

**DESCRIPTION:**

LOTS 1 AND 2 OF THE 6TH AND MAPLE ADDITION (PLAT PENDING).

**PROJECT OWNER/DEVELOPER**

CITY OF LAWRENCE  
6 E. 6TH STREET  
LAWRENCE, KS 66049

**LIGHTING:**

A SEPARATE PHOTOMETRIC PLAN TO BE SUBMITTED AT A LATER DATE.

**SITE TRIANGLE CRITERIA**

CODE OF THE CITY OF LAWRENCE, KANSAS  
ARTICLE 18. SIGNS  
PAGE 5-140  
SEC. 5-1831

ZONING CODE REFERENCE  
20-1102

(D) Visual Obstruction. No ground sign/surface mounted located on the triangle formed by two curblines at the intersection of two streets, and extending for a distance of fifty (50) feet each way from the intersection of the curblines on any corner lot within the City, shall be permitted to exceed a height of more than thirty-six (36) inches above the road level of any street, avenue, or alley, in order that the view of the driver of a vehicle approaching a street interest shall not be obstructed.

**WAIVER REQUEST:**

THE PROPERTY OWNER IS REQUESTING THAT THE PLANNING DEPARTMENT ALLOW THE GENERATOR PAD TO BE PLACED AS SHOWN INSTEAD ALONG THE NORTH PROPERTY LINE.

**PAVEMENT SCHEDULE:**

- 8" REINFORCED CONCRETE ENTRANCE (CITY STANDARD)
- REINFORCED CONCRETE GENERATOR PAD (DEPTH TO BE DETERMINED BY MEP)
- 6" ASPHALT ON 6" AB-3 BASE.

**NOTE:**

THE 100 YEAR FLOODPLAIN IS PRESENT ON BOTH PROPERTIES (AS SHOWN ON THE PLAT).



LOCATION MAP  
NTS

**GENERAL NOTES**

- Existing Zoning: Lot 1 - OS-FP (Open Space with Floodplain Management Regulations Overlay), Lot 2 - OS-FP.
- Current Use: Both lots are undeveloped. Proposed Use: Lot 1 will remain undeveloped. A stormwater pump station will be constructed on Lot 2.
- Boundary and Topographic information taken from field survey prepared by Bartlett & West (August 2013).
- Proposed Concrete Pavement to be 8" Reinforced, Portland Cement Concrete on compacted subgrade unless otherwise shown.
- Site lighting to be wall mounted lights. All lighting shall be provided with full cut-off.
- This site plan has been designed to comply with the provisions of the Americans with Disabilities Act Accessibility Guidelines (ADAAG) for building and facilities. Appendix A to 28 CFR Part 36.
- All mechanical equipment will be screened in accordance with Section 20-1006(b) of the Development Code.
- All traffic control signs placed on private property open to the general public shall comply with the "Manual on Uniform Traffic Control Devices" and "Standard Highway Signs," published by the Federal Highway Administration, with respect to size, shape, color, retroreflectivity, and position.
- Turf areas to be seeded unless noted otherwise.
- Proposed building to be constructed of precast concrete panels.
- This property will only be accessed for maintenance reasons or by city staff. Parking will be provided on the surrounding asphalt area. Parking stalls will not be provided.
- All stormsewer work on site and the surrounding property will be shown in detail in the Public Improvement Plans for this area.
- Refer to sheet SP2 for tree removal and proposed landscape information.
- Based on the updated flood study being conducted for the City of Lawrence, a portion of the site is located within the 100 year floodplain. A Floodplain Development Permit application will be submitted to the City of Lawrence.
- Each chainlink gate shall be locked with a Knox Padlock. Contractor to contact the fire department for an application.

**SITE SUMMARY:**

**LOT 1 EXISTING SITE SUMMARY**

EXISTING BUILDING :	0 SF (0.00 AC.)
EXISTING PAVEMENT:	0 SF (0.00 AC.)
TOTAL IMPERVIOUS:	0 SF (0.00 AC.)
EXISTING PERVIOUS:	12,550 SF (0.29 AC.)
<b>TOTAL PROPERTY AREA:</b>	<b>12,550 SF (0.29 AC.)</b>

**LOT 1 NEW SITE SUMMARY**

EXISTING/PROPOSED BUILDING:	0 SF (0.00 AC.)
EXISTING/PROPOSED PAVEMENT:	0 SF (0.00 AC.)
PROPOSED IMPERVIOUS:	0 SF (0.00 AC.)
PROPOSED PERVIOUS:	12,550 SF (0.29 AC.)
<b>TOTAL PROPERTY AREA:</b>	<b>12,550 SF (0.29 AC.)</b>

**LOT 2 EXISTING SITE SUMMARY**

EXISTING BUILDING :	0 SF (0.00 AC.)
EXISTING PAVEMENT:	0 SF (0.00 AC.)
TOTAL IMPERVIOUS:	0 SF (0.00 AC.)
EXISTING PERVIOUS:	12,592 SF (0.289 AC.)
<b>TOTAL PROPERTY AREA:</b>	<b>12,592 SF (0.289 AC.)</b>

**LOT 2 NEW SITE SUMMARY**

EXISTING/PROPOSED BUILDING:	1,554 SF (0.036 AC.)
EXISTING/PROPOSED PAVEMENT:	7,667 SF (0.176 AC.)
PROPOSED IMPERVIOUS:	9,253 SF (0.212 AC.)
PROPOSED PERVIOUS:	3,339 SF (0.077 AC.)
<b>TOTAL PROPERTY AREA:</b>	<b>12,592 SF (0.289 AC.)</b>

NOT FOR CONSTRUCTION  
PLANNING DOCUMENT ONLY

Vertical text on the left edge of the drawing, including drawing name, date, and scale information.

BARTLETT & WEST

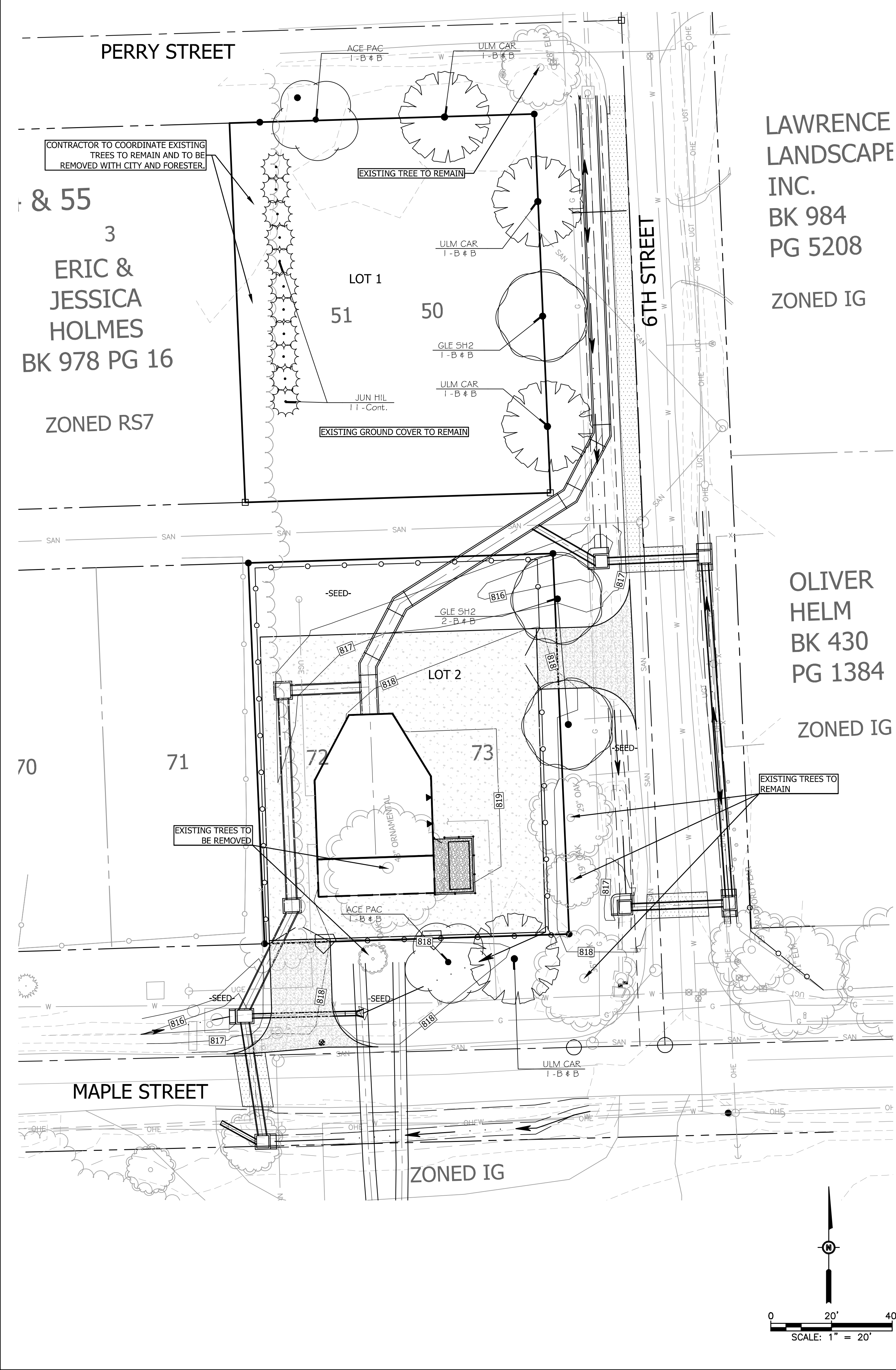
844 COLUMBIA - LAWRENCE, KS 66049  
PHONE 785.748.9433 - FAX 785.748.7455  
WWW.BARTLETTWEST.COM

**SITE PLAN  
LAYOUT AND GENERAL NOTES**  
6TH & MAPLE STORMWATER PUMP STATION  
FOR THE CITY OF LAWRENCE  
LAWRENCE, KS

DESIGNED BY: CBC  
DRAWN BY: CBC  
APPROVED BY: DRA  
DESIGN PROJ: 18016.001  
CONST PROJ: .....  
SCALE: AS NOTED  
DATE: DEC. 2013  
DRAWING NO: SP1  
SHEET NO: 1 of 2

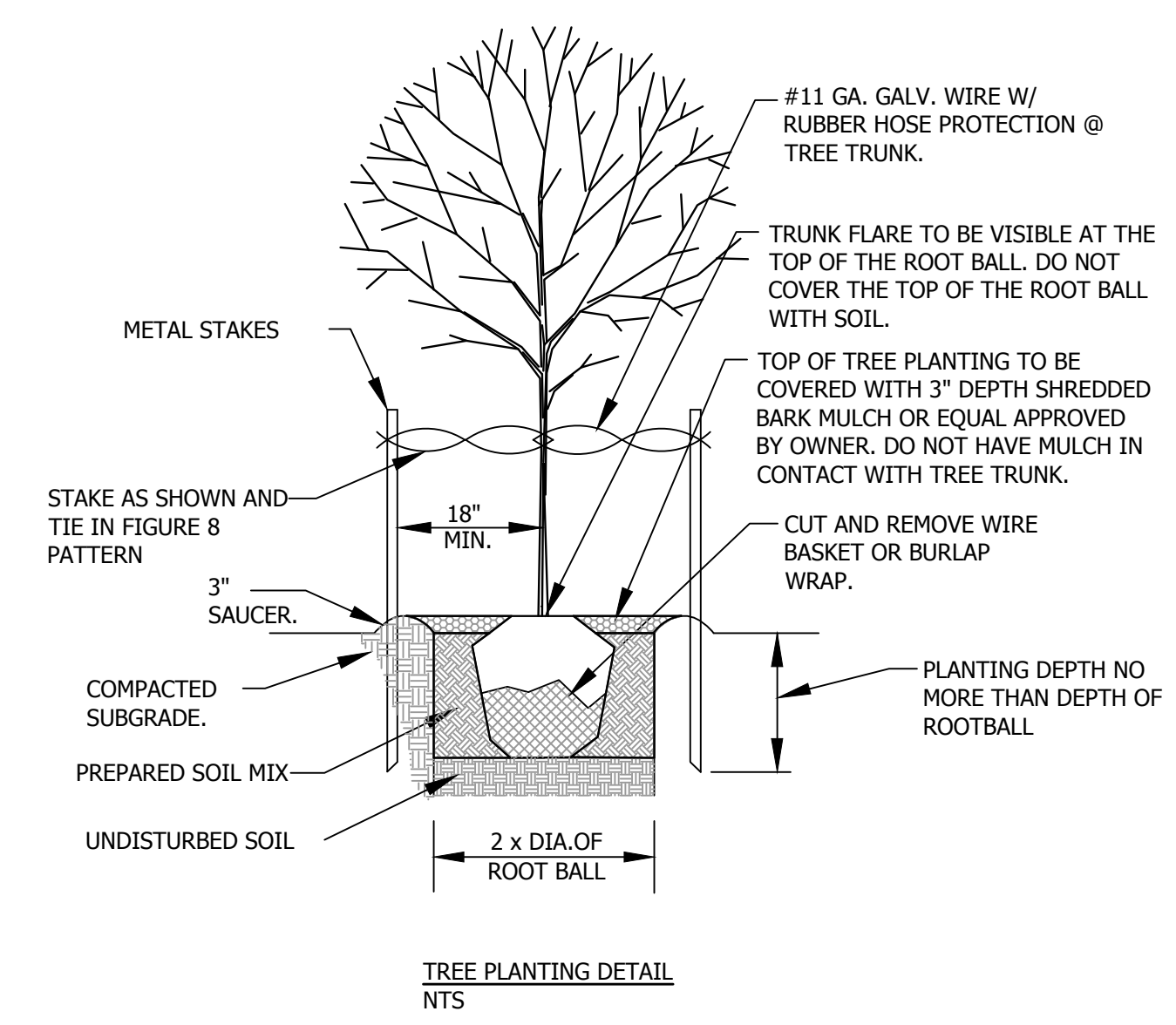
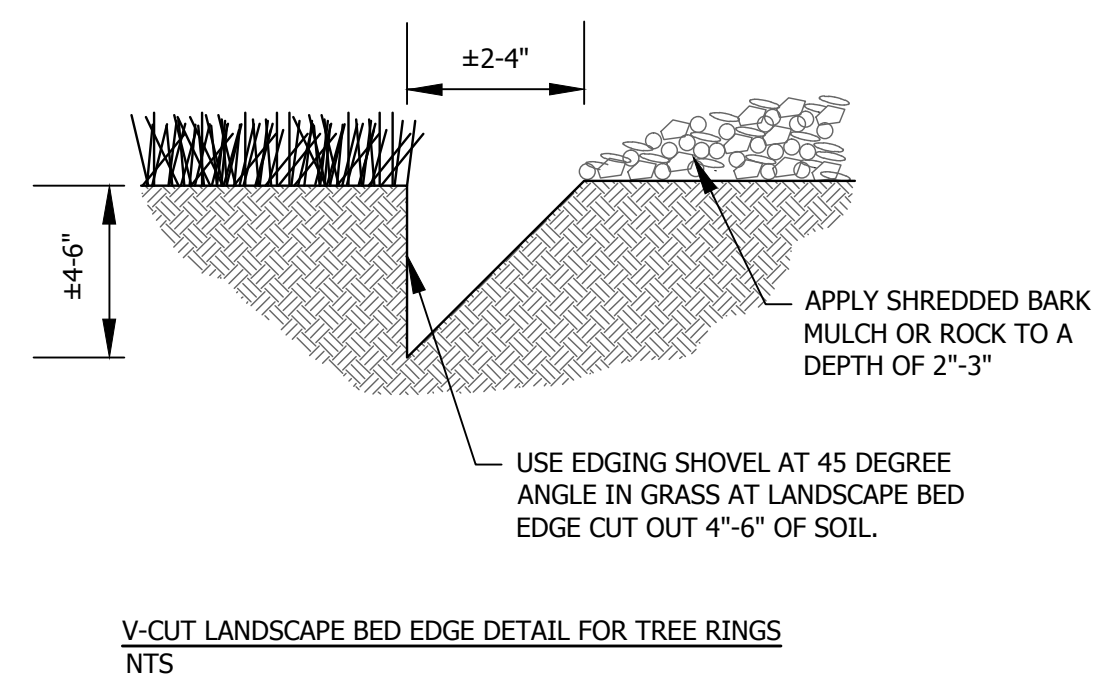
ALL RIGHTS RESERVED. ALL BARTLETT & WEST ENGINEERS PLANS, SPECIFICATIONS AND DRAWINGS ARE PROTECTED UNDER COPYRIGHT LAW AND NO PART MAY BE COPIED, REPRODUCED, DISPLAYED PUBLICLY, USED TO CREATE DERIVATIVES, DISTRIBUTED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM BY ANY MEANS WITHOUT PRIOR WRITTEN PERMISSION OF BARTLETT & WEST ENGINEERS.





**LAWRENCE LANDSCAPE INC.**  
BK 984  
PG 5208  
ZONED IG

**OLIVER HELM**  
BK 430  
PG 1384  
ZONED IG



**LANDSCAPE NOTES:**

- GENERAL CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT SUBSTANTIAL COMPLETION.
- ALL PLANT MATERIALS SHALL MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-2004).
- EACH TREE AND SHRUB SHALL BE SECURELY LABELED WITH A WATERPROOF TAG INDICATING BOTANICAL NAME AND COMMON NAME FOR DELIVERY TO SITE.
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE APPROVAL OF THE OWNER. ALL PLANTING LOCATIONS FOR TREES AND SHRUBS SHALL BE FLAGGED BY THE CONTRACTOR AND APPROVED BY THE OWNER, PRIOR TO INSTALLATION.
- ALL DISCREPANCIES AND/OR FIELD CHANGES SHALL BE REPORTED TO THE OWNER FOR APPROVAL PRIOR TO IMPLEMENTATION. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS OR OBSTRUCTIONS, LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER BEFORE PLANTING.
- THE GENERAL CONTRACTOR SHALL VERIFY LOCATION OF AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE GENERAL CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS ON SITE THROUGHOUT THE CONSTRUCTION PROCESS.
- ALL SHRUB AND TREE PLANTING AREAS SHALL BE EXCAVATED AND BACK-FILLED WITH PLANT MIX. DISCARD SUBSOIL REMOVED FROM PLANTING AREA EXCAVATION; DO NOT MIX WITH PLANT MIX OR USE AS BACK-FILL. SEE SHRUB & TREE PLANTING DETAILS FOR COMPLETE PLANTING PREPARATION. PREPARE PLANTING AREAS AND INSTALL PLANTS COMPLETELY, PRIOR TO SEEDING.
- PLANT MIX SHALL CONSIST OF TOPSOIL COMPLETELY FREE OF DEBRIS, ROCK IN EXCESS OF 1" IN DIAMETER, STICKS AND CLAY. MIX 80% TOPSOIL WITH 20% CITY COMPOST CITY TO PROVIDE CONTRACTOR TO HAUL FROM CITY WOOD LOT. .
- ALL SHRUBS SHALL BE INSTALLED IN PROPOSED PLANTING BEDS AND ALL MULCH FOR THE PROJECT TO BE PROVIDED BY THE CITY (RECYCLED HARDWOOD TREE MULCH). CONTRACTOR TO HAUL TO SITE FROM CITY WOOD LOT.
- ALL PLANTED SURFACES SHALL RECEIVE EMULSION TYPE, FILM FORMING, ANTI-DESSICANT AGENT DESIGNED TO PERMIT TRANSPIRATION, BUT RETARD EXCESSIVE LOSS OF MOISTURE FROM PLANTS. ANTI-DESSICANT TO BE DELIVERED IN MANUFACTURER'S FULLY IDENTIFIED CONTAINERS AND MIXED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. APPLY PRIOR TO APPLICATION OF MULCH.
- ALL DISTURBED AREAS NOT DESIGNATED AS PAVEMENT OR PLANTING BEDS SHALL BE SEEDDED WITH TURF TYPE TALL FESCUE BLEND OR APPROVED EQUAL AT THE DIRECTION OF THE OWNER. ALL TURF AREAS SHALL CONSIST OF A MINIMUM 8" THICKNESS TOPSOIL FREE OF CLAY, DEBRIS, STICKS OR ROCKS IN EXCESS OF 1" IN DIAMETER. ALL TOPSOIL AREAS SHALL BE FINE GRADED AND RAKED, REMOVING RIDGES AND FILLING DEPRESSIONS AS REQUIRED TO MEET FINISHED GRADES AND CREATE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PRIOR TO SEEDING, MOISTEN PREPARED TOPSOIL IF GROUND IS DRY. AFTER ONE MONTH FOLLOWING SEEDING, APPLY FERTILIZER AT THE MANUFACTURER'S RECOMMENDED RATE FOR NEWLY ESTABLISHED LAWNS. AFTER TWO MONTHS FOLLOWING SEEDING, APPLY GYPSUM AT THE RATE OF 100 LBS. PER 1000 SQ. FEET. THE GENERAL CONTRACTOR SHALL MAINTAIN ALL PLANTED OR TURF AREAS THROUGHOUT THE WARRANTY PERIOD AND SHALL PERFORM OPERATIONS SUCH AS ROLLING, REGRADING, RESEEDING, AND/OR REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH TURF SURFACE, FREE OF ERODED OR BARE AREAS TO THE SATISFACTION OF THE OWNER.
- ALL UTILITY INFORMATION SHOWN HEREIN IS BASED ON THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF DESIGN. THE CONTRACTOR SHALL VERIFY ALL UTILITY DEPTHS AND LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES TO FIELD LOCATE AND/OR ADJUST THEIR UTILITY AS REQUIRED FOR CONSTRUCTION. ALL UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND THE ENGINEER ASSUMES NO LIABILITY FOR SAME.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING THE AREAS AND QUANTITIES OF SEED NEEDED FOR OPTIMUM COVERAGE.
- ALL EDGING IS A NATURAL EARTH EDGE AS SHOWN, CONSTRUCTED WITH A SHARPSHOOTER OR OTHER SUITABLE IMPLEMENT. LINES AND CURVES SHALL BE CONTINUOUS AND SMOOTH, MEETING THE DESIGN INTENT SHOWN ON THE DRAWINGS.
- REMOVE ANY EXCESS SOIL AND DEBRIS FROM AREA AND DISPOSE OF IN AN APPROVED MANNER.
- SPACING SHOWN FOR PLANTS IS FOR INFORMATION ONLY AND SHALL BE ADJUSTED AS REQUIRED TO PROVIDE UNIFORM SPACING WITHIN PLANTING BEDS.
- PROTECTION MEASURES FOR EXISTING VEGETATION SHOULD INCLUDE A REQUIREMENT THAT THE DRIP-LINE AREA (UNDER THE CANOPY) SHALL BE FENCED WITH CONSTRUCTION FENCING PRIOR TO ANY CONSTRUCTION ACTIVITY IN THE AREA. SIGNAGE INDICATING THAT "NO DEVELOPMENT ACTIVITY INCLUDING GRADING, TRENCHING, OR STORING OF VEHICLES OR MATERIALS MAY OCCUR WITHIN THIS AREA". CONTRACTOR TO PROVIDE PROTECTION FENCING AT TREE DRIP LINE FOR 3 LARGE BUR OAKS & ONE LARGE ELM ON 6TH STREET. CONTRACTOR TO COORDINATE WITH CRYSTAL MILES TO PROVIDE A FORESTRY STAFF PERSON TO BE PRESENT AT THE TIME OF EXCAVATION NEAR EXISTING TREES.

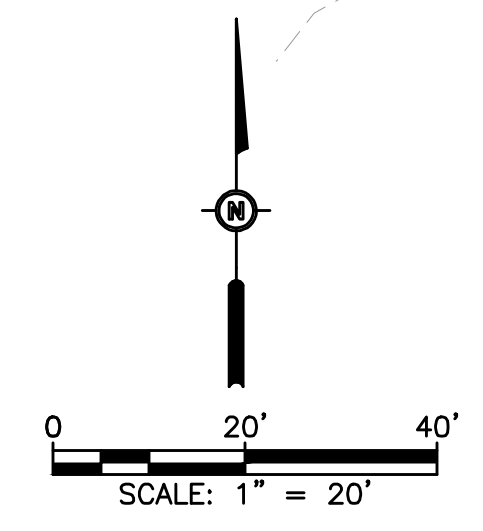
**PLANT SCHEDULE**

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	ACE PAC	Acer truncatum 'Pacific Sunset' TM / Pacific Sunset Maple	B & B	2.5'Cal	2
	ULM CAR	Ulmus x 'Frontier' / American Elm	B & B	2.5'Cal	4
	GLE SH2	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2.5'Cal	3
	JUN HIL	Juniperus virginiana 'Hillspire' / Hillspire Juniper	Cont.	6' Ht. MIN	11

**LANDSCAPE CALCULATIONS**

<b>STREET TREES</b>		
6TH STREET: 250.42 LF STREET FRONTAGE/40	= 7 TREES REQUIRED	= 2 TREES EXISTING
	= 5 TREES PROVIDED	
PERRY STREET: 100.43 LF STREET FRONTAGE/40	= 3 TREES REQUIRED	= 1 TREE EXISTING
	= 2 TREES PROVIDED	
MAPLE STREET: 100.38 LF STREET FRONTAGE/40	= 3 TREES REQUIRED	= 1 TREE EXISTING
	= 2 TREES PROVIDED	

\*\* LOT 2, ALONG N. 6TH STREET AT LEAST ONE EXISTING TREE WILL COUNT TOWARDS STREET TREE TOTAL. TO BE DETERMINED.



**NOT FOR CONSTRUCTION  
PLANNING DOCUMENT ONLY**

**BARTLETT & WEST**

844 COLUMBIA - LAWRENCE KS 66049  
PHONE 785.748.9432 - FAX 785.745.5561  
WWW.BARTLETTWEST.COM

**SITE PLAN AND DETAILS  
LANDSCAPING PLAN AND DETAILS  
6TH & MAPLE STOMWATER PUMP STATION  
FOR THE CITY OF LAWRENCE  
LAWRENCE, KS**

#	DATE	DESCRIPTION
1	03-04-14	PER CITY OF LAWRENCE PLANNING DEPT. COMMENTS
2	03-13-14	PER CITY OF LAWRENCE PLANNING DEPT. COMMENTS

DESIGNED BY: KED  
DRAWN BY: KED  
APPROVED BY: DRA  
DESIGN PRO: 18016.001  
CONST PRO: .....

SCALE: AS NOTED  
DATE: DEC. 2013  
DRAWING NO: SP2  
SHEET NO: 2 of 2

ALL RIGHTS RESERVED. ALL BARTLETT & WEST ENGINEERS PLANS, SPECIFICATIONS AND DRAWINGS ARE PROTECTED UNDER COPYRIGHT LAW AND NO PART MAY BE COPIED, REPRODUCED, DISTRIBUTED PUBLICLY, USED TO CREATE DERIVATIVES, DISTRIBUTED IN ANY FORM BY ANY MEANS WITHOUT PRIOR WRITTEN PERMISSION OF BARTLETT & WEST ENGINEERS.

Drawing Name: W:\proj\180001\8016\8016\_001\Landscaping.dwg Layout Name: Landscape\_Plotbed By: CEC09098 Plotted on: 3/13/2014 10:24:58 AM  
 Last edit on: 02/02/00