



SP-17-00192: A site plan for the construction of two new Greek houses [ZBT Fraternity House] and Pi Kappa Phi Fraternity House] on one lot located in the 1500 block of Sigma Nu Place. Submitted by Lantz1505, LLC, property owner of record.

ADMINISTRATIVE DETERMINATION: The Planning Director approves the above-described Site Plan.

ASSOCIATED CASES

- ❖ Z-1-1-12: RM32 for Multi-Dwelling Development. Withdrawn by applicant.
- ❖ SP-1-3-03: Alpha Gamma Delta Sorority House; (Lot 2 of Sigma Nu Addition No. 2).
- ❖ SP-06-36-03: Alpha Gamma Delta Sorority House; Lot 2, Sigma Nu Place
- ❖ SP-06-46-08: Sigma Nu Place; Alpha Gamma Delta Approved and released on 7/30/08; Revised Plan approved and released 8/28/08. Construction including site preparation started. Project abandoned.
- ❖ 1-17-00609: 1503 SIGMA NU PL, ZBT Fraternity House, building permit in review.
- ❖ 1-17-00321: 1505 SIGMA NU PL, Pi Kappa Phi Fraternity House, building permit in review.

KEY POINTS

- The applicant has submitted a site plan performance agreement to the City.
- Previous request for development included only one building.
- Proposed site plan includes two buildings.
- Access to the site is restricted to one driveway intersection with the public street.
- Secondary access is not proposed with this application. Direct access to "High Drive" is not proposed.
- This project includes the submission of public improvement plans for the extension of a water line to provide looped service.
- This project includes off-street parking that exceeds the minimum required for the use.

OTHER ACTION REQUIRED

- Approval of building permits.
- Public Improvement Plans are required for the sanitary sewer and water line extension. PIP's have been submitted by the applicant and are currently being reviewed by City Utility Engineer.
- Dedication of additional utility easements by separate instrument.
- Per Section 20-1305 (k), Appeals of the Planning Director's decision on a site plan application may be taken to the City Commission when a person or entity having standing has filed a notice of appeal. Release of the site plan is not permitted until 9 days following the determination if an appeal is not filed with the City Planning Office.

PLANS AND STUDIES REQUIRED

- *Traffic Study* – Study reviewed and accepted by City Engineer.
- *Downstream Sanitary Sewer Analysis* – Analysis approved by City Staff. Applicant has submitted public improvement plans to the City for review.
- *Historic Review Standards or Other Standards* – Not applicable to this project.

- *Drainage Study* – The drainage study dated 4-3-2017 meets the specified requirements and is approved.
- *Retail Market Study* – Not required for this application.
- *Alternative Compliance for meeting landscape requirements* – Not requested with the application.

COMMUNICATIONS RECEIVED

- ❖ Multiple residents and property owners have contacted staff regarding the project and have requested notice of determination.

Table 1: Zoning and Land Use

GENERAL INFORMATION	
Current Zoning and Land Use:	RMG (Multi-Dwelling Residential – Greek Housing) District. Vacant land.
Surrounding Zoning and Land Use:	RMG (Multi-Dwelling Residential- Greek Housing) District to the north, south and east, existing Greek housing and vacant lots. RS7 (Single-Dwelling Residential) District to the west. Existing detached homes.
Legal Description:	Lot 2, Sigma Nu Addition No. 2.

Table 2: Summary Table	Existing	Proposed
Land Use:	Vacant	Fraternity House (2)
Land Area (Acres):	2.48	2.48
Land Area (SF):	108,028	108,028
Total Building Footprint (SF) <i>Maximum allowed building cover is 60% of lot. Proposed building cover is 7% of the lot.</i>	0	North Building 4,538 South Building 2,759
Total Impervious Area (SF): % Impervious <i>Maximum allowed impervious cover is 80% of lot.</i>	0	43,873 41%
Total Pervious Area (SF):	108,028	64,155

SUMMARY OF REQUEST

The purpose of this application is for the construction of two separate Greek houses located on a single lot. Access to the property is provided at the north end of the property from Sigma Nu Place, a public street. Access to High Drive through a private access easement is not included in this application.

This site includes two 3-story buildings with basements. The north building includes 61 beds. The south building includes 41 beds. The north building includes a very small patio area on the east side of the building and it screened by the retaining wall and a 6' fence. The south building includes a larger rear patio space. The south outdoor patio space is screened by proposed trees along the west side and by the remaining existing vegetation along the west side of the property. No other outdoor amenities such as basketball courts are proposed for this property.

PARKING SUMMARY

Off-street parking for this use is required at .75 spaces per occupant. Similar Greek housing developments required an equivalent ratio of 1.5 spaces for each two occupants prior to 2006. Comparatively, traditional multi-dwelling uses require off-street parking based on one space per bedroom + one space per 10 units for guest parking. The following table provides a summary of the off-street parking requirements for this project as required by code and what would be required if the use were reviewed as a multi-dwelling (apartment) development. This analysis is included as a response to questions and comments made by area residents regarding the provision of appropriate off-street parking for the proposed use.

Table 3: Parking Summary

Off-Street Parking Summary				
Structure	Sleeping Units	Required Spaces <i>.75 space per occupant</i>	Provided Spaces	<i>Comparing to Multi-Dwelling development requirements 1 per BR + 1 per 10 units</i>
North Building	61	46		61
South Building	41	31		41
Total	102	77	81	102 + 10 = 112 spaces

The site plan notes that 20 bicycle parking spaces are required and 24 spaces are provided. Accessible parking spaces are also shown on the plan for both buildings.

Typically, development with excess off-street parking is required to mitigate the impact of the additional impervious surface cover by implementing best management strategies to improve stormwater runoff. The proposed number of off-street parking is 5% (4 spaces) above the required number of spaces. This project is not proposing to implement any specific stormwater treatment options for these spaces.

- The proposed project provides four extra bicycle parking spaces than required for the development.
- The development of the site retains 59% of the total site as pervious area.

Staff discussed options and alternatives to implement meaningful best management practices in stormwater treatment to compensate for the excess off-street parking spaces. This site design would not result in any meaningful improvements such as the use of bio-swales, pervious pavement, or rain gardens that would provide some kind of pre-treatment for stormwater runoff for this site. The Planning Director waives the requirement based on the large percentage of the site that remains pervious.

Per Section 20-1305 (b)(3)(v) the Planning Director waives the requirement to implement best management practices based on the large percentage of the site that remains pervious.

Finding: The proposed development complies with the minimum required off-street parking and accommodates excess parking up to 4 spaces.

The following table summarizes the occupancy and parking for other Greek Housing in the immediate area.

Table 4 : Occupancy and Parking Comparison Table

Greek Housing Occupancy and Parking Summary								
			Parking		Parking Standard [# spaces per occupant]		Notes	
Source	Address	Occupants	Required	Provided	Spaces	# Occupants	ROW Parking	Other
	1001 Emery Road	NA	NA	NA	NA	NA	0	NA
SP-4-21-03	1500 Emery Road	88	66	88	1.5	2	0	NA
SP-7-52-02	1501 Sigma Nu Place	71	38	59	1	2	0	NA
SP-9-73-96	1015 Emery Road	80	40	58	1	2	0	compact
SP-2-7-93	1025 Emery Road	86	43	81	1	2	9	compact
SP-5-47-98	1045 Emery Road	64	35	76		not stated	15	compact
SP-2-14-12	1602 High Drive	84	63	81	1.5	2	0	NA
SP-2-5-80	1600 Oxford Road	91	34	35	1.5	4		
SP-14-00205 ¹		92	69	41	0.75	1	0	NA
SP-6-40-08	1630 Oxford Road	48	36	42	1.5	2	0	NA
SP-17-00192	Proposed (2 houses)	102	77	81	1.5	2	0	Not Permitted
	<i>North House</i>	<i>61</i>	<i>46</i>		.75	1		
	<i>South House</i>	<i>41</i>	<i>31</i>		.75	1		

In all but one of the properties evaluated, the number of parking spaces provided exceeds the minimum number of spaces required. The area residents and adjacent property owners have stated that off-street parking is insufficient for the proposed use and the existing Greek housing uses in the immediately surrounding area.

STAFF REVIEW

The property is located at the west end of Sigma Nu Place, a local cul-de-sac street. The property is adjacent to the West Hills Neighborhood to the south and near the Hillcrest Neighborhood to the west.

Access

Access to this property is from the abutting public street, Sigma Nu Place, at the north end of the development. There is no direct access from this site to the private street network of High Drive.

Parking Lot Design:

Parking for this use is designed as a surface lot. The majority of spaces are located along the east side of the property. This side of the lot abuts the access drive for the Sigma Nu Fraternity located at 1501 Sigma Nu Place. Two parking areas are provided north and south of the larger building in the north portion of the lot. Parking is located more than 70' from the west property line that abuts detached residential lots zoned RS7. The portions of the parking lot that are oriented toward the residential lots to the west are screened from the properties by a 6' fence that will be located 2' inside of the existing retaining wall.

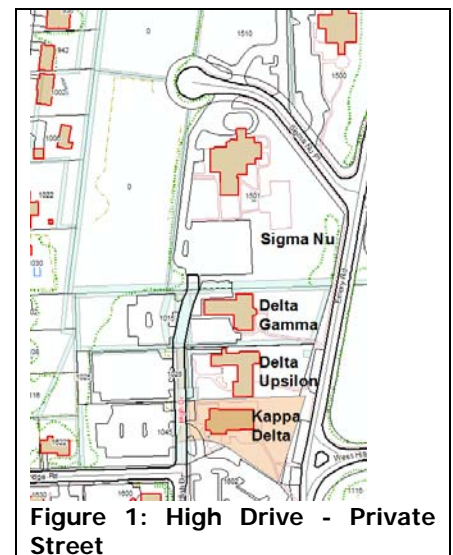


Figure 1: High Drive - Private Street

¹ Original 1980 site plan was for an addition that doubled the occupants from the existing building occupancy. The site at the time included one excess space. The 2014 site plan was for a kitchen remodel and showed parking as an existing condition. The 2014 site plan did not amend the occupancy or the parking for the building. There is no record of a variance for reduced parking.

Figure 2 shows the location of the two parking areas nearest the detached residential uses to the west.

The access aisles are 25' wide to accommodate two-way traffic within the site. The south end of the parking lot is designed to accommodate turning movements of fire apparatus with a "hammerhead" turn out. All traffic entering and existing the site will be from Sigma Nu Place, a public street.



Figure 2: Existing Land Use and Zoning



Figure 3: Off-Site parking across from detached residential lots

Landscaping and Screening

The RMG District is a residential district but does not specifically require a minimum outdoor area per dwelling unit.

Street Trees: Street trees are required along Sigma Nu Drive. The site plan shows two street trees provided along the curve of the cul-de-sac. Three trees are required for the length of the right-of-way. The number of street trees is adjusted to accommodate the access driveway.

Interior Landscaping: This standard applies to interior parking lot landscaping standards based on the number of parking spaces. The project includes 81 proposed surface parking spaces. The project requires a minimum of 3,240 SF of interior parking lot green space. The site plan shows 3,780 SF of interior parking lot green space provided. Green spaces within the parking lot include a mix of trees and shrubs and exceed the minimum planting requirements for interior landscaping.

Interior Green Space Summary	
Interior Green Space Area Required: 40 SF per parking space: 81 (parking spaces) Required: 3,320 SF Provided: 3,780 SF	Interior Landscape Plants Required: 1 shade tree/ornamental tree per 10 spaces: <ul style="list-style-type: none">9 shade trees required; 13 trees provided 3 shrubs per 10 spaces: <ul style="list-style-type: none">26 shrubs required; 36 shrubs provided

Additionally, the parking lot is buffered by a continuous green space along the east property line adjacent to the west access drive of the Fraternity house to the east (1501 Sigma Nu Place). A solid fence, in addition to the open space area, additionally screens the parking areas that are located on the north and south sides of the northern house.

Finding: This project exceeds the minimum required interior landscape area requirement and planting standards.

Perimeter: Perimeter landscaping is applicable to the portion of a parking lot abutting public streets. The proposed site plan provides screening along the spaces at the north end of the development where the property abuts Sigma Nu Place for this project.

Finding: This project complies with the minimum design standard.

Buffer Yard Requirements: The Development Code requires a type 1 buffer yard between RM and RS districts. This design standard applies only to the west property line. The abutting zoning to the west is RS7. The properties to the north, south, and east have the same RMG zoning as the subject property.

The minimum buffer yard width is 10 feet. The proposed buildings and parking lot are setback more than 70' from the west property line (abutting the detached dwellings lots to the west). This setback creates an extraordinary buffer yard. It is more than twice the maximum 25' buffer yard width identified in section 20-1005 (d).

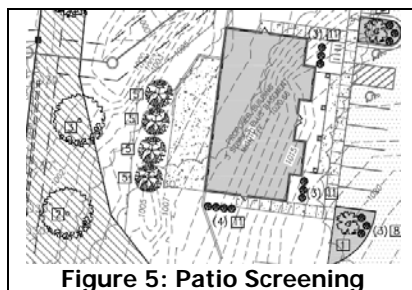


Figure 5: Patio Screening

The west side of the property is dedicated to detention for the site with a large retaining wall as well as a continuous 6' high fence that screens the parking lot and buildings at the north end. The south building includes an outdoor patio. The patio area is screened with additional evergreen trees

that provide an added layer of screening to the existing vegetation in the southwest corner of the site.

The southwest corner of the property is encumbered by dense vegetation. The applicant's intent is to maintain and preserve as much of the vegetation as possible. A note has been added to the face of the landscape plan that areas that will not be impacted by grading will be maintained.

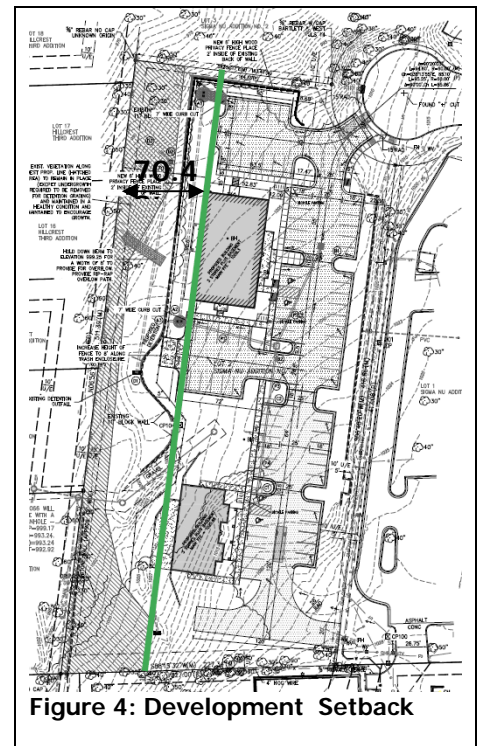


Figure 4: Development Setback



Figure 6: Existing Vegetation in SW Corner of Site.

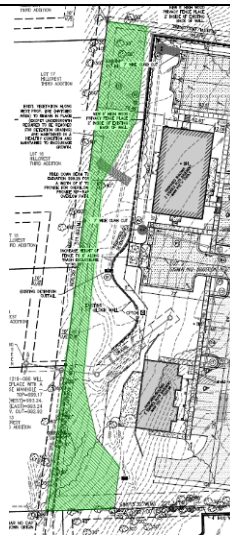


Figure 7: Existing Vegetation to be Preserved along West Property Line

Trees are proposed to be added along the east property line as well to enhance the screening between the uses. The combination of existing and proposed trees along with the fencing and retaining wall along two-thirds of the property provides appropriate screening.

Finding: This project complies with the minimum design standard.

Mechanical Equipment and Dumpsters: This development is subject to compliance with screening of dumpsters as well as mechanical equipment. Appropriate screening is proposed for the dumpsters to serve this development. A note on the plan indicates that mechanical equipment will be screened with a fence or vegetation. Any roof-mounted equipment is also subject to screening, if applicable. Based on the proposed building elevations roof mounted equipment is not proposed. Staff will continue to review this element as part of a building permit application.

Finding: This project complies with the minimum design standard.

Alternative Compliance: The project as proposed complies with the landscape and screening requirements. Alternative compliance is not proposed for this development.

Lighting

A photometric plan has been submitted. Spillover light onto R zoned properties may not exceed .2-foot candles. This applies to the west property line. The property to the north, east, and south has the same RMG zoning designation as the subject property. The portion of the lot adjacent to public right-of-way may not exceed 3-foot candles. Light levels at the public street (Sigma Nu Place) and along the north property line are less than the allowed design standard of 3-foot candles (.0 to .7). The point-by-point plan shows 0.0 to 0.1 light levels along the east and south property lines. The lighting levels per the plan show that the levels reach 0.0 before they reach the west property line. The parking lot design has been slightly revised during the review of this project such that the south access driveway has been eliminated. A revised photometric plan is required to reflect the changed conditions.

Fixtures are required to be shielded and directed down. The proposed fixture is shown to be attached to a 25' pole (per building permit documents) and directed down with a flat profile and no exposed lighting. Additional shielding may be required after construction depending on any

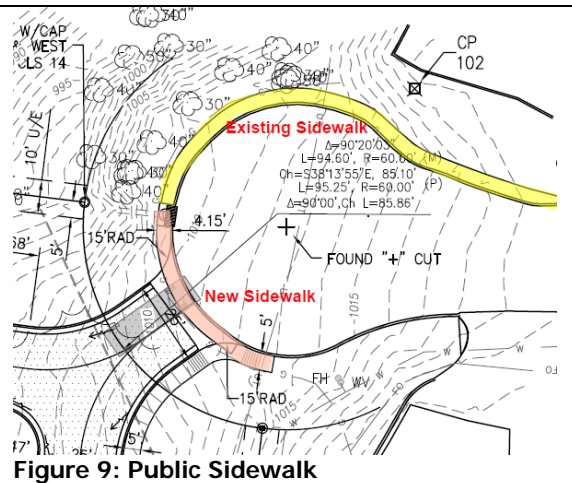
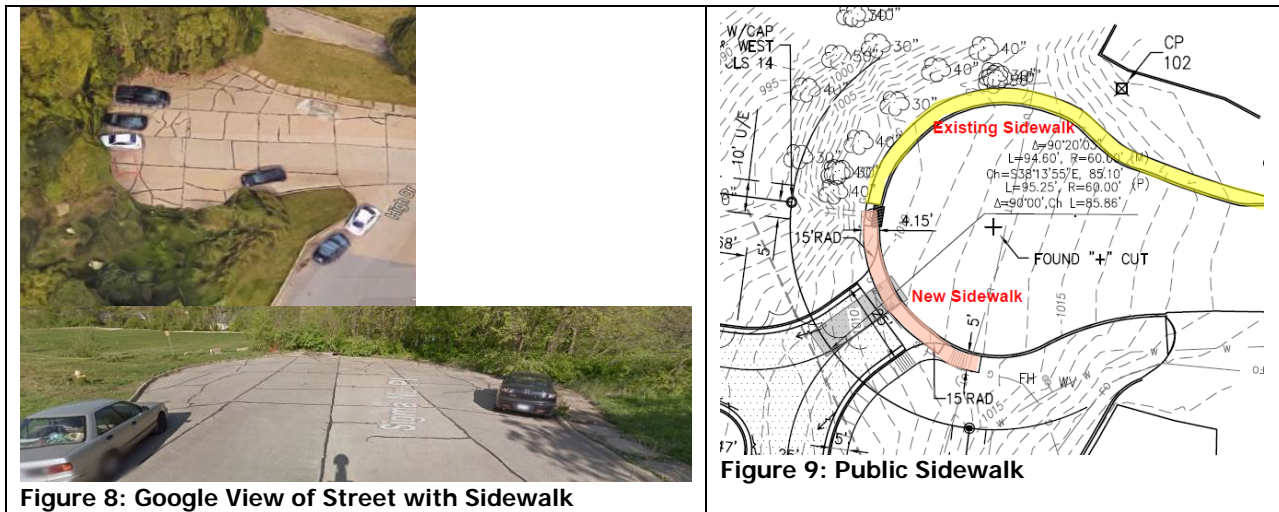
glare from the fixture that is not accounted for in the photometric plans submitted by the applicant.

Finding: This project complies with the minimum design standard.

Design Guidelines

This property is not located within a designated historic district or within the environs of a historically listed property and is not subject to a historic design review. There are no design guidelines or commercial design standards that are applicable to this project.

Pedestrian Connectivity. Public sidewalk is located on both sides of Sigma Nu Place, though segments of it are in poor condition on the north side of the property. The proposed site plan shows the construction of 5' wide sidewalk extended around the cul-de-sac along the developer's property line.



Interior sidewalks (5' wide) are provided within the development to provide connection to the public sidewalk and provide connection between the parking lot and the buildings.

Building Height. The RMG district allows a maximum building height of 35'. The proposed plans indicate that both buildings will include three floors and a basement. The building elevation shows both buildings comply with the maximum building height of the district at 34'-9^{1/8}". Care will need to be taken to ensure that the building height is maintained during construction.

The building height is measured to the "average height of the highest gable of a pitched or hipped roof and the ridge of the roof". Both buildings are proposed as three story buildings with basements. The building permit for the south building shows the height as 34'-3^{7/8}".

The building profile for the north building is the same as the front and does not include a walkout basement. It will appear as a 3-story building from both the front and rear of the building. The south building includes a walkout basement such that the building will appear as 4-stories from the rear.

Table 5: Building Elevations

<p>North Building Front</p> <p>PKP</p>	
<p>South Building Front</p> <p>ZBT</p>	
<p>North Building rear</p> <p>PKP</p>	
<p>South Building rear</p> <p>ZBT</p>	

Utilities and Public Improvements

This project includes the extension of both public sanitary sewer and water mains. Public improvement plans are required for these extensions. The water line extension will include off-site improvements through the parking lot to the south (1015 Emery). This will result in an improved

system by being “looped” to the existing water main connection at the south end of the subject property.

Public Improvement Plans have been submitted and are being reviewed by the City Utility Engineers. Plans have generally been approved pending final submission to the State by staff.

Floodplain

This property is not located within the regulatory floodplain and is not subject to a local floodplain development permit.

Findings

Per Section 20-1305, staff shall first find that the following criteria have been met:

1) The Site Plan shall contain only platted land;

This property is platted as Lot 2, Sigma Nu Addition No. 2.

2) The site plan shall comply with all standards of the City Code, this Development Code and other adopted City policies and adopted neighborhood or area plan;

The proposed site development conforms with the Development Code as described in the body of the staff report.

3) The proposed use shall be allowed in the district in which it is located or be an allowed nonconforming use;

The site is zoned RMG (Multi-Dwelling Residential–Greek Housing) District. Sorority and Fraternity houses are permitted uses in this district. This proposed application is for construction of two Fraternity houses (buildings) on one lot.

4) Vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well and shall also conform with adopted corridor or access management policies and;

The site is accessed only from Sigma Nu Place, a public street. The parking lot is designed with a hammerhead turnaround for fire apparatus on site if needed.

5) The site plan provides for the safe movement of pedestrians within the site;

The proposed development includes appropriate pedestrian access with both interior and public sidewalk improvements.

Conclusion

During the review of this project, multiple property owners have contacted staff regarding a range of issues in addition to the question of shared access to “High Drive”. These issues include off-street parking, lighting, impacts to the neighborhood and screening and buffering between the proposed use and the residential homes to the west. The plans were revised to eliminate a proposed connection. The plan includes a hammerhead to provide adequate area for fire apparatus on site. These topics are addressed in the body of the staff report.

The proposed development of Greek housing is a permitted use in the RMG District. The proposed intensity of the use based on the number of occupants and off-street parking provided are compliant with the design standards of the Development Code as discussed in the body of the staff report.