

Memorandum

City of Lawrence

Planning & Development Services

TO: Scott McCullough, Planning and Development Services Director
FROM: Mary Miller, Planner
DATE: January 28, 2015
RE: SP-14-00526; 2518 Ridge Court Drive, changes to the area east of the United Way Building which include grading changes, landscaping, and improvements to the parking area.

Administrative Determination: The site plan referenced above has been administratively approved by the Planning Director subject to the following conditions:

1. Execution of a Site Plan Performance Agreement.
2. Recording of the Minor Subdivision with the Register of Deeds.
3. Provision of a revised site plan with the following change:
 - Removal of the 7th angled parking space adjacent to the southwest portion of the building and reconfiguration of parallel spaces so the western space does not extend into the right-of-way

The Minor Subdivision for Southridge Addition No. 6, MS-14-00327, will divide the lot at 2518 Ridge Court into 2 lots, both approximately 2 acres in area. The United Way Building and associated parking will be located on Lot 1. A site plan has been submitted for the development of the east portion of the property, Lot 2, with an active senior's housing project, *Multi-Dwelling Structure/Duplex*. The site plan on the subject property was necessitated by the change in grading which will occur on Lot 2 to create a relatively even grade throughout the site for residential development and ADA accessibility.

The rezoning of the east portion of the property to the RM12 District was approved by the City Commission on October 15, 2013 subject to the condition that all site plans for major development projects would require City Commission review and approval. While this site plan is for a minor change and has been approved administratively, it will be placed on the City Commission agenda with the site plan for the active seniors' housing project, Cedarwood Senior Cottages, SP-14-00525, as the two projects are interrelated.

The changes which will occur on Lot 1, the subject property, include the following:

- Addition of 6 parking spaces on the north access drive east of the building.
- Reconfiguration of the parking area east of the building to provide a more rectangular shape.
- Addition of landscaping east of the parking area. A walkway connecting to the future residential development to the east will also be installed in this area.
- Installation of a detention pond southeast of building and stormwater lines along the east side of the parking area.
- Addition of 5 street trees along the Ridge Court frontage.
- The dumpster is being relocated from the location shown on the previously approved site plan to the current location on site.

(Figure 1)

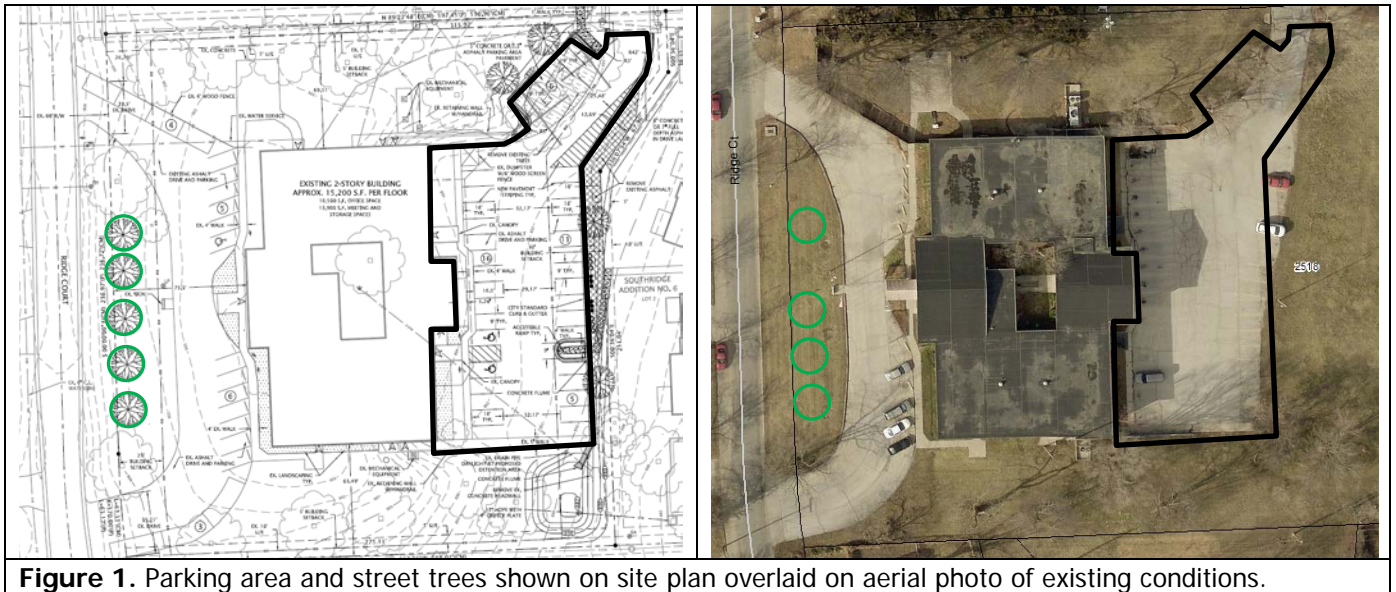


Figure 1. Parking area and street trees shown on site plan overlaid on aerial photo of existing conditions.

The previously approved site plan for the United Way Building, SP-7-52-96, included 3 parallel parking spaces on the access drives to Ridge Court. The current Development Code prohibits any parking within 25 ft of the right-of-way line in the RS District, except for parking for single and duplex dwellings. The western parking spaces are within this 25 ft area; however, as this is an existing condition it may remain. If a Substantial Development Project, as defined by Code, were proposed on this property full compliance with the Code would be required. With a minor site plan, code compliance is required only for those items being altered.

The previously approved site plan, SP-7-52-96, noted the use as 'Community Facility' which required 17 parking spaces based on the parking requirement of Parking Group 15, 1 space per 500 net sq ft. The applicant revised the use to the current use designation of *Office* and calculated the required parking based on the 2006 Code parking requirement for *Office* uses, 1 space per 300 gross sq ft. The 16,500

sq ft building requires 55 parking spaces and 57 are provided. However, one additional angled parking was added on the south side of the access drive which results in the encroachment of the western parallel space into the right-of-way. The previously approved site plan showed this parking space on the property. (Figure 2) The parking spaces should be revised as shown on the most recently approved site plan with 6 angled spaces in this area so the western parallel space does not extend into the right-of-way.

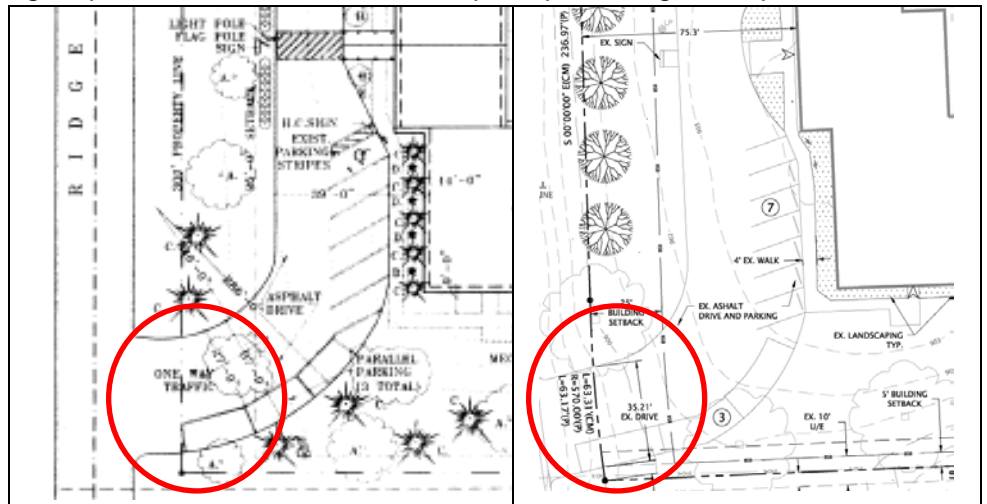


Figure 2. Image on the left is from previously approved site plan, SP-7-52-96. The image on the right is from the current site plan and shows an additional angled space and the parallel parking space encroaching into the right-of-way.

As conditioned, the site plan is compliant with the provisions of the Development Code and is administratively approved.