proposed site.



PATIO FURNITURE

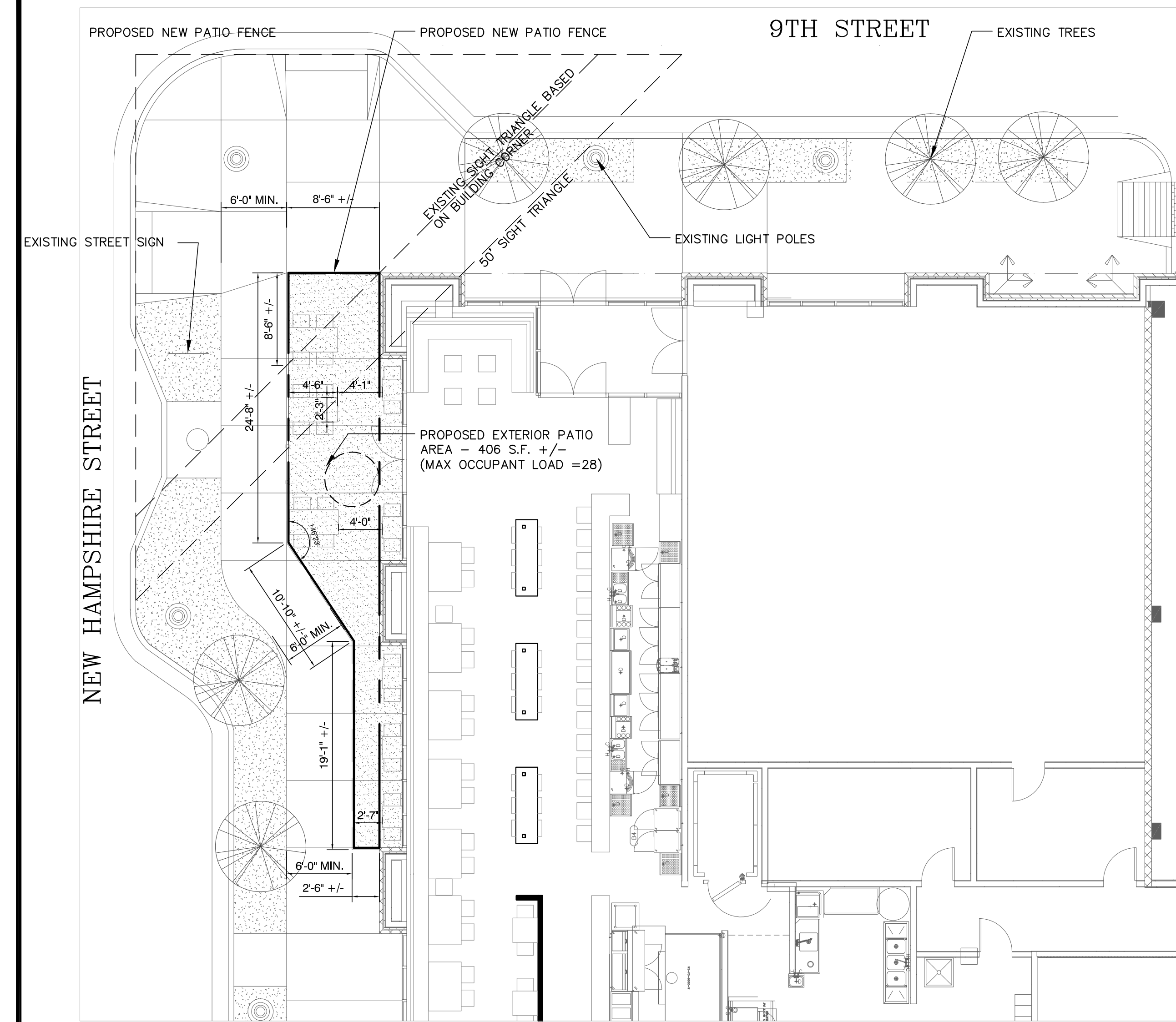
Legal Description of Hospitality Area

A TRACT OF LAND IN LAWRENCE, DOUGLAS COUNTY, KANSAS BEGINNING AT THE NORTHWEST CORNER OF 900 NEW HAMPSHIRE CONDOMINIUMS UNIT B (U01034 SPLIT 2015), THENCE NORTH 0.00 FEET, THENCE WEST 8.5 FEET, THENCE SOUTH 24.67 FEET THENCE SOUTH 56 DEGREES 23 MINUTES EAST A DISTANCE OF 10.875 FEET, THENCE SOUTH 19.0833 FEET, THENCE EAST 2.5 FEET, THENCE NORTH 52.67 FEET TO THE POINT OF BEGINNING, SAID TRACT CONTAINING 298.19 SQUARE FEET, MORE OR LESS

BUILDING & SITE DATA

- Location - Within the Downtown Commercial District (CD)
- Plumbing - No changes to the interior fixture count
- Furniture information has been attached separately
- No smoking will be allowed within the patio area

NOTE: PROPERTY SURFACE AREA - THERE ARE NO CHANGES TO ANY OF THE IMPERVIOUS SURFACES TO REPORT PER CHAPTER 20 ARTICLE 13 SECTION 20-1304 (d)3(vi)

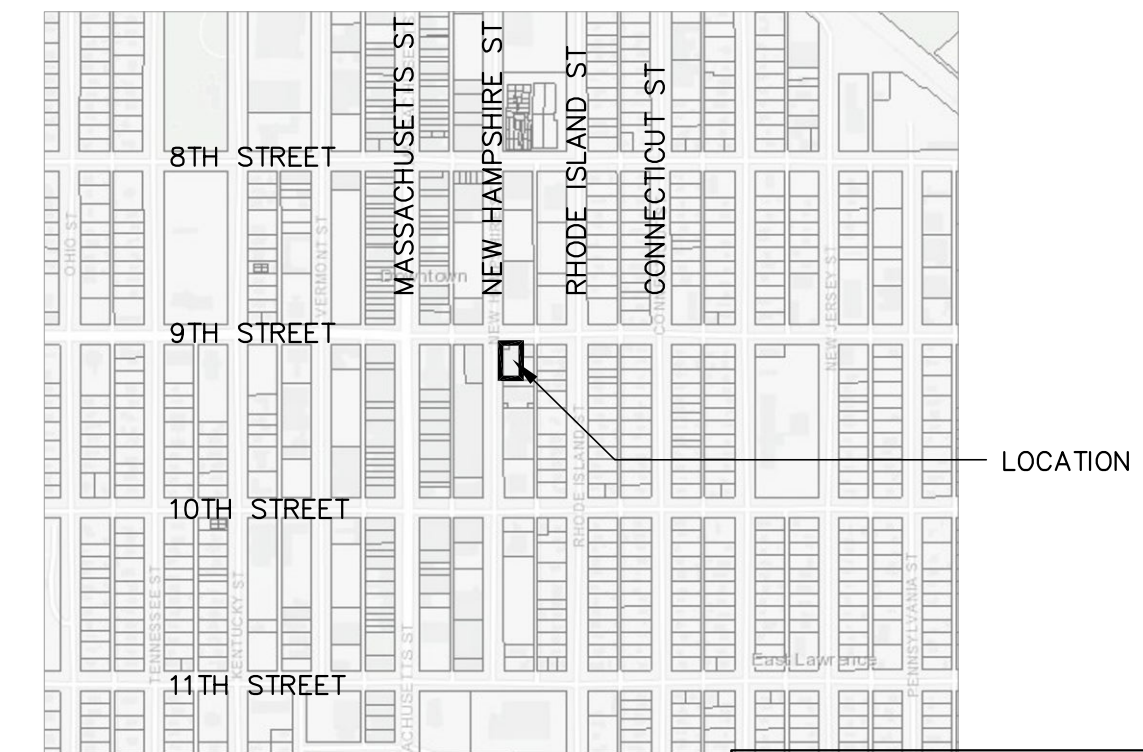


PATIO \ SIDEWALK PLAN

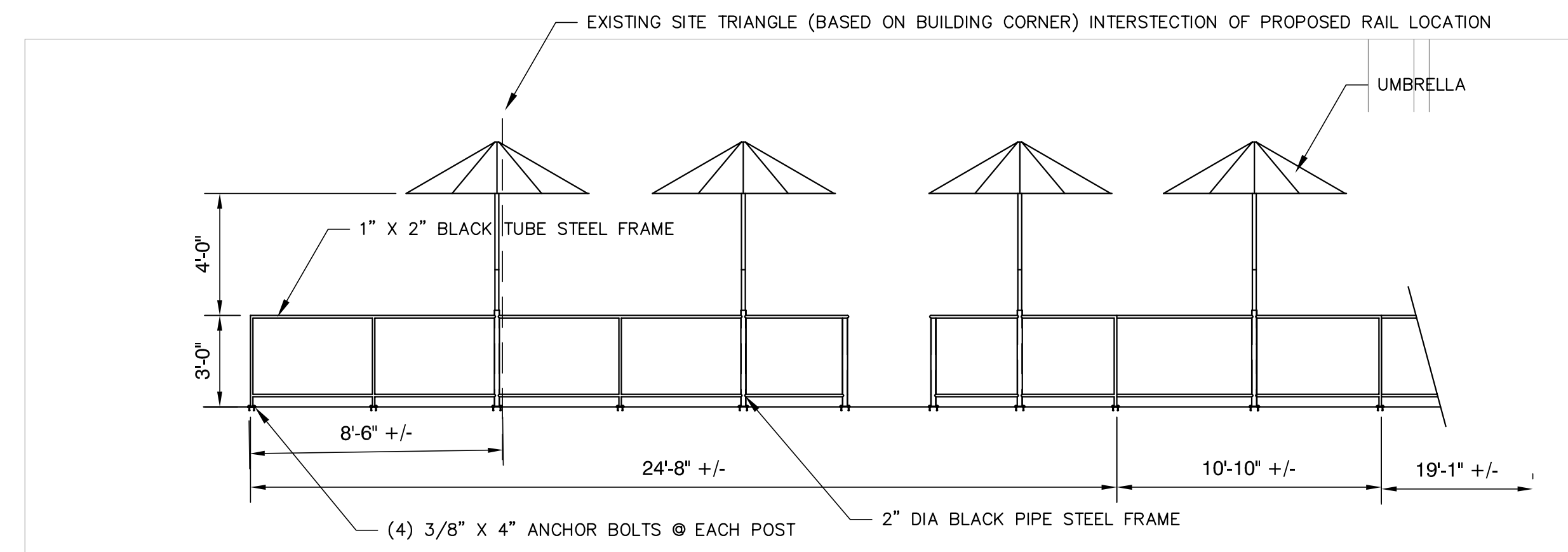
SCALE : 1/8" = 1'-0"



PHOTO - LOOKING SOUTHEAST



KEY SITE PLAN



PATIO \ SIDEWALK FENCE ELEVATION LOOKING EAST

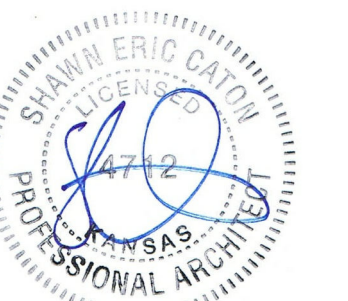
SCALE : 1/4" = 1'-0"



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PATIO \ SIDEWALK PLAN - PORT FONDA

900 NEW HAMPSHIRE STREET
LAWRENCE, KANSAS

DESIGNER: S.CATON
DRAWN BY: SEC
JOB NO.: 06052018
DATE: 6/14/2018

PROJECT REVISIONS

7/12/18 REVISIONS
8/26/18 REVISIONS

SHEET NUMBER

SP1