

PLANNING COMMISSION REPORT
Regular Agenda – Public Hearing Item:

PC Staff Report
03/24/14

ITEM NO. 1: SPECIAL USE PERMIT FOR A PUMP STATION; 547 MAPLE STREET (SLD)

SUP-14-00007: Consider a Special Use Permit for a Pump Station, located at 547 Maple & 500 Perry St. Submitted by Bartlett & West, for the City of Lawrence, property owner of record.

STAFF RECOMMENDATION: Staff recommends approval of SUP-14-00007, a Special Use Permit for a Pump Station located at 547 Maple Street & 500 Perry Street, a *minor utility*, based upon the findings presented in the body of the staff report and subject to the following condition:

1. Applicant shall provide a revised site plan with the following changes:
 1. Provide a note on the plan that states lighting fixtures shall be provided with a full cut-off fixture and be directed down. Applicant shall provide lighting fixture details for review and approval prior to issuance of a building permit.
2. Submission of final building elevations for review and approval prior to issuance of a building permit.
3. Approval of the Special Use Permit is contingent upon approval of a Floodplain Development Permit. The SUP will be released to Development Services for a building permit after a Floodplain Development Permit application has been approved.

Applicant's Reason for Request:

"The Planning Department has requested a Special Use Permit be submitted to construct a stormwater pump station at this location."

KEY POINTS

- This pump station is a *Minor Utility* which serves more than one specific development; therefore approval is required through a Special Use Permit per Section 20-530 of the Development Code.
- Request is to construct the pump station on property owned by the City of Lawrence.
- This pump station is for a stormwater facility to address localized flooding per concerns listed in the *North Lawrence Drainage Study*; more specifically in System 6.
- This site plan shows both Lots 1 and 2. The proposed improvements will be located on Lot 2. Lot 1 will be retained by the City as open space.
- Funding for project is through the infrastructure sales tax.

FACTORS TO CONSIDER

- Procedural requirements of Section 20-1306; Special Use Permits.
- Improvement is included in the City's Capital Improvement Plan.

ASSOCIATED CASES/OTHER ACTION REQUIRED

Other action required:

- City Commission approval of the Special Use Permit and adoption of ordinance.
- The approved Minor Subdivision document must be recorded with the Register of Deeds Office prior to release of the Special Use Permit for issuance of a building permit.

- Administrative review and approval of Floodplain Development Permit for development activity associated with the pump station.
- Release of Special Use Permit site plan to Development Services for Building Permits.

ATTACHMENTS

1. Site Map
2. Site Plan
3. Similar buildings in North Lawrence
4. Generator Enclosure

PLANS AND STUDIES REQUIRED

- *Traffic Study* – Not required for project.
- *Downstream Sanitary Sewer Analysis* – The City Utility Engineer indicated that a DSSA is not required.
- *Drainage Study* – Not required for project
- *Retail Market Study* – Not applicable to project.

PUBLIC COMMENT

- No public comment was received prior to the printing of this staff report.

GENERAL INFORMATION

Current Zoning and Land Use: OS (Open Space) District; *undeveloped land and unimproved alley, plans to develop southern portion with a City pump station in process.*

Surrounding Zoning and Land Use: To the north: RS7 (Single-Dwelling Residential) District; *Detached Dwellings.*

To the west: RS7 (Single-Dwelling Residential) District; *Detached Dwelling;* and IG (General Industrial) District; *Detached Dwelling and Inoperable Vehicles Storage.*

To the south: IG (General Industrial) District; railroad right-of-way and undeveloped land.

To the east: IG General Industrial) District; *Construction Sales and Services, and Detached Dwelling.*

Summary of Special Use

This Stormwater Pump Station is a *minor utility* that serves development in the area. The pump station will include an above grade pump within a structure and a pad site for a backup generator. The presence of floodplain on the property will require a local floodplain development permit.

The pump station is defined as a *minor utility* in Section 20-1765 of the Development Code:

MINOR UTILITIES. Public utilities that have a local impact on surrounding properties. Typical uses include electrical and gas distribution substations, lift stations, telephone switching boxes, water towers. Excludes 'Wireless Telecommunication Facilities' use types.

This proposed improvement is recommended in the North Lawrence Drainage Study and is part of "System 6". The plan states; *"this system contains the Maple Street Pump Station, which discharges stormwater to the south side of the railroad tracks running south of Maple Street."*

SITE SUMMARY: Includes both Lots 1 and 2. Improvements will be located on Lot 2.		
	Existing	Proposed
Property Area (sq ft):	25,142 SF	25,142 SF
Total Impervious Area (sq ft):	0	2,263 SF
Total Pervious Area (sq ft):	25,142 SF	22,879 SF

This proposed development will include an open pit at the north end and a building structure for housing the pump units on the south end and an emergency generator on the east side of the site. The following graphic highlights the major above ground elements of the proposed improvement.

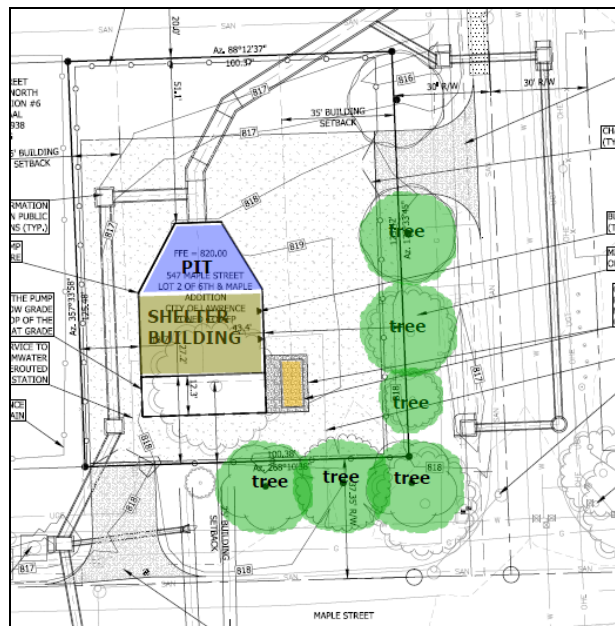


Figure 1: Proposed Site Plan

Landscaping and Screening

Street Trees: Street trees are provided along N. 6th Street and Maple Street. The proposed plan is to retain the existing trees and locate underground lines to the east. Street trees are also provided along N. 6th Street and Perry Street for Lot 1 included in the site plan.

Interior and Perimeter Landscaping: Interior parking lot standards apply only to lots with 11 or more parking spaces and perimeter landscaping standards apply only to lots with 5 or more spaces. As this use requires only 1 parking space, these standards are not applicable to this project. The parking space is un-striped and accommodated within the paved area of the enclosure. Fencing will be open to allow full visibility and security for the site.

Buffer Yard Requirements: This property is zoned OS (Open Space) District. The property abuts OS zoning to the north and IG (General Industrial) District to the east, west and south. With the exception of a residence to the east the surrounding land uses are either industrial or vacant properties. There are no buffer yard requirements for the OS Zoning District.

Mechanical Equipment: This facility includes an emergency generator located on the east side of the building. Location of the generator provide optimal efficiency for maintenance and service of the proposed facility. Underground lines and pavement areas make placement of the generator on the west or north side of the property infeasible. The location of the shelter building is set by the two existing underground lines running north to south crossing Maple Street.

Screening for the generator must balance the ability to access the equipment for fueling as needed and provide security to the site by being readily visible from the public streets with the need for visual screening/buffering from the street right-of-way and adjacent residence to the east. It may be possible to add shrubs along the fence line along Maple Street and 6th Street to provide some screening of the generator. The following graphic shows the addition of a fence along with shrubs to provide screening. The plan proposes a 6' high chain link fence along the perimeter in addition to safety fencing around the pit area at the interior of the site. Staff recommends decorative fencing be provided along the public right-of-way along N. 6th Street and along Maple Street. This is consistent with industrial design guidelines that would be applicable to similar private development applications.

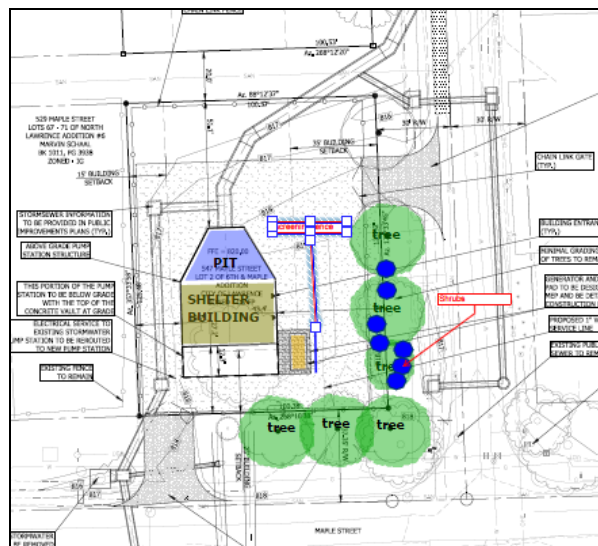


Figure 2: recommended landscape

Lighting

Additional details regarding the site lighting are required. The applicant intends to use building mounted lighting for this site. All lighting fixtures will need to be directed down and be provided with a full cut-off. Staff recommends that, as a condition of approval, prior to the issuance of a building permit, lighting fixture details be provided for staff review and approval.

Applicable Design Guidelines

There are no specific design guidelines applicable to this proposed improvement. Final elevations have not been prepared for this site at this time. the City Stormwater Engineer has indicated that the proposed building will have a similar appearance to other utility pump stations in the immediate area. The following table shows existing pump stations and their general location for a comparison to the proposed facility. The pump station located along N. 2nd Street is most similar to the planned improvement with the open pit and the shelter building. Skylight features provide for crane access to hoist pumps as needed for access or maintenance. The overall building height is estimated to be 15' - 18' tall.

The pump station will be surrounded by an asphalt area to allow full access to the pump station and the pit as needed for maintenance. The City Stormwater Engineer has contacted the North Lawrence Improvement Association representative to advise the neighborhood of the proposed project. Final Elevations of the building will need to be made part of the final plans for the project and are recommended as a condition of approval for submission to the Planning Office for review prior to issuance of a building permit for the structure. Refer to the attached table of similar structure found in North Lawrence.

Access

Vehicular access to this site is provided from two driveways, one from Maple Street and one from N. 6th Street. This access arrangement provides full site circulation to the facility. Driveways are shown as 20' wide consistent with existing access patterns to individual parcels in the area.

Pedestrian Connectivity

There are no public sidewalks along N. 6th Street or Maple Street in this area. The Minor Subdivision notes that the City will install sidewalks when connecting sidewalks are provided in the area. There are no proposed public sidewalks associated with this improvement. The site is not intended as a pedestrian designation and will be fenced to prevent unauthorized access.

Floodplain

This property is located within the regulatory floodplain and is subject to a local floodplain development permit.

Review and Decision-Making Criteria (20-1306(i))

1. WHETHER THE PROPOSED USE COMPLIES WITH ALL APPLICABLE PROVISIONS OF THIS DEVELOPMENT CODE

Applicant's Response: *Yes, City requested OS-FP zoning.*

The proposed use, a *minor utility* which serves more than one subdivision, is an allowed use in the proposed OS (Open Space) District subject to Special Use Permit approval. As the property is encumbered with the Regulatory Floodplain, a Floodplain Development Permit is required per Section 20-1203 and must be approved prior to the release of building permits.

A minimum of one off-street parking space is required for minor utilities. The site will be accessed by utility trucks for routine maintenance and there will be no employees regularly on site; therefore, only one parking space is required. Access to the site is accommodated via concrete driveway approaches from N. 6th Street and from Maple Street. Off-street parking is accommodated within the enclosed area.

A point-by-point illumination array lighting plan is not required. Basic site lighting is proposed for this site. Lighting fixtures will be required to have full cut-off shields. Additional detail on the type of lighting fixtures and means to prevent off-site glare and trespass is required prior to issuance of a building permit for the structure.

The setbacks in the OS District are as follows: Front—the same as front yard for the abutting lot; Interior side adjacent to residential—20 ft; Interior side adjacent to non-residential—15 ft; Rear—0 ft; and Side Exterior--35'. The proposed pump house structure complies with the required building setbacks of the district. The location of the structure is dictated by existing lines to the facility to the south.

The generator pad site is located approximately 30' from N. 6th Street. The generator is an accessory structure in this application. The development code states that accessory equipment shall be located in the rear portion of the property. The Development Code provide the authority for the Planning Director waive certain development standards per section 20-1305 (b)(3)(v).

The location and orientation of the facility design is determined by the existing infrastructure. The placement of the generator on the north (rear) side would interfere with the operation and maintenance of the site.

Staff Finding –As conditioned and with the administrative waiver from the placement of the accessory mechanical equipment, the Special Use Permit site plan complies with the requirements set out in the Development Code.

2. WHETHER THE PROPOSED USE IS COMPATIBLE WITH ADJACENT USES IN TERMS OF SCALE, SITE DESIGN, AND OPERATING CHARACTERISTICS, INCLUDING HOURS OF OPERATION, TRAFFIC GENERATION, LIGHTING, NOISE, ODOR, DUST AND OTHER EXTERNAL IMPACTS

Applicant's Response: *Yes, the area to the west of where the pump station will be constructed (on Lot 2) is a tow yard. The area to the west of Lot 1 is a residential house but this portion of the site will remain undeveloped. See submitted site plan for layout and areas around the site.*

The proposed request is for the construction of a new pump station that includes both below ground and above ground improvements and a 26' deep open pit to stormwater sewer service to the area.

The area along Maple Street is a designated industrial corridor (Union Pacific Railroad Corridor Industrial Area) in *Horizon 2020*. The proposed use will be located on the Maple Street side of the property. The area along Perry Street is residential (west of N. 6th Street). The north lot will remain as open space. Surrounding uses include railroad right-of-way and a vacant parcel to the south, a residence to the east and a tow-lot to the west. The proposed use will be unmanned but needful of vehicular access for service and maintenance. As a result much of the property is required to be paved.

The overall site will have an industrial character with a paved surface surrounding the building similar to other industrial uses along Maple Street.

Staff Finding – The proposed pump station will be compatible with adjacent uses.

3. WHETHER THE PROPOSED USE WILL CAUSE SUBSTANTIAL DIMINUTION IN VALUE OF OTHER PROPERTY IN THE NEIGHBORHOOD IN WHICH IT IS TO BE LOCATED

Applicant's Response: *No, the lot where the pump station will be constructed (Lot 2) is next to a tow yard. The north lot (Lot 1) will be empty and is next to a residential area. See submitted site plan for layout and areas around the site.*

The pump station will reduce flooding in the localized area. The property includes a lot dedicated to open space on the north side (Perry Street) adjacent to the residential uses west of N. 6th Street along Perry Street.

Staff Finding – The construction of this Pump Station is not anticipated to result in any diminution of value of other property in the neighborhood.

4. WHETHER PUBLIC SAFETY, TRANSPORTATION AND UTILITY FACILITIES AND SERVICES WILL BE AVAILABLE TO SERVE THE SUBJECT PROPERTY WHILE MAINTAINING SUFFICIENT LEVELS OF SERVICE FOR EXISTING DEVELOPMENT

The pump station is a public service intended to serve the surrounding area.

Staff Finding – The proposed use, a *minor utility*, is a public service which would serve the surrounding area. Sufficient safety, transportation and utility facilities will be available to serve the subject property.

5. WHETHER ADEQUATE ASSURANCES OF CONTINUING MAINTENANCE HAVE BEEN PROVIDED

This proposed development will be owned and operated by the City of Lawrence. City staff is responsible for continuing site maintenance.

Staff Finding – The site plan will function as the enforcement document to assure that maintenance and use of the property is consistent with the approval.

6. WHETHER THE USE WILL CAUSE SIGNIFICANT ADVERSE IMPACTS ON THE NATURAL ENVIRONMENT

Applicant's Response: *"No, the proposed pump station is being constructed to help alleviate flooding in the area."*

This property is encumbered with floodplain. Adequate oversight will be provided for the protection of the natural environment through the local floodplain management regulations.

Staff Finding – The proposed use, with the protection measures required for properties encumbered by the regulatory floodplain, should not cause significant adverse impacts on the natural environment.

7. WHETHER IT IS APPROPRIATE TO PLACE A TIME LIMIT ON THE PERIOD OF TIME THE PROPOSED USE IS TO BE ALLOWED BY SPECIAL USE PERMIT AND, IF SO WHAT THAT TIME PERIOD SHOULD BE.

Time limits are established on Special Use Permits to permit a periodic review to determine if the use remains compliant with the area or if a rezoning would be appropriate. A pump station is part of necessary infrastructure whose life span will be determined by demand and operational characteristics. It would not be appropriate to place a time limit on this use.

Staff Finding – The project provides necessary infrastructure for surrounding developments; therefore, it would not be appropriate to place a time limit on this use.

Conclusion

The proposed pump station will positively impact the area by improving stormwater sewer services in the area. The use is compatible with, and appropriate for, this location. Staff recommends approval of the Special Use Permit as conditioned.