

1101 INDIANA ST.

LAWRENCE, KS

PROJECT NOTES

DEVELOPER

HERE Kansas Property Owner, LLC
161 N. Clark, Chicago, IL 60601
p. 312 642 0170
jwh@here-llc.com

LEGAL DESCRIPTION

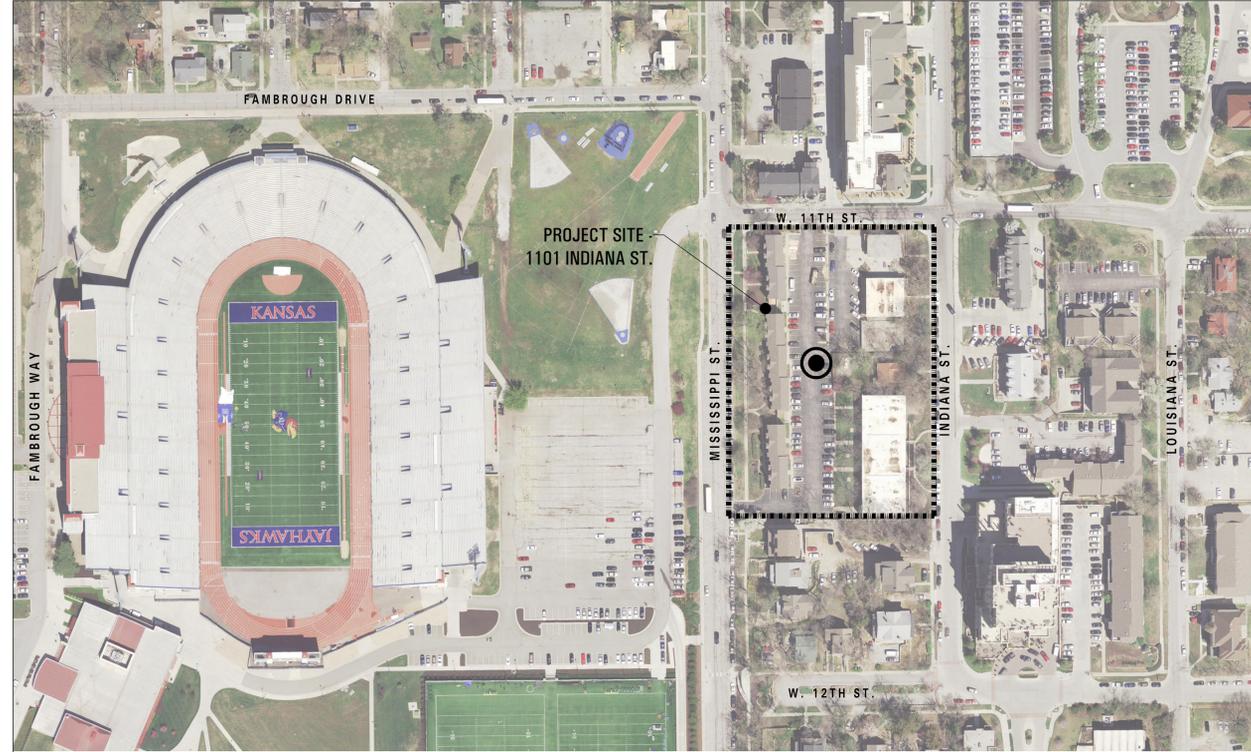
Lots 1, Block One, HERE Addition, a subdivision in the City of Lawrence, Douglas County, Kansas.

PROPERTY OWNERS OF RECORD

ADDRESS: 1101 INDIANA STREET
PARCEL: 023-067-36-0-40-02-001.06-0
OWNER: HERE Kansas Property Owner, LLC
OWNERS:
ADDRESS: 161 N. Clark, Chicago, IL 60601

GENERAL NOTES

- NO BALCONIES ARE PROPOSED ON THIS PROJECT.
- ALL ACCESSIBLE SIDEWALK RAMPS PER ADA STANDARDS.
- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO EXCAVATION.
- SWIMMING POOL SHALL COMPLY WITH CITY CODE CHAPTER 19, ARTICLE 11, IF PROVIDED.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH SECTION 20 1006 (b) OF THE LAND DEVELOPMENT CODE.
- ALL EXISTING BUILDINGS AND STRUCTURES CURRENTLY ON THE SITE ARE PROPOSED TO BE DEMOLISHED.
- THIS SITE PLAN IS INTENDED TO COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDING, PARKING, AND PEDESTRIAN ACCESS.
- PER CITY CODE SECTION 9-902, THE OUTDOOR DINING AREA WILL BE MANAGED TO PREVENT STORMWATER POLLUTION. FOOD WASTE, TRASH, CIGARETTES, AND OTHER SOLID WASTES WILL BE COLLECTED AND DISPOSED OF PROPERLY. COLLECTION MUST BE FREQUENT ENOUGH TO PREVENT WASTES CARRIED OFF BY WIND OR STORMWATER RUNOFF. PAVEMENT AND FURNISHINGS MUST BE CLEANED FREQUENTLY ENOUGH TO -
- PREVENT CONTAMINATION OF STORMWATER RUNOFF, FLUID WASTE, INCLUDING WASTEWATER FROM PAVEMENT OR FURNITURE CLEANING, WILL BE COLLECTED AND DISCHARGED TO THE SANITARY SEWER SYSTEM.
- OCCUPANCY PERMITS FOR PROPOSED BUILDINGS WILL NOT BE ISSUED UNTIL THE REQUIRED PUBLIC DRAINAGE IMPROVEMENTS ARE COMPLETE, FINAL INSPECTED, AND ACCEPTED BY THE PUBLIC WORKS DEPARTMENT.
- APPLICANT SHALL SUBMIT LIGHTING DETAILS INCLUDING A POINT-BY-POINT PHOTOMETRIC PLAN FOR STAFF REVIEW PRIOR TO INSTALLATION OF EXTERIOR FIXTURES TO DEMONSTRATE COMPLIANCE WITH SECTION 20-1103 OF THE LAND DEVELOPMENT CODE.
- IT WILL BE THE RESPONSIBILITY OF THE OWNER/MANAGEMENT COMPANY TO HAVE TRASH AND RECYCLING CONTAINERS IN THE DRIVE LINE AREA FOR SERVICE ON DAYS OF PICKUP. THE SOLID WASTE DIVISION WILL NOT GO INTO THE TRASH ROOMS TO RETRIEVE OR RETURN THE TRASH AND RECYCLING CONTAINERS.
- THIS DEVELOPMENT SHALL PROVIDE AND MAINTAIN FOR GREEN ROOF FOR STORMWATER RUNOFF PER THE APPROVAL OF THE CITY STORMWATER ENGINEER.
- CONSTRUCTION OF STRUCTURE SHALL BE LEED CERTIFIABLE.
- CONSTRUCTION OF RESIDENTIAL UNITS/STRUCTURE SHALL BE ENERGY STAR CERTIFIABLE.



LOCATION MAP

SCALE: N.T.S.

PROJECT DATA

	PROPOSED	NOTES
UNDERLYING ZONE USES	MU (PLANNED DEVELOPMENT) RESIDENTIAL/ RETAIL	
SITE AREA	110,120 SF (2.53 ACRES)	REFER TO PLANS FOR AREA SUMMARY.
GROSS BUILDING AREA	454,333 SF	(W/O OPEN SPACE, REC OPEN + OUTDOOR AMENITY)

	EXISTING / REQUIRED	PROPOSED	CHANGE	NOTES
SITE SUMMARY	MU PLANNED DEVELOPMENT RESIDENTIAL	MU PLANNED DEVELOPMENT RESIDENTIAL	-	
LAND USE	PARKING	PARKING	-	
		RETAIL	-	
		MECH/STORAGE	-	
		RESIDENTIAL AMENITY	-	
LAND AREA (SQ FT)				
RESIDENTIAL	40 UNITS/ ACRE	68 UNITS/ ACRE	+ 28 UNITS/ ACRE	1-BD = 0.4 unit; 2-BD = 0.6 unit; 3-BD = 0.8 unit; 4+BD = 1 unit
# OF UNITS (ACTUAL)	103 UNITS	237 UNITS	+ 134 UNITS	56 (1 bed) x 0.4 = 22
# OF UNITS (PER ZONING CALCULATION)	95 UNITS	172 UNITS	+ 77 UNITS	67 (2 bed) x 0.6 = 40
NON GROUND FLOOR DWELLING UNITS	-	237 UNITS	+ 237 UNITS	22 (3 bed) x 0.8 = 18
LIVE/WORK DWELLING UNITS	-	2 UNITS	+ 2 UNITS	92 (4 bed) x 1.0 = 92
OFF STREET PARKING PROVIDED	165 SPACES	510 SPACES	+ 345 SPACES	
		126,220 SF	+ 126,220 SF	
		0 SF	+ 13,561 SF	
RETAIL - SALES	-	-	-	
RETAIL - EATING AND DRINKING	-	13,561 SF	+ 13,561 SF	
MECH/STORAGE	-	27,965 SF	+ 27,965 SF	
RESIDENTIAL AMENITY	-	19,863 SF	+ 19,863 SF	
RESIDENTIAL OFFICE	-	2,104 SF	+ 2,104 SF	
COMMON OPEN SPACE	-	33,387 SF	+ 33,387 SF	
RECREATIONAL OPEN SPACE	-	24,039 SF	+ 24,039 SF	
OUTDOOR AREA	50 SF/UNIT	15,687 SF (66 SF/UNIT)	+ 16 SF/UNIT	
TOTAL BUILDING AREA	25,476 SF	54,750 SF	+ 29,274 SF	
	23%	49.7%	+ 26.7%	
TOTAL PAVEMENT	44,282 SF	15,000 SF	- 29,442 SF	
	40%	13.6%	- 26.4%	
TOTAL IMPERVIOUS AREA (SQ FT)	69,758 SF	69,750 SF	- 8 SF	
% IMPERVIOUS	63%	63%	- 0%	
TOTAL PERVIOUS AREA (SQ FT)	40,362 SF	40,370 SF	+ 8 SF	
% PERVIOUS	37%	37%	+ 0%	
TOTAL SITE AREA	110,120 SF	110,120 SF	0	
	100%	100%	0	

USE	REQUIREMENT	SPACES REQUIRED	SPACES PROVIDED	NOTES
UNIT PARKING	1 / BEDROOM	624	-	
GUEST PARKING	1 / 10 UNITS	18	-	
RETAIL PARKING				
1ST FLOOR (RESTAURANT)	1/100 SF DINING ROOM + 10 EMPLOYEES (EST.)	40		
3RD (RESTAURANT)	1/100 SF DINING ROOM + 10 EMPLOYEES (EST.)	33		
5TH (RESTAURANT)	1/100 SF DINING ROOM + 10 EMPLOYEES (EST.)	33		
OFF STREET PROVIDED (VALET)	-	-	510	
ON STREET PROVIDED	-	-	106	
OFF-SITE SHARED PARKING	-	-	96	
DEVELOPMENT BONUS POINTS SHARED PARKING	-1 SPACE / 5 POINTS	-1		
	5% OF PARKING PROVIDED	-36		
TOTAL		711	712	
UNIT BIKE STORAGE	1 / 4 PARKING SPACES	156	156	
GUEST BIKE STORAGE	1 / 10 UNITS	18	50	
RETAIL STORAGE	5 PER TENANT SPACE	16	INCLUDED IN GUEST	
TOTAL		190	206	

LEGEND

	ELEVATION MARKING		ROOM		BATT, INSUL OR SOUND ATTN BLANKET		MORTAR, GROUT
	REVISION		PARTITION TYPE		BRICK (SECTION)		THINSET OR CEMENT PLASTER
	LARGE SCALE DETAIL		DOOR MARK		BRICK (ELEVATION)		GYPSUM BOARD
	DETAIL SHEET NUMBER		EXISTING CONSTRUCTION TO REMAIN		CARPET		METAL LATH & PLASTER
	SECTION SHEET NUMBER		NEW PARTITION - SEE PLANS FOR TYPE		CONCRETE		PLYWOOD
	ELEVATION SHEET NUMBER		EXISTING CONSTRUCTION TO BE REMOVED		CONCRETE BLOCK		QUARRY TILE OR CERAMIC TILE
			ACOUSTIC TILE		GLASS (ELEVATION)		RIGID INSULATION
			ALUMINUM		GLASS (SECTION)		STEEL
							WOOD FINISH
							WOOD ROUGH OR FRAMING

BUILDING AREA BY FLOOR											
SHEET	FLOOR	OPEN SPACE	REC. OPEN SPACE	OUTDOOR AMENITY	RETAIL	PARKING	MECHANICAL	RESIDENTIAL	RESIDENTIAL AMENITY	RESIDENTIAL OFFICE	TOTAL
FDP-01		33,387	24,039								33,387
FDP-04	1ST				5,882	50,297	6,386	2,173			64,738
FDP-05	2ND					75,923	1,036	1,508			78,467
FDP-06	3RD			15,720	5,214		8,798	31,706	14,828	750	61,296
FDP-07	4TH						1,919	34,312	5,035	1,354	42,620
FDP-08	5TH				2,465		3,475	54,518			60,458
FDP-09	6TH						2,761	55,539			58,300
FDP-10	7TH						2,761	58,056			60,817
FDP-11	8TH						829	26,808			27,637
											487,720
TOTAL		33,387	24,039	15,720	13,561	126,220	27,965	264,620	19,863	2,104	454,333

(W/O OPEN SPACE, + OUTDOOR AMENITY)

AREA FOR CITY APPROVAL STAMP

DRAWING LIST

FDP-01	PROJECT DATA & LOCATION PLAN
FDP-02	LAYOUT PLAN
FDP-03	GRADING PLAN
FDP-04	UTILITY PLAN
FDP-05	LANDSCAPE PLAN
FDP-06	FIRST FLOOR
FDP-07	SECOND FLOOR
FDP-08	THIRD FLOOR
FDP-09	FOURTH FLOOR
FDP-10	FIFTH FLOOR
FDP-11	SIXTH FLOOR
FDP-12	SEVENTH FLOOR
FDP-13	SEVENTH UPPER FLOOR
FDP-14	ROOF
FDP-15	ELEVATIONS
FDP-16	ELEVATIONS
FDP-17	ENLARGED ELEVATIONS
EP-1.0	PHOTOMETRIC ANALYSIS

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect immediately of any discrepancies or conflicts. Contractor shall construct the work in conformance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval on conformity to Architectural design intent.

A written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scope pertinent to all disciplines occurs throughout the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors attest that they have reviewed the entire contract document set and site conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.

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HERE KANSAS

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1101 INDIANA ST
LAWRENCE, KS

DATE	ISSUED FOR
07/02/14	PDP RESUBMITTAL
08/06/14	PDP RESUBMITTAL
08/27/14	PDP RESUBMITTAL
09/29/14	FDP SUBMITTAL
11/14/14	FDP RESUBMITTAL
02/02/15	FDP RESUBMITTAL
02/12/15	FDP RESUBMITTAL
03/20/15	FDP RESUBMITTAL
05/15/15	FDP RESUBMITTAL
06/05/15	FDP RESUBMITTAL
12/21/15	FDP REVISION
01/15/16	FDP RESUBMITTAL

HARTSHORNE PLUNKARD ARCHITECTURE



PROJ. # 1324 SCALE:
CK. BY: JM DN. BY: KE, NS, JP

PROJECT DATA & LOCATION PLAN





4 WEST SITE ELEVATION
SCALE: 1"=40'-0"

3 WEST ELEVATION
SCALE: 1"=20'-0"

AREA FOR CITY APPROVAL STAMP
MATERIAL LEGEND:

- 01 FACE BRICK
- 02 CAST STONE BANDING
- 03 METAL PANEL
- 04 FIBER CEMENT PANEL
- 05 METAL COPING
- 06 ALUMINUM WINDOW WALL
- 07 CAST STONE SILL
- 08 ALUMINUM WINDOW
- 09 ALUMINUM CURTAIN WALL
- 10 ALUMINUM STOREFRONT
- 11 DECORATIVE STEEL 'C' CHANNEL
- 12 OVER-HEAD GARAGE DOOR
- 13 DECORATIVE BRICK
- 14 CAST STONE

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1101 INDIANA ST
LAWRENCE, KS

DATE	ISSUED FOR
06/11/14	PDP RESUBMITTAL
07/02/14	PDP RESUBMITTAL
08/06/14	PDP RESUBMITTAL
08/27/14	PDP RESUBMITTAL
09/29/14	FDP SUBMITTAL
11/14/14	FDP RESUBMITTAL
02/02/15	FDP RESUBMITTAL
03/20/15	FDP RESUBMITTAL
05/15/15	FDP RESUBMITTAL
01/14/16	FDP RESUBMITTAL

HARTSHORNE PLUNKARD ARCHITECTURE



PROJ. # 1324 SCALE: VARIES
CK. BY: JM DN. BY: KF, NS, JP

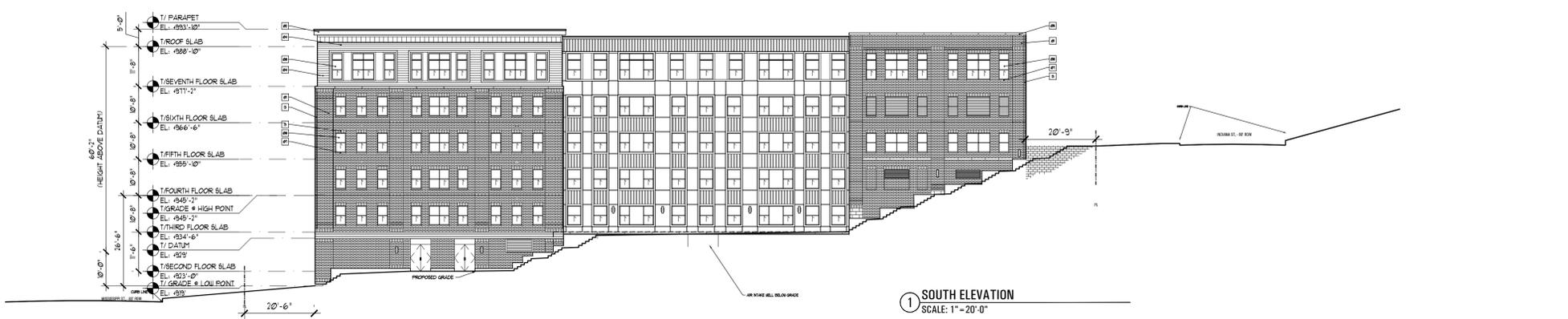
ELEVATIONS

FDP-16



2 SOUTH SITE ELEVATION
SCALE: 1"=40'-0"

1 SOUTH ELEVATION
SCALE: 1"=20'-0"



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KEYED NOTES:

- 1 REFER TO PUBLIC IMPROVEMENT PLANS (PW1417 & PW1534) FOR LOCATIONS, DIMENSIONS AND DETAILS OF ALL STREET IMPROVEMENTS TO MISSISSIPPI STREET AND INDIANA STREET, INCLUDING PAVEMENTS, CURB AND GUTTER, DRIVEWAYS, ANGLED PARKING STALLS, SIDEWALKS, STRIPING AND UTILITIES.
- 2 REFER TO PUBLIC IMPROVEMENT PLANS (PW1534) FOR LOCATIONS, DIMENSIONS AND DETAILS OF ALL STREET IMPROVEMENTS TO 11th STREET, INCLUDING PAVEMENTS, CURB AND GUTTER, DRIVEWAYS, SIDEWALKS, STRIPING AND UTILITIES.
- 3 HVAC AIR INTAKE VAULT W/ ACCESSIBLE METAL GRATE COVER
- 4 PEDESTRIAN CONNECTION BETWEEN INDIANA STREET AND MISSISSIPPI STREET TO BE INSTALLED AT 6' WIDE WITH 4" THICK CONCRETE.
- 5 CONCRETE TRANSFORMER PAD WITH ASSOCIATED ENCLOSURE; ENCLOSURE TO BE 6' HIGH WOOD FENCE; 3' OF CLEARANCE TO BE PROVIDED ON ALL SIDES OF TRANSFORMER; COORDINATE SERVICE CONNECTION WITH WESTAR ENERGY.
- 6 OUTDOOR TERRACES, RETAIL, RESIDENTIAL AND EMERGENCY ENTRANCES TO BE PAVED WITH 4" THICK CONCRETE.
- 7 CONCRETE RETAINING WALL W/ HANDRAIL, AS REQUIRED BY CODE; REFER TO GRADING PLAN FOR ELEVATIONS.
- 8 CONCRETE STEPS W/ HANDRAILS, AS REQUIRED BY CODE.
- 9 CONCRETE PLANTER WALL; REFER TO GRADING PLAN FOR ELEVATIONS.
- 10 EXISTING CONCRETE RETAINING WALL TO REMAIN
- 11 BUILDING ENTRY AND OR EXIT
- 12 CONCRETE PAD FOR 25 BIKE PARKING SPACES; REFER TO PUBLIC IMPROVEMENT PLANS (PW1417) FOR DETAILS.
- 13 PARKING METER PAY STATION, TYP.
- 14 PARKING SPACE SIGN, TYP.
- 15 ACCESSIBLE PARKING SPACES AND AISLE

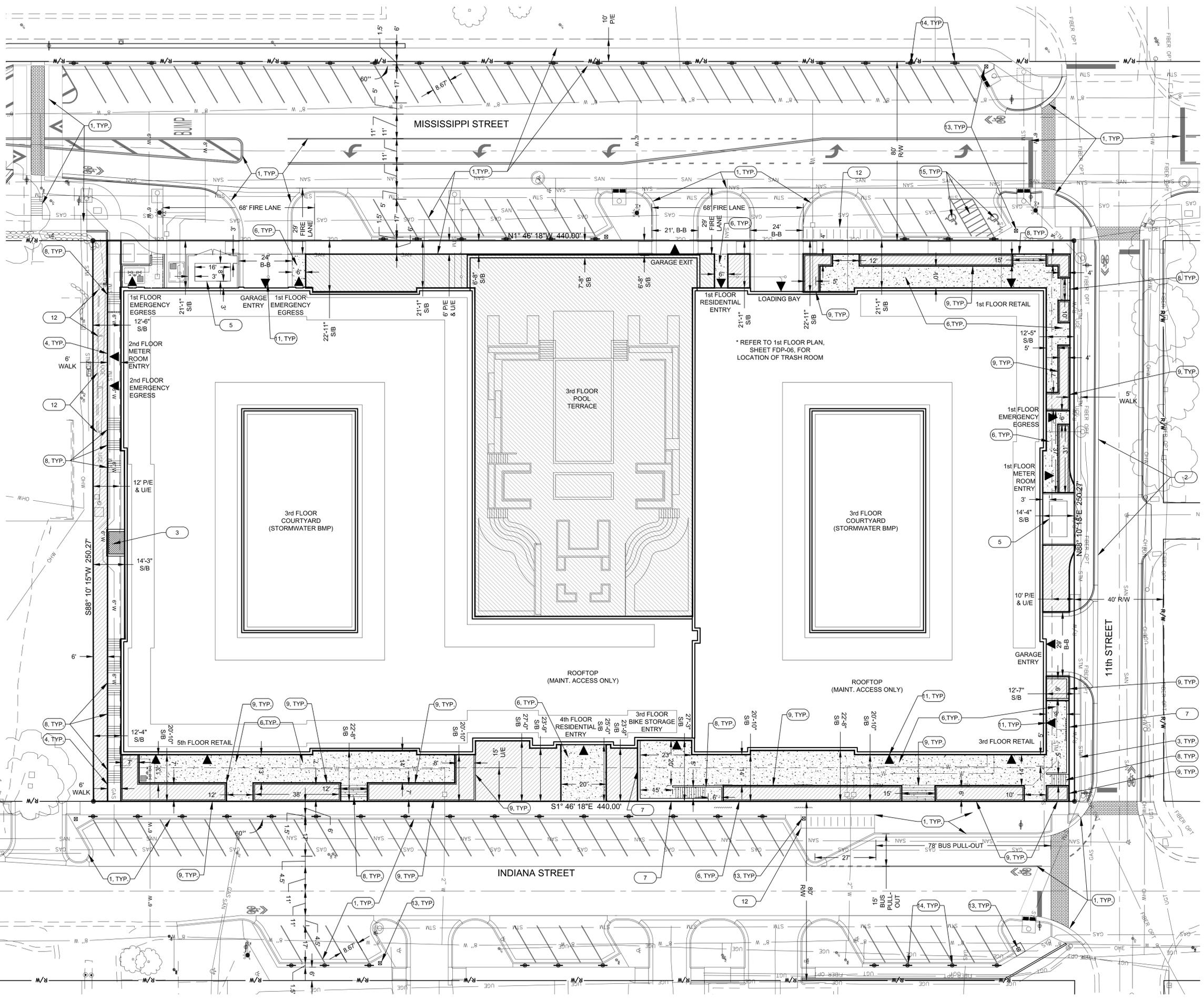
SETBACK SUMMARY:

BUILDING FACE	SETBACK
NORTH	83'-0" @ 12'-5" 73'-8" @ 14'-4" 51'-8" @ 12'-7"
AVERAGE	208'-4" @ 13'-1"
EAST	224'-8" @ 20'-10" 93'-4" @ 22'-8" 48'-0" @ 27'-3" 28'-0" @ 23'-0" 20'-4" @ 25'-0"
AVERAGE	415'-0" @ 22'-8"
SOUTH	83'-0" @ 12'-6" 73'-8" @ 14'-3" 51'-8" @ 12'-4" 208'-4" @ 13'-0"
AVERAGE	208'-4" @ 13'-0"
WEST	216'-8" @ 21'-1" 93'-4" @ 22'-11" 58'-0" @ 6'-8" 47'-0" @ 7'-8"
AVERAGE	415'-0" @ 17'-11"
BUILDING TOTAL	1,246'-8" @ 17'-9"

OPEN SPACE SUMMARY:

	REQUIRED	PROPOSED
OPEN SPACE	22,024 SF (20%)	33,371 SF (30%)
REC. OPEN SPACE	11,012 SF (10%)	24,004 SF (22%)

NOTE: ALL EXTERIOR AT-GRADE SPACE, EXCEPT DRIVEWAYS AND LOADING SPACES, ARE TO BE DEVELOPED AS OPEN SPACE



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PLANNING & ENGINEERING
 LAWRENCE, KANSAS
 DIRECTOR OF LAWRENCE PLANNING AND DEVELOPMENT SERVICES

**1101 INDIANA STREET
 LAWRENCE, KANSAS 66044
 HERE @ KANSAS
 FINAL DEVELOPMENT PLAN
 LAYOUT PLAN**

REV	DATE	DESCRIPTION
1	12/27/14	PER DEPT. COMMENTS
2	2/27/15	PER DEPT. COMMENTS
3	5/15/15	PER DEPT. COMMENTS
4	5/15/15	PER DEPT. COMMENTS
5	12/21/15	11th STREET CURB CUT
6	1/15/16	PER DEPT. COMMENTS

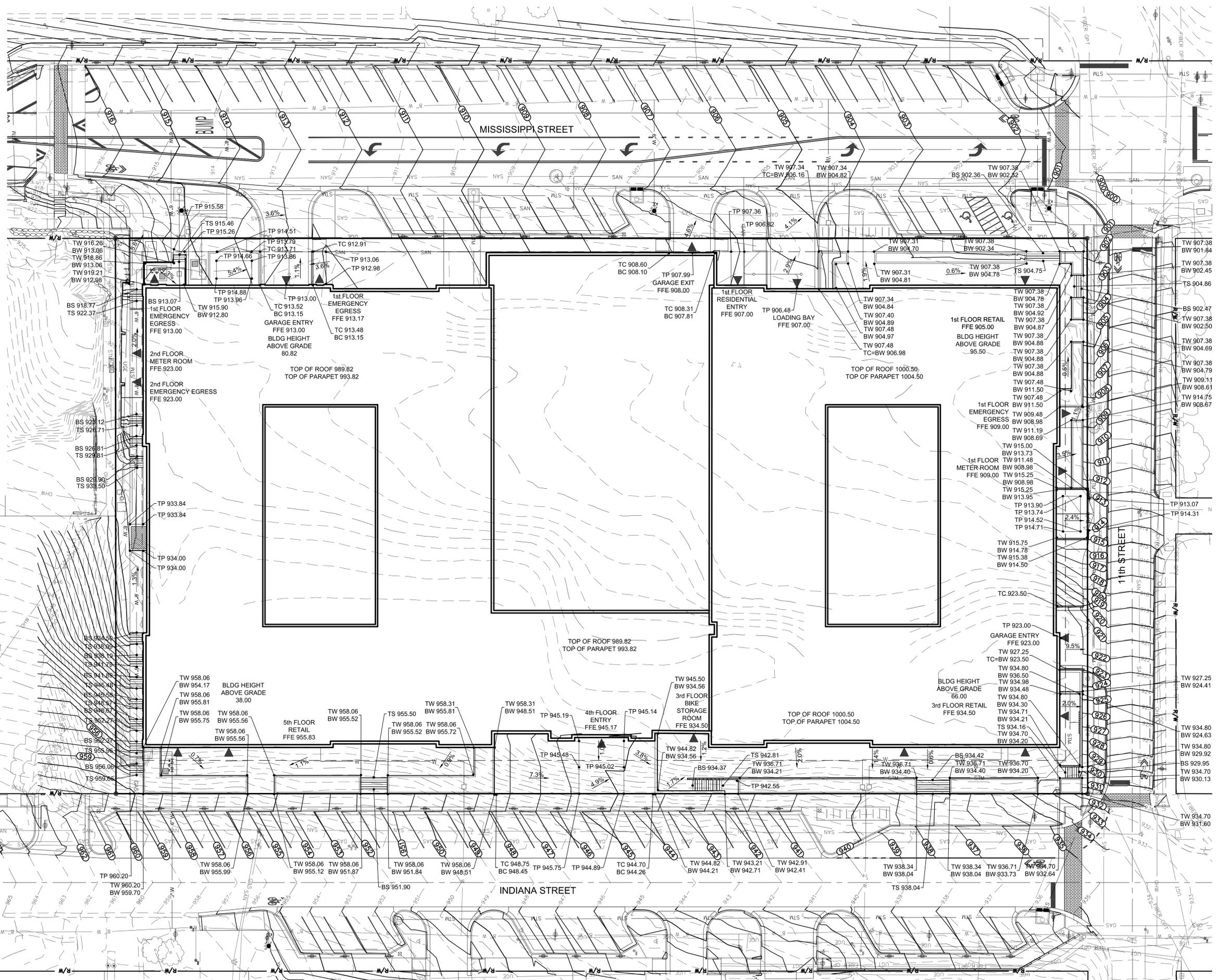
DATE: 10/3/14
 PROJECT NO.: 20132015
 DESIGNED BY: HPA/BS
 DRAWN BY: BS
 CHECKED BY: BS

FILE NAME: R:\20132015\CAD\Planning\FDP\132015C-FDP-GRAD.dwg LAST SAVED BY: Brian Sturm SAVED DATE: 1/14/2016 2:43 PM PLOTTED: 1/14/2016 3:00 PM

GRADING LEGEND:

- FFE FINISH FLOOR ELEVATION
- TC TOP OF CURB
- BC BOTTOM OF CURB
- TP TOP OF PAVEMENT
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TS TOP OF STEP
- BS BOTTOM OF STEP

SCALE: 1" = 20'



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PLANNING AND DEVELOPMENT SERVICES
 DIRECTOR CITY OF LAWRENCE PLANNING AND DEVELOPMENT SERVICES
 PLANNING COMMISSION
 PLANNING COMMISSION

**1101 INDIANA STREET
 LAWRENCE, KANSAS 66044
 HERE @ KANSAS
 FINAL DEVELOPMENT PLAN
 GRADING PLAN**

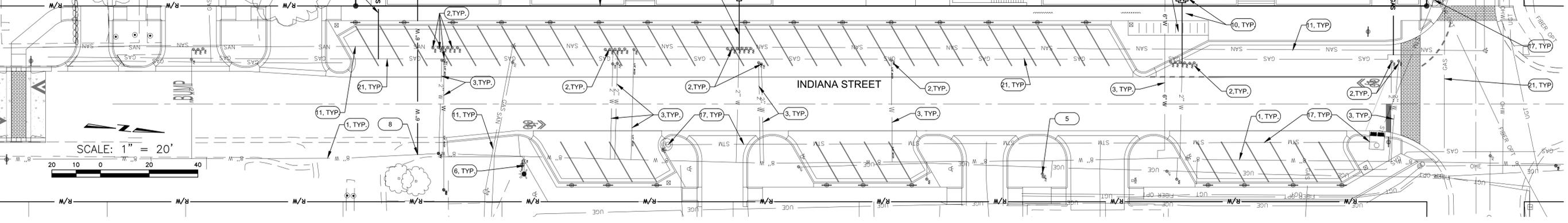
REV	DATE	DESCRIPTION
1	12/27/14	PER DEPT. COMMENTS
2	2/27/15	PER DEPT. COMMENTS
3	5/27/15	PER DEPT. COMMENTS
4	6/27/15	11th STREET CURB CUT
5	12/27/15	PER DEPT. COMMENTS
6	1/17/16	PER DEPT. COMMENTS

DATE:	10/3/14
PROJECT NO.:	20132015
DESIGNED BY:	HPA/LPE
DRAWN BY:	BS
CHECKED BY:	BS

FILE NAME: R:\20132015\CAD\Planning\FDP\132015C-FDP-UTIL.dwg LAST SAVED BY: Brian Sturm SAVED DATE: 1/13/2016 3:48 PM PLOTTED: 1/14/2016 2:52 PM

KEYED NOTES:

- 1 EXISTING 8" PVC WATERLINE TO REMAIN.
- 2 EXISTING WATER METER TO BE REMOVED. COORDINATE WITH THE CITY OF LAWRENCE UTILITY DEPARTMENT. SALVAGE EXISTING WATER METER TILE AND COVER AND BACKFILL METER PIT.
- 3 EXISTING WATER SERVICE LINE TO BE ABANDONED. COORDINATE WITH CITY OF LAWRENCE UTILITY DEPARTMENT TO DISCONNECT LINES AT THE WATER MAIN BY REMOVING CORPORATION STOPS AND TAPPING SADDLES AND REPLACING THEM WITH STAINLESS STEEL REPAIR CLAMPS. REFER TO PUBLIC IMPROVEMENT PLANS (PW1417 & PW1534) FOR DETAILS.
- 4 EXISTING FIRE HYDRANT TO BE REMOVED. COORDINATE WITH THE CITY OF LAWRENCE UTILITY DEPARTMENT TO SALVAGE EXISTING HYDRANT.
- 5 EXISTING FIRE HYDRANT TO REMAIN
- 6 INSTALL PUBLIC WATERLINE AND ASSOCIATED FIRE HYDRANT; REFER TO PUBLIC IMPROVEMENT PLANS (PW1417 & PW1534) FOR LOCATIONS AND DETAILS OF ALL PUBLIC WATERLINES, VALVES AND HYDRANTS.
- 7 COORDINATE WITH CITY OF LAWRENCE UTILITY DEPARTMENT TO INSTALL 4" DOMESTIC WATER TAP AND METER AND ASSOCIATED CONCRETE VAULT PER CITY STANDARDS. FIELD VERIFY THE EXACT LOCATION, SIZE AND DEPTH OF CONNECTION.
- 8 COORDINATE WITH CITY OF LAWRENCE UTILITY DEPARTMENT TO INSTALL 6" FIRE PROTECTION LINE AND ASSOCIATED DOUBLE-CHECK VALVE BACKFLOW PREVENTION DEVICE PER CITY STANDARDS. FIELD VERIFY THE EXACT LOCATION, SIZE AND DEPTH OF CONNECTION.
- 9 COORDINATE WITH CITY OF LAWRENCE UTILITY DEPT. TO INSTALL A 1.5" IRRIGATION TAP AND METER PER CITY STANDARDS. FIELD VERIFY THE EXACT LOCATION, SIZE AND DEPTH OF CONNECTION.
- 10 COORDINATE WITH CITY OF LAWRENCE UTILITY DEPT. TO INSTALL 1" DOMESTIC WATER TAPS AND METERS PER CITY STANDARDS. FIELD VERIFY THE EXACT LOCATION, SIZE AND DEPTH OF CONNECTION.
- 11 EXISTING 8" SANITARY SEWER MAIN TO REMAIN.
- 12 EXISTING 8" SANITARY SEWER MAIN AND MANHOLE TO BE REMOVED; REFER TO PUBLIC IMPROVEMENT PLANS (PW1534) FOR DETAILS.
- 13 EXISTING SANITARY SEWER MANHOLE TO REMAIN; COORDINATE WITH CITY OF LAWRENCE UTILITY DEPT. TO CAP THE ABANDONED SOUTH LINE AND FILL WITH FLOWABLE MORTAR, AS NEEDED; REFER TO PUBLIC IMPROVEMENT PLANS (PW1534) FOR DETAILS.
- 14 INSTALL 8" PUBLIC SANITARY SEWER MAIN AND ASSOCIATED MANHOLES; REFER TO PUBLIC IMPROVEMENT PLANS (PW1534).
- 15 EXISTING SAN. SEWER SERVICE LINE TO BE REMOVED. COORDINATE WITH CITY OF LAWRENCE UTILITY DEPT. TO EXPOSE, DISCONNECT AND CAP SERVICES W/IN 18" OF THE SANITARY SEWER MAIN. CAP SHALL BE ENCASED IN CONCRETE. REMOVE REMAINING ABANDONED SERVICES DURING EXCAVATION.
- 16 COORDINATE WITH CITY OF LAWRENCE UTILITY DEPARTMENT TO CONNECT 6" SCH. 40 PVC SAN. SEWER SERVICE LINE TO EXISTING MAIN. FIELD VERIFY EXACT LOCATION AND INVERT ELEVATION.
- 17 INSTALL PUBLIC STORM SEWER MAIN AND ASSOCIATED JUNCTION BOXES AND CURB INLETS; REFER TO PUBLIC IMPROVEMENT PLANS (PW1417) FOR LOCATIONS AND DETAILS OF ALL PUBLIC STORM SEWER AND STRUCTURES
- 18 COORDINATE WITH CITY OF LAWRENCE PUBLIC WORKS DEPT. TO CONNECT PRIVATE 15" HOPE STORM SEWER TO PROP. PUBLIC JUNCTION BOX.
- 19 INSTALL TRENCH DRAINS AND ASSOCIATED 4" PVC STORM LINE TO CONVEY TERRACE RUN-OFF TO PLANTER BOX, AS SHOWN
- 20 EXISTING 2" PLASTIC GAS MAIN TO REMAIN.
- 21 EXISTING 4" PLASTIC GAS MAIN TO REMAIN.
- 22 COORDINATE WITH BLACK HILLS ENERGY FOR THE INSTALLATION OF UNDERGROUND GAS SERVICE PIPING AND INSTALLATION OF THE GAS METER AT THE LOCATION SHOWN.
- 23 EXISTING OVERHEAD WIRE AND ASSOCIATED UTILITY POLES TO BE REMOVED. COORDINATE WITH WESTAR ENERGY, AT&T AND WIDE OPEN WEST (WOW) ON REMOVAL AND ANY RECONNECTIONS TO TEMPORARILY SERVE ADJACENT CUSTOMERS
- 24 COORDINATE WITH WESTAR, AT&T AND WOW TO PROVIDE UNDERGROUND JOINT TRENCH AND ANY NEW POLES ASSOCIATED WITH ELECTRIC, TELEPHONE AND CABLE FACILITIES. TRENCH DIMENSIONS MUST CONFORM TO WESTAR, AT&T AND WOW SPECIFICATIONS. COORDINATE FINAL JOINT TRENCH LAYOUT WITH ALL UTILITIES.
- 25 TENTATIVE LOCATION OF 8'x16' CONCRETE TRANSFORMER PAD AND ASSOCIATED 6' TALL ENCLOSURE. COORDINATE FINAL LOCATIONS AND SERVICE CONNECTIONS WITH WESTAR ENERGY.
- 26 EXISTING FIBER OPTIC LINE TO REMAIN
- 27 HVAC AIR INTAKE VAULT W/ ACCESSIBLE METAL GRATE COVER



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PLANS: LAWRENCE DOUGLAS COUNTY METROPOLITAN PLANNING COMMISSION
 DIRECTOR: CITY OF LAWRENCE PLANNING AND DEVELOPMENT SERVICES

**1101 INDIANA STREET
 LAWRENCE, KANSAS 66044
 HERE @ KANSAS
 FINAL DEVELOPMENT PLAN
 UTILITY PLAN**

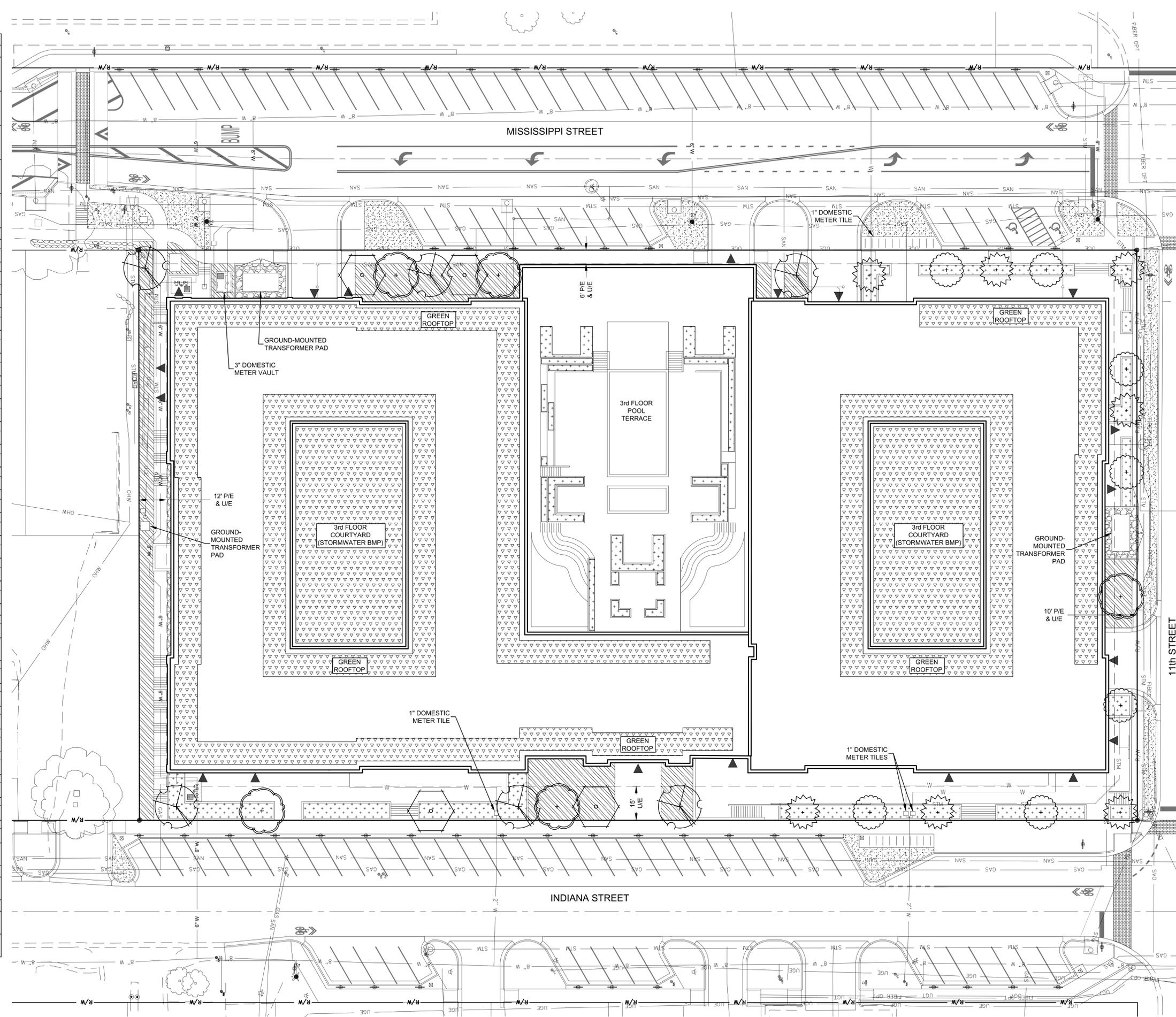
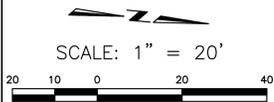
REV	DATE	DESCRIPTION
1	12/27/14	PER DEPT. COMMENTS
2	2/27/15	PER DEPT. COMMENTS
3	5/15/15	PER DEPT. COMMENTS
4	5/15/15	PER DEPT. COMMENTS
5	12/23/15	11th STREET CURB CUT
6	1/15/16	PER DEPT. COMMENTS

DATE: 10/3/14
 PROJECT NO.: 20132015
 DESIGNED BY: HPA/LPE
 DRAWN BY: BS
 CHECKED BY: BS

FILE NAME: R:\2013\2015\CAD\Planning\FDP\132015C-FDP-LSCP.dwg LAST SAVED BY: Brian Sturm SAVED DATE: 1/13/2016 5:02 PM PLOTTED: 1/14/2016 2:52 PM

PLANT SCHEDULE:

SYMBOL	QTY.	NAME	SIZE	COND.	
STREET TREES					
	6	ACER RUBRUM 'RED SUNSET' RED SUNSET MAPLE	2.5" CAL.	B&B	
	7	CERCIS CANADENSIS EASTERN REDBUD	2.5" CAL.	B&B	
	7	MAGNOLIA 'JANE' JANE MAGNOLIA	2.5" CAL.	B&B	
	5	PLATANUS x ACERIFOLIA 'BLOODGOOD' LONDON PLANETREE	2.5" CAL.	B&B	
	4	TILIA AMERICANA 'REDMOND' REDMOND LINDEN	2.5" CAL.	B&B	
AT-GRADE SHRUB & GROUNDCOVER MIX					
	4,900 SF	CORNUS STOLONIFERA 'ARCTIC FIRE' DOGWOOD	5 GAL.	CONT.	
		COTONEASTER HORIZONTALIS ROCK COTONEASTER	3 GAL.	CONT.	
		FORSYTHIA x INTERMEDIA 'LYNWOOD GOLD' FORSYTHIA	5 GAL.	CONT.	
		HEMEROCALLIS x 'HAPPY RETURNS' 'HAPPY RETURNS' DAYLILY	1 GAL.	CONT.	
		HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' OAKLEAF HYDRANGEA	5 GAL.	CONT.	
		ILEX VERTICILLATA 'WINTER RED' 'WINTER RED' WINTERBERRY HOLLY	5 GAL.	CONT.	
		JUNIPERUS CHINENSIS 'SEA GREEN' 'SEA GREEN' JUNIPER	5 GAL.	CONT.	
		LIRIOPE MUSCARI 'BIG BLUE' 'BIG BLUE' LIRIOPE	1 GAL.	CONT.	
		MISCANTHUS SINENSIS 'GRACILLIMUS' MAIDEN GRASS	3 GAL.	CONT.	
		PENNISETUM ALOPECUROIDES 'HAMELN' HAMELN DWARF FOUNTAIN GRASS	3 GAL.	CONT.	
		PHYSOCARPUS OPLIFLIPIUS 'SEWARD' SUMMER WINE NINEBARK	5 GAL.	CONT.	
		RUDEBECKIA FULGIDA 'GOLDSTRUM' 'GOLDSTRUM' BLACK-EYED SUSAN	1 GAL.	CONT.	
		SCHIZACHYRIUM SCOPARIUM LITTLE BLUESTEM	3 GAL.	CONT.	
		SPOROBOLUS HETEROLEPIS PRAIRIE DROPSIED	3 GAL.	CONT.	
		VIBURNUM PRUNIFOLIUM BLACKHAW VIBURNUM	5 GAL.	CONT.	
		TAXUS x MEDIA 'DENSIFORMIS' DENSIFORMIS YEW	5 GAL.	CONT.	
	RAISED PLANTER SHRUB, PERENNIAL & GROUNDCOVER MIX				
		4,000 SF	ACHILLEA x 'MOONSHINE' 'MOONSHINE' YARROW	1 GAL.	CONT.
		AJUGA TENORII 'CHOCOLATE CHIP' 'CHOCOLATE CHIP' BUGLEWEED	PLUG	FLAT	
		COREOPSIS VERTICILLATA 'MOONBEAM' 'MOONBEAM' THREADLEAF TICKSEED	1 GAL.	CONT.	
		BUXUS MICROPHYLLA 'WINTERGREEN' 'WINTERGREEN' BOXWOOD	5 GAL.	CONT.	
		FOTHERGILLA GARDENII x MAJOR 'BLUE SHADOW' FOTHERGILLA	5 GAL.	CONT.	
		HEUCHERA x 'PALACE PURPLE' 'PALACE PURPLE' CORAL BELLS	1 GAL.	CONT.	
		HOSTA x 'BLUE ANGEL' 'BLUE ANGEL' PLANTAIN LILY	1 GAL.	CONT.	
		ITEA VIRGINICA 'HENRY'S GARNET' 'HENRY'S GARNET' SWEETSPIRE	5 GAL.	CONT.	
		MUHLENBERGIA CAPILLARIS PINK MUHLY GRASS	1 GAL.	CONT.	
		PACHYANDRA TERMINALIS JAPANESE SPURGE	1 GAL.	CONT.	
		VINCA MINOR 'MRS BOWLES' 'MRS. BOWLES' PERIWINKLE	PLUG	FLAT	
GREEN ROOF					
		30,825 SF	OMNI ECOSYSTEMS (BRAND) PROPRIETARY SEDUM MIX	N/A	TRAY
GROUNDCOVER					
		3,890 SF	TURF-TYPE TALL FESCUE	N/A	SOD
	640 SF	RIVER ROCK	4" DIA.	N/A	



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PAUL LAWRENCE DAVIS KANSAS COUNTY METROPOLITAN PLANNING COMMISSION
 DIRECTOR CITY OF LAWRENCE PLANNING AND DEVELOPMENT SERVICES

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 LAWRENCE, KANSAS 66044
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 FINAL DEVELOPMENT PLAN
 LANDSCAPE PLAN**

REV	DATE	DESCRIPTION
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3	5/9/15	PER DEPT. COMMENTS
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ISSUE SHEET NO.
FDP-05
 OF 18 SHEETS