



# ADMINISTRATIVE DETERMINATION & CERTIFICATION

## FINAL PLAT

Alvabet, PF-17-00350

August 29, 2017

**PF-17-00350:** Final Plat for Alvabet, a subdivision along the west side of Research Park Drive, located in the 1300 block of Research Park Dr. The subdivision includes three lots and three tracts. Submitted by Landplan Engineering, for Alvamar Inc and Mabet #1, Mabet #2 and Mabet #3, property owners of record.

**ADMINISTRATIVE DETERMINATION:** The Planning Director approves the above-described Final Plat based upon the certification in the body of this report.

### KEY POINTS

- Platting is required prior to development of the property.
- This application includes both platted and unplatted land.
- Previously platted open space will remain as a tract or as an easement with this application.
- There are no new streets proposed with this application.
- The Final Plat includes a technical dedication of right-of-way along Bob Billings Parkway.

### SUBDIVISION CITATIONS TO CONSIDER

- This application is being reviewed under the Subdivision Regulations for Lawrence and Unincorporated Douglas County, effective Jan 1, 2012.

### ASSOCIATED CASES

- PP-17-00078; Preliminary Plat approved by the Planning Commission on April 24, 2017 subject to conditions of approval. These conditions of approval have been met.

### OTHER ACTION REQUIRED

- City Commission acceptance of dedication of easements and right-of-way as shown on the drawing.
- There are no public improvement plans associated with this project.
- Recordation of final plat at the Douglas County Register of Deeds.
- Administrative review and approval of site plan. Following approval, the site plan will be released to Development Services for processing of building permits.
- A building permit must be obtained prior to development.

### PLANNING DIRECTOR CERTIFICATION (Section 20-809(m))

The Final Plat conforms to the content requirements of Section 20-809 of the Subdivision Regulations and is consistent with the Preliminary Plat (PP-17-00078) approved by the Planning Commission. The Planning Director hereby approves the Final Plat and certifies that the final plat:

- (i). Conforms to the Preliminary Plat previously approved by the Planning Commission.**  
The Final Plat is in conformance with the Preliminary Plat previously approved by the Planning Commission.
- (ii). Satisfies any conditions of approval imposed by the Planning Commission.**  
The Planning Commission approved the Preliminary Plat with two conditions to revise various notes on the face of the drawing. The applicant provided a revised drawing that met all conditions. There are no conditions that would be applicable to this Final Plat.

- (iii). **Includes the same dedications subject to minor technical adjustments as described in Section 20-809(m)(2)(i)(a) through (d)**  
The Final Plat includes the same dedications shown on the revised Preliminary Plat.
- (iv). **Represents a plat for which all required public improvements have been completed or for which adequate guarantee of improvements has been provided.**  
There are no public improvements associated with this project. The Final Plat shows the dedication of additional right-of-way for the portion of Tract D that is located along the public street (Bob Billings Parkway). This dedication is intended to meet the minimum right-of-way requirement for an arterial street. There are no plans to modify the street at this time. This dedication was made in lieu of seeking a variance from the minimum right-of-way design standard.
- (v). **Is otherwise consistent with the requirements of the Subdivision Regulations for a final plat.**  
The final plat is consistent with all Final Plat requirements of the Subdivision Regulations.

## **STAFF REVIEW**

### **Compliance with Preliminary Plat**

The final plat conforms to the Preliminary Plat [PP-17-00078].

### **Street and Access**

Lots 1-3 are adjacent to public streets with direct access for future development. This project includes the dedication of additional right-of-way for Tract D that abuts Bob Billings Parkway. There are no proposed changes or improvements to the street. This dedication will meet the minimum technical design requirement for total street width for *Principal Arterial Street*.

Tracts B, C and D are adjacent to public right-of-way. Tract A is not adjacent to a public street. Development is not permitted on Tracts A-D. A 15' pedestrian/utility easement between Lots 17 and 18, Ironwood North Subdivision provides access to the tract if future pedestrian access is developed in this area.

### **Utilities and Infrastructure**

Existing utilities and infrastructure currently serve the property included in this Final Plat.

### **Easements and Rights-of-way**

Easements are being dedicated as shown on the Final Plat. Additional public right-of-way is proposed for Bob Billings Parkway as shown on the Final Plat. Tracts C and D are noted as drainage easements on the face of the drawing.

### **Public Improvements**

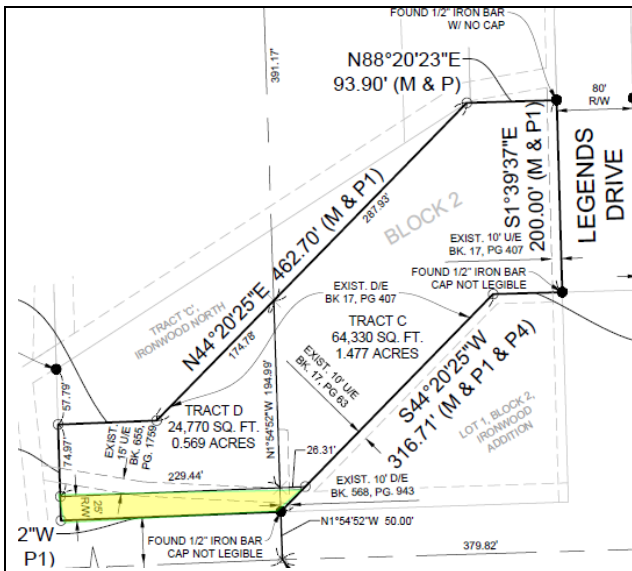
There are no public improvements associated with this project.

### **Master Street Tree Plan**

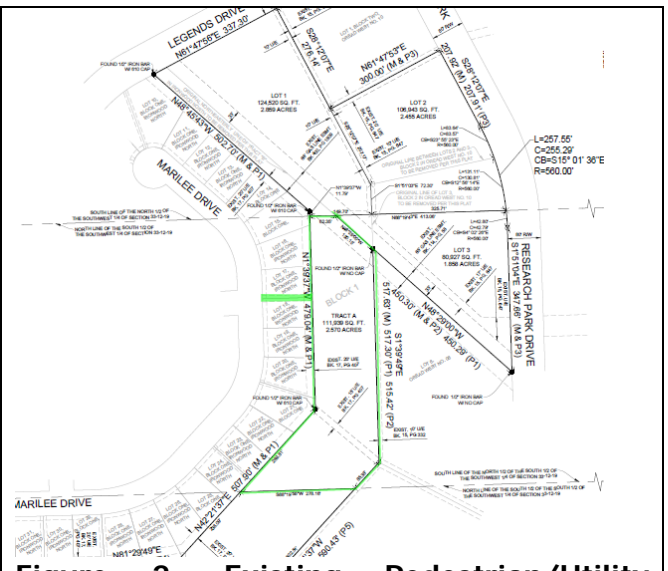
The Master Street Tree Plan and graphic includes the required number of trees along adjacent public streets has been provided.

## **CONCLUSION**

This Final Plat is consistent with the approved Preliminary Plat. There are no conditions of approval.



**Figure 1: Proposed ROW Dedication**



**Figure 2: Existing Pedestrian/Utility Easement.**

### Site Summary

Additional Right-of-Way:

25' along Bob Billings Parkway west of Legends Drive adjacent to Tract D

Parcel	SF	Acres	Zoning	Notes
Lot 1	124,520	2.859	IBP	
Lot 2	106,943	2.455	IBP	
Lot 3	80,927	1.858	IBP	
Tract A	111,939	2.570	IBP	Adjacent to RS7 to the west – Adjacent to IBP to the east. Development Prohibited.
Tract B	208,770	4.793	IBP	Adjacent to RS7 to the west – Adjacent to IBP to the east. Development Prohibited.
Tract C	64,330	1.477	RS0/RS20	Adjacent to RM12D and RSO. Located west of Legends Drive. Development Prohibited.
Tract D	24,770	0.569	RS7/RM12D	Adjacent to RM12D, OS and RSO. Located west of Legends Drive. Development Prohibited.