

SITE PLAN for CEDARWOOD SENIOR COTTAGES

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CEDARWOOD AVENUE STREET ELEVATION



LEGAL DESCRIPTION

SOUTHDRIDGE ADDITION NO. 6, LOT 2, AN ADDITION TO THE CITY OF LAWRENCE, KANSAS.

GENERAL NOTES

- OWNER:** Douglas County Commissioners
 1100 Massachusetts Street
 Lawrence, Kansas 66044
- LAND PLANNER/ENGINEER:** Grob Engineering Services, LLC
 3210 Mesa Way, Suite A
 Lawrence, Kansas 66049
 Kansas Professional Engineer #12769
- This Site Plan is being submitted as a Major Development Project.
 - Aerial and topographic information obtained from aerial survey performed by Sanborn Mapping for the City of Lawrence and Douglas County 2006 and 2013. Site specific information obtain from site survey performed by All Points Surveying, 2014.
 - Project Bench Mark: BM#1 - North rim of sanitary manhole, located 100.00' South of the NE corner of Lot "A", Block 7 of Southridge Addition No. 3. Elevation = 872.60
 - Typical Soil Type: Mr- Morrill Clay Loam
 - Existing Land Use: Vacant
 - Proposed Land Use: Multi-Dwelling Residential
 - Current Zoning: RM-12 Conditional
 - Existing utility locations, elevations, and sizes are based on information available at the time the Site Plan was prepared.
 - No part of the property is located within any SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% CHANCE FLOOD per FEMA Flood Insurance Rate Map (FIRM) Panel 159 of 460, Map # 20045C0159D, Map Revised August 5, 2010.
 - This Site Plan has been designed to comply with the minimum provisions of the Final Fair Housing Accessibility Guidelines, 24 CFR, Chapter 1, Subchapter A, Appendix II, of the Fair Housing Act of 1968, as amended. This Site Plan has been designed to comply with the provisions of the Americans with Disabilities Act Accessibility Guidelines (ADAAG) for Buildings and Facilities, Appendix A to 28 CFR, part 36.
 - Existing and proposed contours generally indicate stormwater flow at the site.
 - All disturbed areas not shown for trees and landscaping shall be reseeded with turf type grasses and otherwise restored to their original condition.
 - No pole lighting is proposed for this project. Exterior lighting will be building mounted typical residential exterior lighting. Lighting shall be shielded to prevent off-site glare in accordance with Code Section 20-1103 "Outdoor Lights".
 - No trash receptacles/enclosures are proposed for this Site Plan. Polycarts will be used for trash collection on this site. The City of Lawrence will not be responsible for pavement damage due to refuse collection.
 - Existing mature trees shall be preserved as much as possible during construction of private improvements. Fencing shall be used as appropriate to protect trees within the drip line. No trees shall be planted within 8 feet of any underground City of Lawrence utility. Existing and proposed trees and shrubs shown on this plan that are required landscaping shall be replaced if plantings die.
 - Any proposed sidewalks, curbs and pavements improvements shall meet or exceed City of Lawrence minimum standards, except where noted. All curb inlets will be constructed per City of Lawrence storm sewer standard details.
 - The detention pond will be privately owned and maintained. The landowner will be responsible for the maintenance of the detention basin. Failure to maintain the detention pond will result in the loss of the stormwater detention credit. The detention pond will remain free of any natural or non-natural structures or vegetative barriers (including but not limited to trees, shrubbery, berms, fences, and walls).
 - A Stormwater Pollution Prevention Plan (SWP3) has been prepared for this project and is included in this Site Plan. All contractors and utilities shall abide by the SWP3 Plan and extreme care shall be taken to ensure no sediments are allowed to enter structures on Cedarwood Avenue.
 - Exterior ground-mounted or building mounted equipment including, but not limited to, mechanical equipment, utilities boxes and meters, shall be fully screened from view of adjacent properties and from street rights-of-way (as measured 6 feet above ground level).
 - Contractors shall obtain the necessary permits from the City of Lawrence for any work within the street right-of-way.

LOCATION MAP AND SURROUNDING AREA

SCALE: 1" = 400'



LEGEND

— OHW —	OVERHEAD WIRE	⊙	SANITARY SEWER MANHOLE	B/R	BACK OF CURB TO BACK OF CURB
— OHE —	OVERHEAD ELECTRICAL	⊙	STORM MANHOLE	C/L	CENTERLINE
— UCT —	UNDERGROUND TELEPHONE	⊙	STORM DRAIN	D/E	DRAINAGE EASEMENT
— GAS —	GAS	⊙	GUY ANCHOR	U/E	UTILITY EASEMENT
— W —	WATERLINE	⊙	UTILITY POLE	(P)	PLATTED
— SAN —	SANITARY SEWER LINE	⊙	WATER METER	(M)	MEASURED
— SS —	SANITARY SEWER SERVICE	⊙	WATER VALVE	(C)	CALCULATED
— STM —	STORMWATER LINE	⊙	FIRE HYDRANT	●	PROPERTY PIN
— BSB —	BUILDING SETBACK	⊙	TRAFFIC SIGNAL STR.		
— — —	CENTER LINE	⊙	GAS VALVE		
— — —	PROPERTY LINE	⊙	GAS METER		
— — —	EASEMENT	⊙	LIGHT POLE		
		⊙	SIGN		
		⊙	ELECTRIC BOX		
		⊙	CABLE TV BOX		

NOTE: "X" IN UTILITY DENOTES EXISTING FEATURE

PERVIOUS/IMPERVIOUS SURFACE SUMMARY

	AREA (SF)		AREA (SF)
EXISTING BUILDING	0	PROPOSED BUILDINGS	18,505
EXISTING PAVEMENT	804	PROPOSED PAVEMENT	27,461
EXISTING IMPERVIOUS	804	PROPOSED IMPERVIOUS	45,966
EXISTING PERVIOUS	91,698	PROPOSED PERVIOUS	46,536
PROPERTY AREA	92,502	PROPERTY AREA	92,502
BUILDING LOT COVERAGE 0%		BUILDING LOT COVERAGE 20%	
IMPERVIOUS LOT COVERAGE 0.9%		IMPERVIOUS LOT COVERAGE 49%	

PAVING/SURFACING SCHEDULE

SYMBOL	AREAS AND PAVING MATERIAL
(SHADED FOR CLARITY)	8" CONCRETE PAVING AT STREET APPROACH
	4" CONCRETE AT ALL SIDEWALKS
	6" CONCRETE OR 7" FULL DEPTH ASPHALT IN DRIVE LANES
	5" CONCRETE OR 5.5" FULL DEPTH ASPHALT IN PARKING

LANDSCAPING SCHEDULE

SYMBOL	QUANT.	NAME	SIZE & COND
☼ ⊗	SEE PLAN	EXISTING TREES TO BE REMOVED	
☼ ⊙	SEE PLAN	EXISTING CONIFEROUS AND DECIDUOUS TREES TO REMAIN	VARIES
⊙	8	LEGACY SUGAR MAPLE, LACEBARK ELM, SHUMARD OAK, SUMMERSHADE NORWAY MAPLE, GREENSPIRE LINDEN, LONDON PLANE TREE, OR APPROVED EQUAL (3 SPECIES MINIMUM)	2.5" CAL - B&B
⊙	4	BOSNIAN PINE, THUJA ARBORVITAE GREEN GIANT, NORWAY SPRUCE, EASTERN WHITE PINE, OR APPROVED EQUAL EVERGREEN TYPE TREE	6' HT. - B&B
⊙	15	EASTERN REDBUD, FLOWER CRABAPPLE, ROYAL RAINDROPS CRABAPPLE, AMUR MAPLE, OR APPROVED EQUAL ORNAMENTAL TYPE TREE	1.75" CAL - B&B
⊙	36	SEA GREEN JUNIPER, EUONYMUS - BURNING BUSH, OR APPROVED EQUAL	2 Gal.
⊙	64	SEA GREEN JUNIPER, TAM JUNIPER, MAGIC CARPET SPIREA, KNOCK-OUT ROSES, OR APPROVED EQUAL	2 Gal.
⊙	30	BIO-RETENTION RAINGARDEN - LITTLE BLUESTEM, PURPLE CONEFLOWER, MARSH MILKWEED, BLACKHAW VIBURNUM, FEATHER REED GRASS, PRAIRIE BLAZING STAR, OR APPROVED EQUAL AS DEFINED BY OWNER	1 Gal.
	SEE PLAN	DECORATIVE ROCK BETWEEN DRIVEWAYS 4" DEPTH TYP.	
		ALL UNPAVED AREAS SHALL BE PLANTED WITH TURF GRASSES	

STREET TREES AND BUFFERYARD LANDSCAPING REQ.

REQUIREMENT	REQUIRED	PROVIDED
CEDARWOOD AVENUE STREET TREES		
1 TREE/40 L.F.	304' FRONTAGE=8 TREES	8 TREES
NORTH PROPERTY LINE BUFFERYARD LANDSCAPING - TYPE 1 - 15FT.		
3 TREES & 8 SHRUBS/100 L.F.	281' = 9 TREES & 23 SHRUBS	9 TREES/24 SHRUBS (2 EX. TREES)
SOUTH PROPERTY LINE BUFFERYARD LANDSCAPING - TYPE 1 - 15FT.		
3 TREES & 8 SHRUBS/100 L.F.	293' = 9 TREES & 24 SHRUBS	9 TREES/24 SHRUBS (2 EX. TREES)
WEST PROPERTY LINE BUFFERYARD LANDSCAPING - TYPE 1 - 20FT.		
3 TREES & 7 SHRUBS/100 L.F.	314' = 10 TREES & 22 SHRUBS	10 TREES/23 SHRUBS (1 EX. TREE)

THE NORTH 58' OF BUFFERYARD IS LESS THAN 20 FEET WIDE. AS ALTERNATE COMPLIANCE, A 3' DOUBLE-SIDED WOOD FENCE WILL BE INSTALLED IN THIS AREA.

PARKING SUMMARY

PARKING REQUIREMENT	QUANTITIES	REQ. PARKING
1 PER BEDROOM PLUS 1 PER 10 UNITS	23 BDRMS/14 UNITS	25
BICYCLE PARKING 1 PER 4 SPACES	16	4
PARKING PROVIDED		
VAN ACCESSIBLE ADA SPACES	1	
STANDARD SPACES	6	
GARAGE PARKING SPACES	10	
DRIVEWAY PARKING SPACES	10	
TOTAL PARKING SPACES	27	
BICYCLE PARKING	4	

THIS DOCUMENT IS FOR PLANNING PURPOSES ONLY - NOT FOR CONSTRUCTION

Approved and Released

Case No. _____
 Approval Date: _____
 Release Date: _____
 Planner: _____ of _____ Sheets
 Asst./Director: _____

City of Lawrence
 Douglas County
LAWRENCE, KANSAS

- SHEET INDEX**
- COVER SHEET
 - EXISTING CONDITIONS AND DEMOLITION PLAN
 - LAYOUT PLAN
 - GRADING PLAN
 - UTILITIES PLAN
 - LANDSCAPING PLAN
 - STORMWATER POLLUTION PREVENTION PLAN

SITE PLAN FOR CEDARWOOD SENIOR COTTAGES
 2525 CEDARWOOD AVENUE
 LAWRENCE, KANSAS

DESIGNED BY

BCK/JDG

CHECKED BY

JDG

ISSUE DATE

NOVEMBER 26, 2014

REVISIONS

DECEMBER 24, 2014
 JANUARY 23, 2015

SHEET

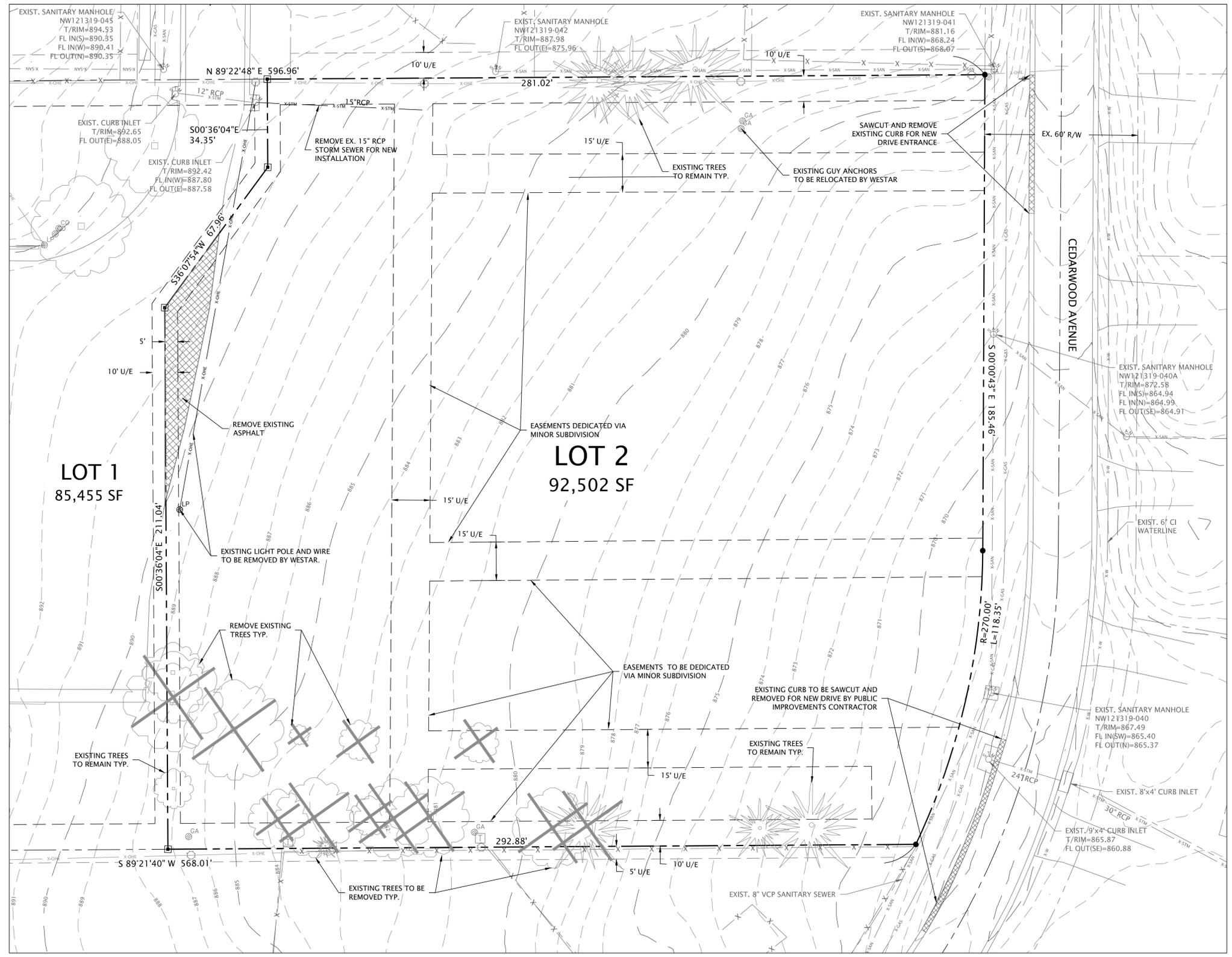
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2525 CEDARWOOD AVENUE
LAWRENCE, KANSAS

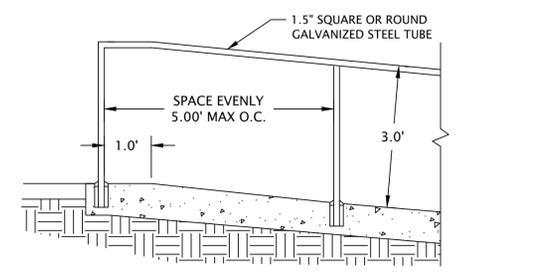
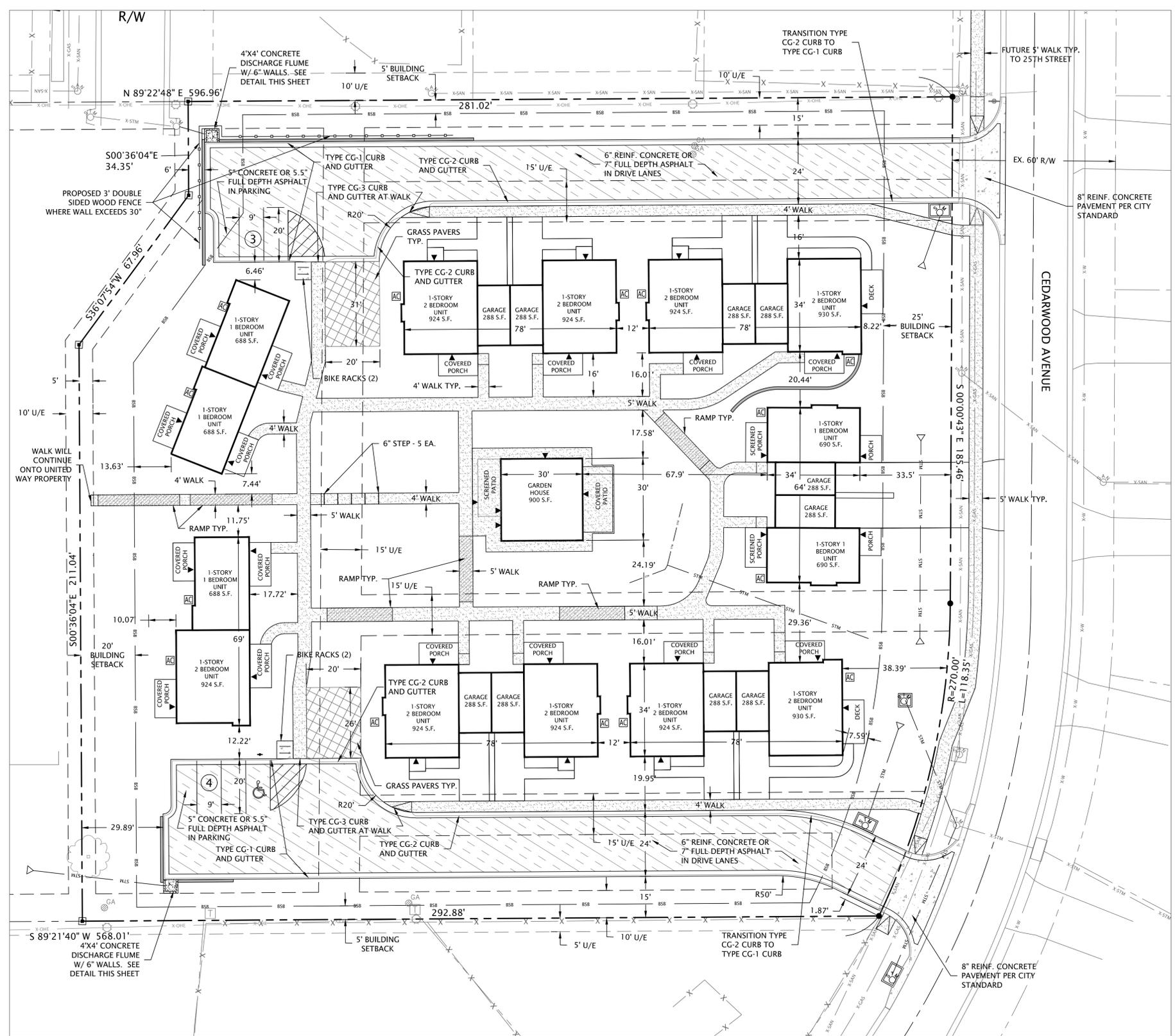
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ISSUE DATE	NOVEMBER 26, 2014
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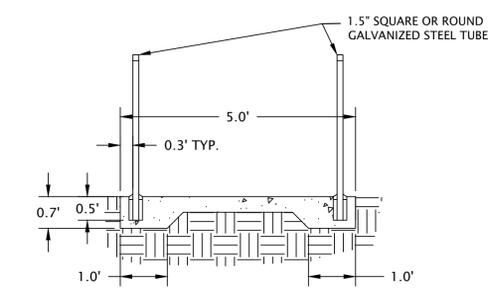
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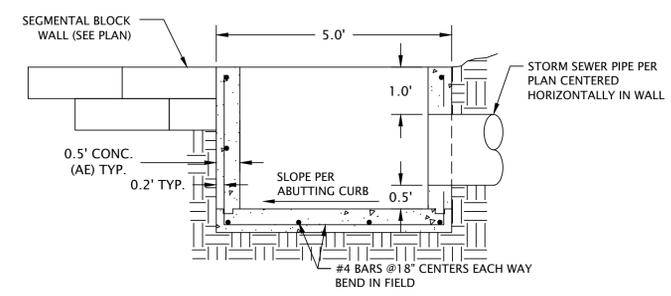


RAMP PROFILE
 NOT TO SCALE



RAMP SECTION
 NOT TO SCALE

- NOTE:
1. EXPANSION JOINTS SHALL BE PLACED WHERE RAMP ABUTS SIDEWALK.
 2. EXPANSION JOINTS SHALL BE FORMED BY A ONE-HALF (1/2) INCH THICK PREFORMED JOINT FILLER, EXTENDING THE FULL DEPTH OF THE SLAB, AND SECURED SO THAT THEY ARE NOT MOVED BY DEPOSITING AND COMPACTING THE CONCRETE AT THESE JOINTS.
 3. CONTRACTOR OPTION TO POUR ENTIRE RAMP AT MAX THICKNESS SHOWN.
 4. HANDRAIL MATERIALS AND DETAILING MAY VARY PER OWNER'S OPTION.



DISCHARGE FLUME
 NOT TO SCALE

- NOTE:
1. EXPANSION JOINTS SHALL BE PLACED AT OPENING WHERE STRUCTURE ABUTS CURB.
 2. EXPANSION JOINTS SHALL BE FORMED BY A ONE-HALF (1/2) INCH THICK PREFORMED JOINT FILLER, EXTENDING THE FULL DEPTH OF THE SLAB, AND SECURED SO THAT THEY ARE NOT MOVED BY DEPOSITING AND COMPACTING THE CONCRETE AT THESE JOINTS.
 3. ALL EXPOSED CORNERS OF WALL SHALL BE CHAMFERED. (I.E.; BOTH SIDES, TOP AND CORNERS.)

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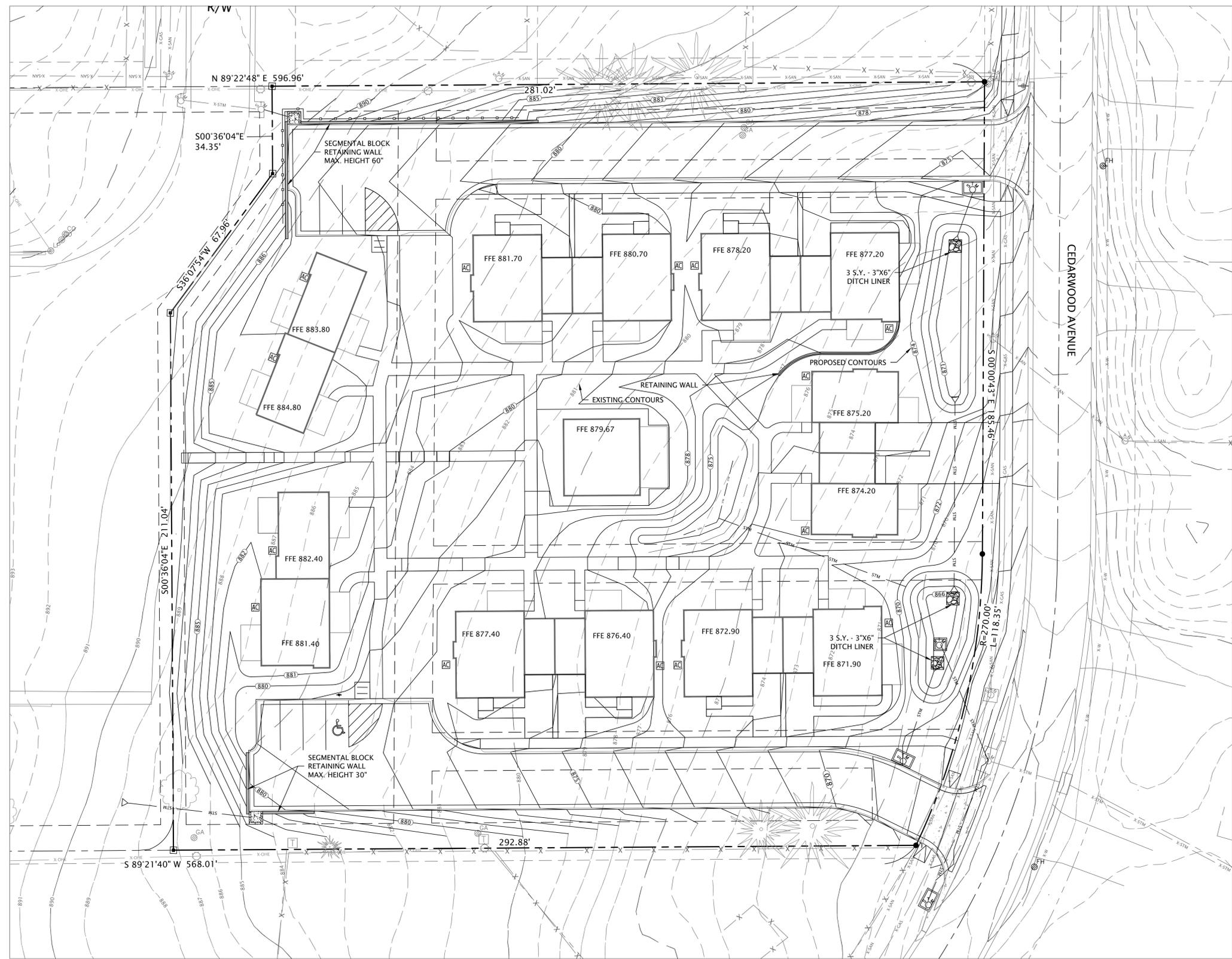
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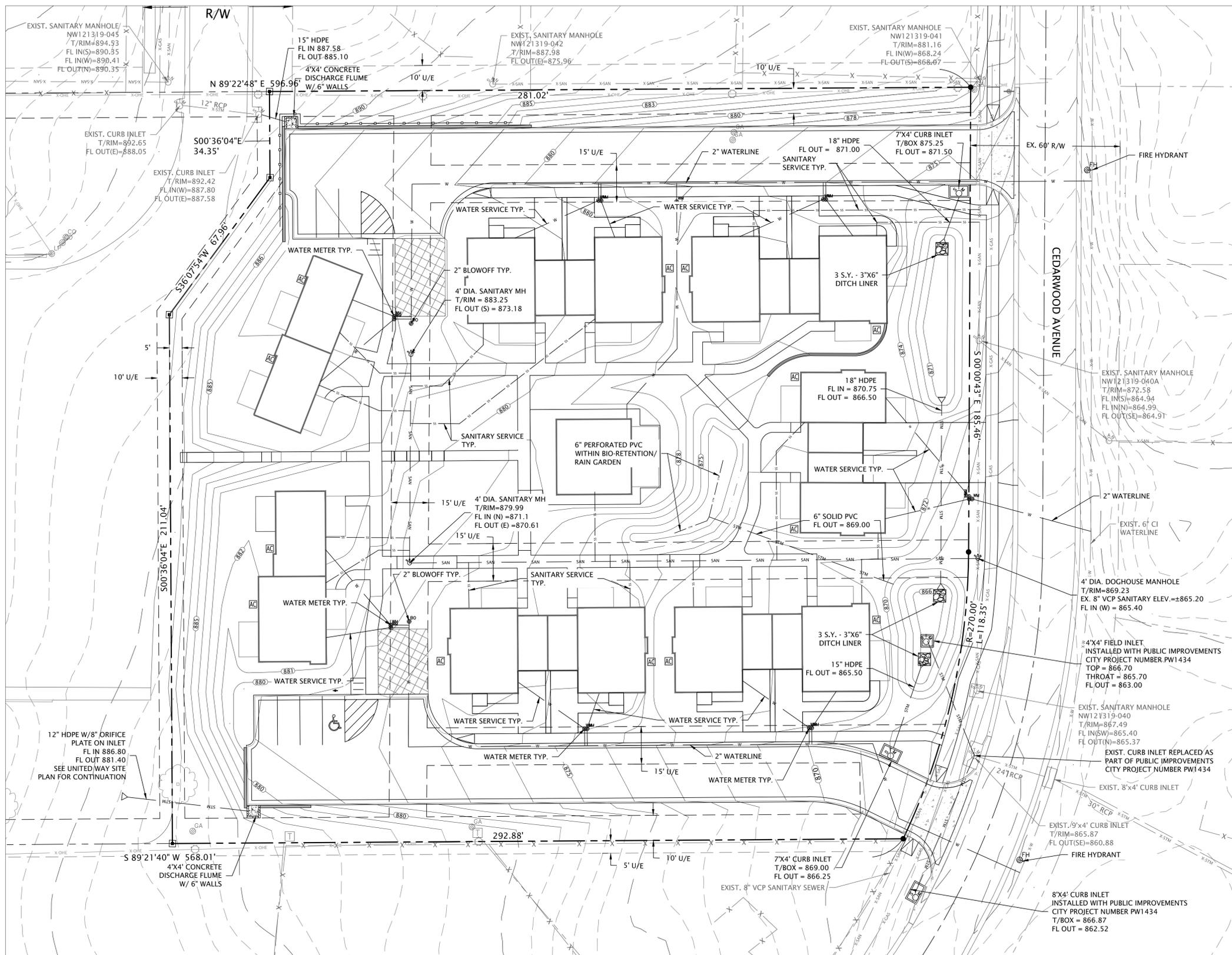
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NOTE:
1. SANITARY SEWER TO BE INSTALLED PER CITY PROJECT NUMBER 145009.
2. 2" WATERLINE, METERS, AND FIRE HYDRANT TO BE INSTALLED PER CITY PROJECT NUMBER 14W006.

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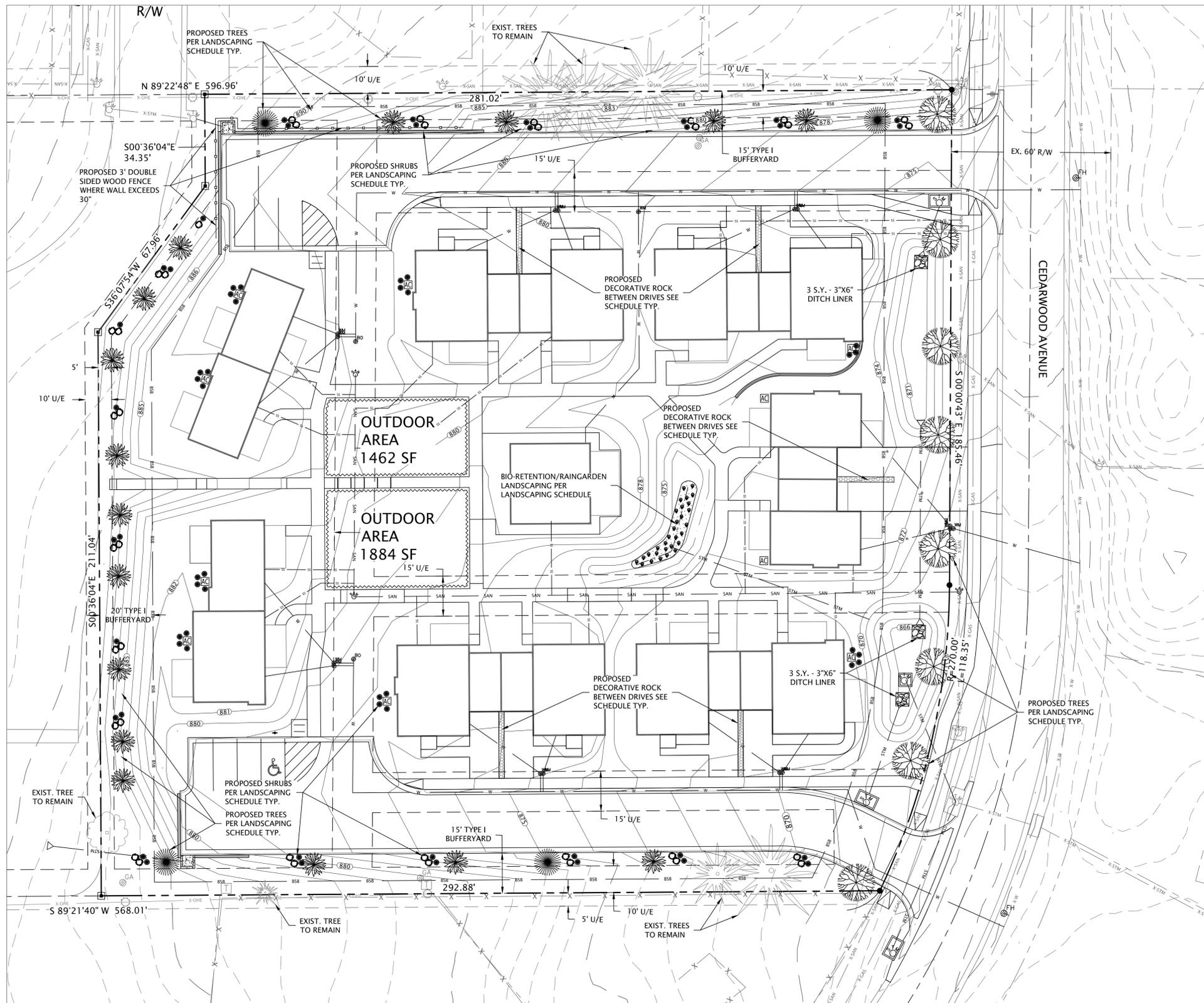
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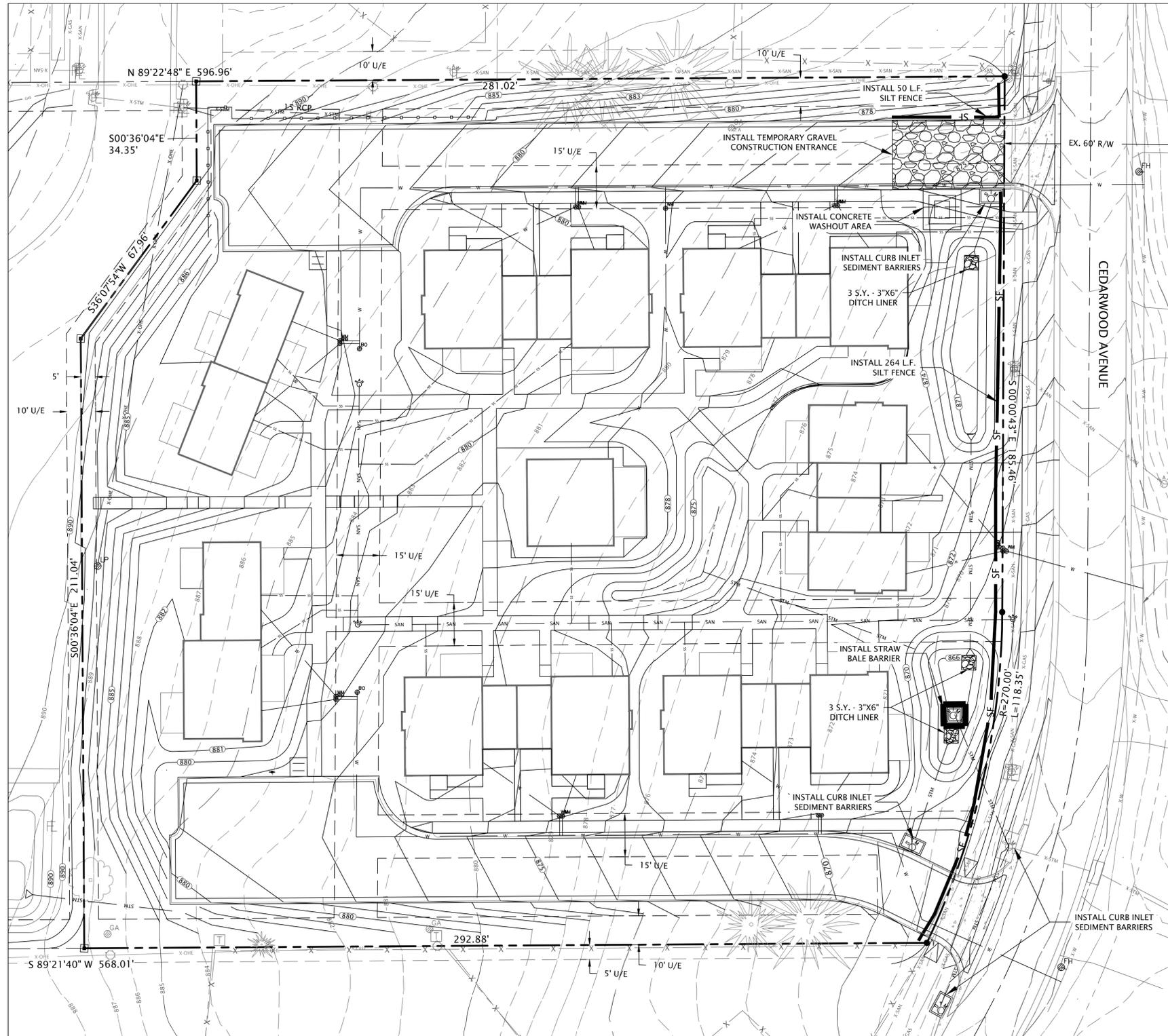
NOVEMBER 26, 2014

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GENERAL NOTES:

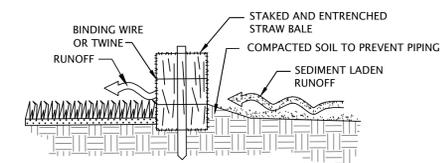
- Owner shall be responsible for implementation, inspection, and maintenance of all best management practices (BMPs) as shown on the approved stormwater pollution prevention plan (SWP3). Owner shall provide a copy of the SWP3 to all contractors and utilities prior to any work within the development. Owner may in part convey responsibility for inspection, maintenance, and remediation to utility companies for work under their control.
- Contractor will be responsible for the immediate removal of soil tracked on paved streets.
- Inspection of BMPs shall occur at least once every 14 days and within 24 hours following a rainfall of one half of an inch or greater as measured at the site. Any deficiencies shall be noted in a report of the inspection and corrected within seven calendar days of the inspection. The Owner shall promptly notify the site contractors responsible for operation and maintenance of BMPs of deficiencies.
- Maintenance of BMPs shall include necessary repairs, removal of sediment, and any necessary modifications to BMPs as authorized by the Owner.
- Silt fence will be installed as shown on this plan with modifications (as approved by the Owner) as necessary at the time of installation to fit existing conditions.
- Topsoil must be stockpiled upstream of silt fence.
- Silt fence shall be relocated immediately downstream of any additional grading or trenching required to complete work shown on these plans.
- Soil stockpiles or other areas disturbed during the course of construction activities which will remain for periods greater than 14 days shall be stabilized by seeding or other acceptable means.
- For all disturbed areas, stabilization of disturbed areas must, at a minimum, be initiated immediately whenever any clearing, grading, excavating, or other soil disturbing activities have permanently ceased on any portion of the site, or temporarily ceased on any portion of the site and will not resume for a period exceeding 14 calendar days. The disturbed areas shall be protected from erosion by maintaining the erosion control BMP's, or stabilizing the area with mulch or other similarly effective soil stabilization BMP's. Initial stabilization activities must be completed within 21 days.
- Upon final grading, all disturbed areas within the project limits and easements shall be stabilized by seeding and mulching within two weeks. When this occurs outside the standard specification seeding dates, seed shall consist of temporary cover crop of annual rye or wheat. All other disturbed areas not expected to be subsequently disturbed within the following 6 weeks shall be seeded with a temporary cover crop of annual rye or wheat.
- All stormwater pollution prevention practices shall remain in place until all upstream vegetative cover is established unless otherwise approved by the Engineer.
- Contractor shall designate a bermed area for oil and fuel storage and concrete washing. Contractor shall designate sanitation and solid waste disposal area and protect such areas from any off-site discharge.

PROPERTY OWNER/DEVELOPER:

Rebecca Buford
 Tenants to Homeowners, Inc.
 2518 Ridge Court, Suite 103
 Lawrence, KS 66046
 PH: (785)842-5494
 FAX: (785)842-7570
 EMAIL: lawrencelandtrust@yahoo.com

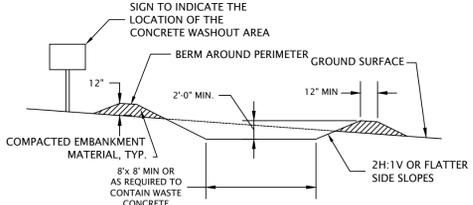
GRADING SEQUENCE:

- Preconstruction meeting.
- Install, repair, replace silt fence at locations shown.
- Construct temporary gravel construction entrance where construction traffic at point of ingress/egress of the site.
- Clear, grub site, stockpile topsoil, and grade site as applicable.
- Construct roads and paved areas as applicable.
- Revegetate all disturbed areas.
- Remove perimeter silt fence.



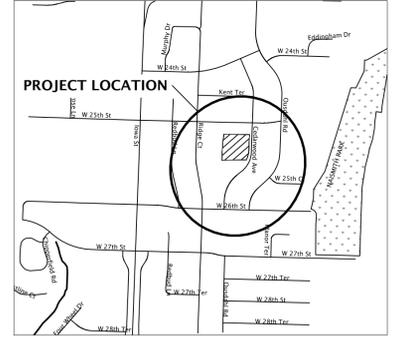
CONSTRUCTION NOTES:

- A) INSTALLATION:**
- EXCAVATE A TRENCH AT LEAST 4 INCHES DEEP, A BALE'S WIDTH, AND LONG ENOUGH THAT THE END OF THE BALES ARE SOMEWHAT UPSLOPE OF THE SEDIMENT POOL.
 - PLACE EACH BALE END TO END IN THE TRENCH SO THE BINDINGS ARE ORIENTED AROUND THE SIDES RATHER THAN TOP TO BOTTOM.
 - ANCHOR THE BALES BY DRIVING TWO 36-INCH LONG, 2X2-INCH HARDWOOD STAKES THROUGH EACH BALE UNTIL NEARLY FLUSH WITH THE TOP. DRIVE THE FIRST STAKE TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER.
 - WEDGE LOOSE STRAW INTO ANY GAPS BETWEEN THE BALES TO PREVENT SEDIMENT-LADEN WATER FROM LEAKING THROUGH.
 - BACKFILL AND COMPACT THE EXCAVATED SOIL AGAINST THE BALES TO GROUND LEVEL ON THE DOWNSLOPES SIDE AND TO 4 INCHES ABOVE GROUND LEVEL ON THE UPSLOPE SIDE.
- B) CONSTRUCTION SPECIFICATIONS:**
- ONLY USE AS PERIMETER CONTROL FOR LESS THAN ONE ACRE OF RUNOFF AREA.
 - DETERMINE EXACT LOCATION OF UNDERGROUND UTILITIES.
 - GRADE ALIGNMENT OF BARRIER AS NEEDED TO PROVIDE BROAD, NEARLY LEVEL AREA UPSTREAM OF BARRIER.
- C) INSPECTION AND MAINTENANCE:**
- INSPECT STRAW BALE BARRIER AFTER EACH STORM EVENT AND REMOVE ANY SEDIMENT DEPOSITS PROMPTLY, TAKING CARE NOT TO UNDERMINE THE ENTRENCHED BALES.
 - INSPECT PERIODICALLY FOR DETERIORATION OR DAMAGE FROM CONSTRUCTION ACTIVITIES. REPLACE DAMAGED BALES IMMEDIATELY.
 - AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ALL STRAW BALES AND SEDIMENT, BRING THE DISTURBED AREA TO GRADE, AND STABILIZE.



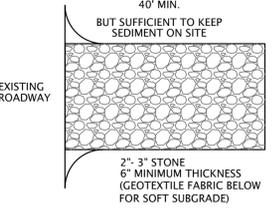
- NOTES:**
- CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
 - SIGNS SHALL BE PLACED AT THE WASHOUT AREA AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS.
 - THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
 - AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN ACCEPTED WASTE SITE.
 - WHEN THE CONCRETE WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE SEED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER ACCEPTED BY THE CITY.

CONCRETE WASHOUT AREA NOT TO SCALE

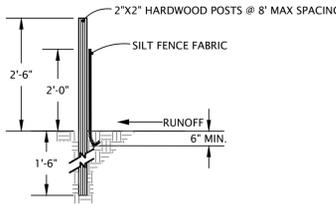


SCALE: 1"=1000'

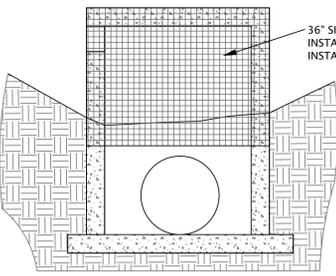
LOCATION MAP



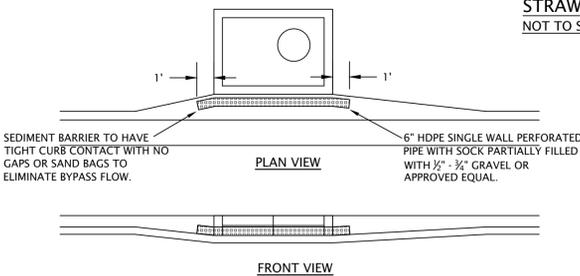
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE NOT TO SCALE



STANDARD SILT FENCE NOT TO SCALE

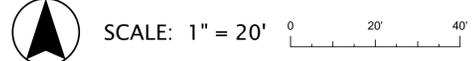


CURB INLET SEDIMENT BARRIER NOT TO SCALE



GRAVEL FILTER BAG CURB INLET SEDIMENT BARRIER DETAIL NOT TO SCALE

STRAW BALE BARRIER NOT TO SCALE



STORMWATER POLLUTION PREVENTION PLAN

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CHECKED BY	JDG
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