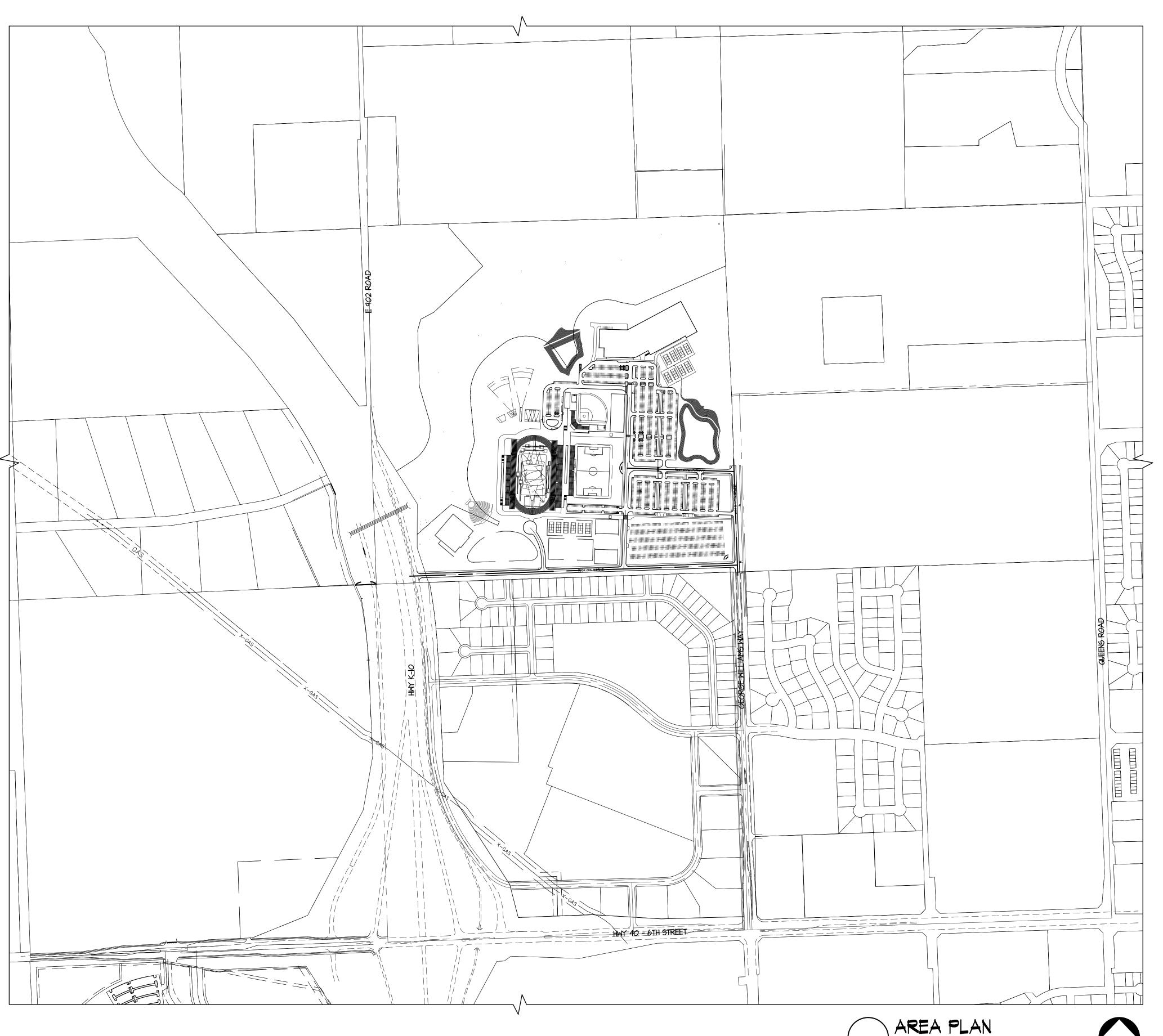
# ROCK CHALK PARK



# DEVELOPMENT DRAWINGS:

COVER SHEET

0 200 400

800

OVERALL LAYOUT

GENERAL NOTES

UTILITY LAYOUT

RECREATION CENTER LAYOUT

KANSAS UNIVERSITY FACILITY LAYOUT

KANSAS UNIVERSITY FACILITY LAYOUT

KANSAS UNIVERSITY FACILITY LAYOUT

KANSAS UNIVERSITY FACILITY LAYOUT KANSAS UNIVERSITY FUTURE FACILITY LAYOUT

KANSAS UNIVERSITY FUTURE FACILITY LAYOUT

123 W. 8TH STREET SUITE B2 LAWRENCE, KS 66044

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> 5200 BOB BILLINGS PARKWAY SUITE 303 LAWRENCE, KS 66049

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ROCK C SPECIAL

PROJECT # 212-140

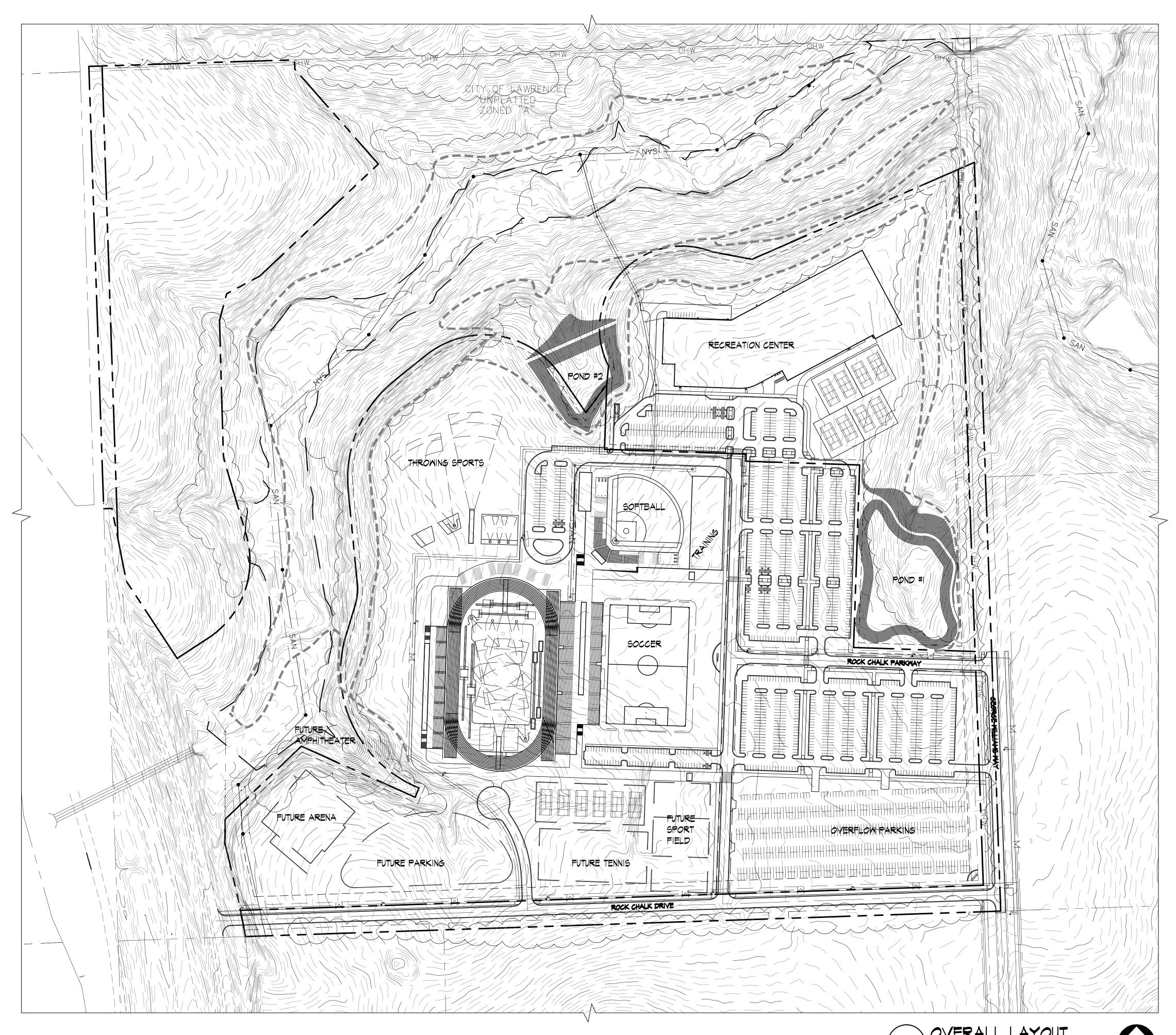
10.8.12 11.26.12

PROJECT # 212-140

RELEASE: 10.8.12 1.0 11.26.12

ROCK C SPECIAL GEORGE

OVERALL LAYOUT 0 75 150 300



#### PROPERTY OWNERS OF RECORD:

FAIRWAY, LC. 5200 BOB BILLINGS PARKWAY, SUITE 303 LAWRENCE, KS 66049

A TRACT OF LAND IN THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP I2 SOUTH, RANGE I9 EAST OF THE 6TH PRINCIPAL MERIDIAN IN DOUGLAS COUNTY, KANSAS, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID QUARTER SECTION; THENCE SOUTH 88° 03' 57" WEST, 2289.78 FEET ALONG THE SOUTH LINE OF SAID QUARTER SECTION TO THE EASTERLY LINE OF A RIGHT-OF-WAY DEEDED TO THE STATE OF KANSAS; THENCE ON A CURVE TO THE LEFT ALONG SAID RIGHT-OF-WAY, HAVING A RADIUS OF 4069.72 FEET, AN ARC LENGTH OF 287.97 FEET, A CHORD BEARING NORTH 12° 32' 44" WEST AND CHORD DISTANCE OF 287.91 FEET; THENCE NORTH 00° 20' 28" EAST ALONG SAID RIGHT-OF-WAY, 74.58 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY ON A MEASURED BEARING OF NORTH 46° 12' 54" EAST AND MEASURED DISTANCE OF 320.03 FEET; THENCE SOUTH 65° 51' 23" EAST, 378.00 FEET; THENCE NORTH 22° 02' 16" EAST 30.33 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 380.00 FEET, AN ARC LENGTH OF 563.28 FEET, A CHORD BEARING NORTH 25° 29' 49" WEST AND CHORD DISTANCE OF 513.11 FEET; THENCE NORTH 16° 58' 06" EAST, 93.80 FEET; THENCE ON A CURVE TO THE LEFT HAVING A RADIUS OF 170.00 FEET, AN ARC LENGTH OF 66.69 FEET, A CHORD BEARING NORTH 05° 43' 53" EAST AND A CHORD DISTANCE OF 66.26 FEET; THENCE NORTH 05° 30' 23" WEST, 284.93 FEET; THENCE ON A CURVE TO THE RIGHT HAVING A RADIUS OF 380.00 FEET, AN ARC LENGTH OF 316.42 FEET, A CHORD BEARING NORTH 22° 52' 20" EAST AND CHORD DISTANCE OF 361.22 FEET; THENCE NORTH 51° 15' 03" EAST, 122.85 FEET; THENCE ON A CURVE TO THE RIGHT HAVING A RADIUS OF 280,00 FEET, AN ARC LENGTH OF 462,36 FEET, A CHORD BEARING SOUTH 81° 26' 37" EAST AND CHORD DISTANCE OF 411.59 FEET; THENCE SOUTH 34° 08' 16" EAST, 136.57 FEET; THENCE NORTH 36° 50' 52" EAST, 105.91 FEET; THENCE NORTH 05° 32' 15" EAST, 56.74 FEET; THENCE ON A CURVE TO THE RIGHT HAVING A RADIUS OF 250.00 FEET, AN ARC LENGTH OF 606.31 FEET, A CHORD BEARING NORTH 42° 26' 34" EAST AND CHORD DISTANCE OF 468.29 FEET; THENCE SOUTH 79° 27' 52" EAST, I20.73 FEET; . THENCE NORTH 66° 27' 53" EAST, 735.30 FEET TO THE EAST LINE OF SAID QUARTER SECTION; THENCE SOUTH 02° 00' 44" EAST ALONG SAID EAST LINE, 2270.86 FEET TO THE POINT OF BEGINNING. CONTAINING 89.812 ACRES.

#### GENERAL NOTES:

- I.I ALL REQUIRED ACCESSIBLE SIDEWALK RAMPS PER A.D.A. STANDARDS.
- 1.2 SITE PLAN HAS BEEN DESIGNED TO COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) FOR BUILDINGS AND FACILITIES, APPENDIX A TO 28CFR PART 36.
- I.3 THE CITY OF LAWRENCE WILL NOT BE HELD RESPONSIBLE FOR PAVEMENT DAMAGE CAUSED BY TRASH TRUCKS.
- 1.4 PLAN FOR CITY APPROVAL ONLY! CONSTRUCTION DOCUMENTS TO BE FURNISHED AT THE REQUEST OF OWNER.
- 1.5 INFORMATION TAKEN FROM AERIAL PHOTOS, SURVEY PERFORMED BY LANDPLAN ENGINEERING OCTOBER 2012. 1.6 ALL TRAFFIC CONTROL SIGNS PLACED ON PRIVATE PROPERTY OPEN TO THE GENERAL PUBLIC SHALL COMPLY
- WITH THE "MANUAL ON UNIFORMS TRAFFIC CONTROL DEVICES" AND "STANDARD HIGHWAY SIGNS," PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION, WITH RESPECT TO SIZE, SHAPE, COLOR, RETROFLECTIVITY, AND
- 1.7 FUTURE USES SHOWN ON PLAN FOR PLANNING AND INFORMATIONAL PURPOSES. A MORE DETAILED SITE PLAN WILL BE PROVIDED FOR FUTURE USES PRIOR TO OBTAINING BUILDING PERMITS.
- 1.8 PHOTOMETRIC PLAN TO BE SUBMITTED SEPARATELY FOR REVIEW AND APPROVAL
- I.9 UTILITY LOCATIONS TO BE DETERMINED AND SHOWN ON PLAN PRIOR TO APPROVAL.
- I.IO EASEMENTS REQUIRED FOR UTILITIES AND ACCESS TO BE RECORDED BY PLAT AND/OR SEPARATE INSTRUMENT.

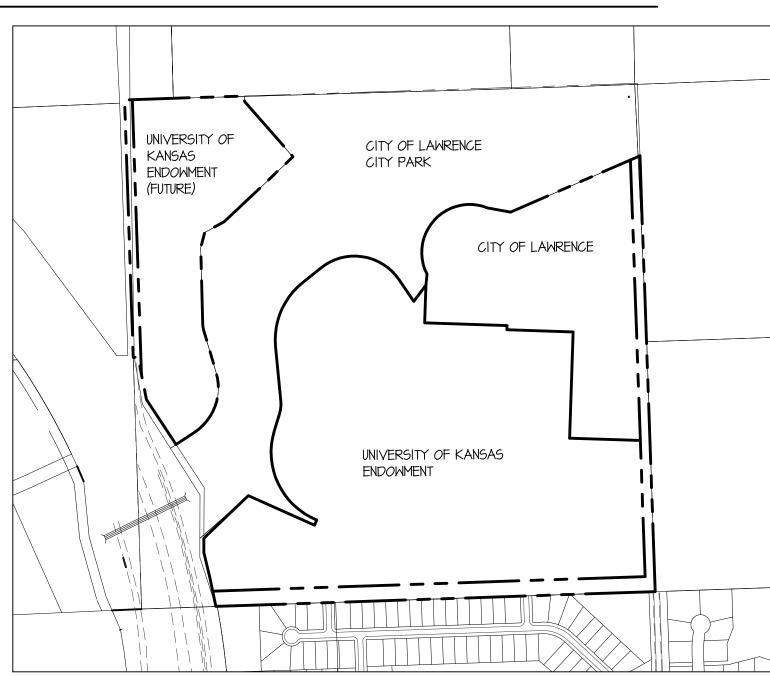
# OFF-SITE IMPROVEMENTS

2.1 ACCESS ROAD CONNECTING HMY 40 (6TH STREET) TO THE WEST END OF ROCK CHALK DRIVE SHALL BE SURFACED WITH CHIP & SEAL PER AGREEMENT WITH CITY OF LAWRENCE FIRE DEPARTMENT.

#### RELEASE:

- I.O SPECIAL USE SITE PLAN SUBMITTAL
- I.I REVISED PLAN PER STAFF COMMENTS

#### PROPERTY USE MAP



UNIVERSITY OF KANSAS ENDOWMENT FUTURE TRACT IS NOT INCLUDED IN THIS SITE PLAN

# CITY OF LAWRENCE

# PROJECT SUMMARY:

I.I CURRENT ZONING: A I.2 PROPOSED ZONING: GPI

1.3 CURRENT USE:

I.4 PROPOSED USE: ACTIVE & PASSIVE RECREATION FACILITY,

ENTERTAINMENT AND SPECTATOR SPORTS 21.745 ACRES (947,225 SQ. FT. +/-) 1.5 LAND AREA:

1.6 PROJECT PROPOSED: SPORTS AND RECREATION USES FOR THE CITY OF LAWRENCE

## PROPERTY SURFACE SUMMARY:

PROJECT SITE: 21.745 ACR EXISTING SUMMARY:	PES (947,22	25 SQ. FT. +/-)	SUMMARY AFTER PROJEC	CT COMPLE	TION:
	SQ. FT.	AC_		_SQ. FT.	AC_
TOTAL BUILDINGS:	0	0.000	TOTAL BUILDINGS:	181,000	4.155
TOTAL PAVEMENT:	0	0.000	TOTAL PAVEMENT:	93,048	2.136
TOTAL IMPERVIOUS:	0	0.000	TOTAL IMPERVIOUS:	274,048	6.291
TOTAL PERVIOUS:	947,225	21.745	TOTAL PERVIOUS:	673,177	15.454
TOTAL PROPERTY AREA:	947,225	21.745	TOTAL PROPERTY AREA:	947,225	21.745

#### BUILDING AREA SUMMARY:

RECREATION CENTER

TOTAL BUILDING AREA: ±181,000

# PARKING INFORMATION:

- 2.1 PARKING REQUIRED: ACTIVE AND PASSIVE RECREATION FACILITY ENTERTAINMENT AND SPECTATOR SPORTS: I SPACE PER 3 SEATS TOTAL SPACES: I,400 PARKING SPACES AVAILIBLE PER SHARED USE AGREEMENT
- 2.2 ACCESSIBLE PARKING REQUIRED: 6 AUTO SPACES AND I VAN SPACE

2.3	TYPE:	PROVIDED:	
	REGULAR: ACCESSIBLE:	206 1	
	TOTAL:	213	

BICYCLE (I PER IO AUTO SPACES) 25 (5 RACKS)

2.4 TYPICAL DIMENSIONS: REGULAR AND HANDICAPPED SPACES - 8.5' X 18' (16.5' + 1.5' OVERHANG AT SIDEWALKS OR PERIMETER ROWS) SIDEWALKS SHALL BE 4" CONCRETE - 5' OR 6' WIDE DEPENDING UPON THE LOCATION. RECREATION PATH SHALL BE 10' X 4" CONCRETE.

HANDICAPPED SPACES TO INCLUDE ACCESS AISLE 5' MIN. WIDTH.

2.5 PAVEMENT: APPROACHES: 7" - 4000 PSI CONCRETE W #5 BARS I2" O.C.B.W. - PER CITY STANDARDS DRIVES: MIN. 6" ASPHALT ON 4" GRAVEL OR 5" CONCRETE - PER CITY STANDARDS MIN. 5" ASPHALT ON 4" GRAVEL OR 4" CONCRETE - PER CITY STANDARDS

## LANDSCAPING NOTES:

<u>5YM.</u>	DESCRIPTION	<u>QTY.</u>	APPROVED TYPES	BOTANICAL NAMES	<u>SIZE</u>	COND.
Control of the state of the sta	STREET TREES	9	LEGACY SUGAR MAPLE SUMMERSHADE NORWAY MAPLE LACEBARK ELM SHUMBARD OAK GREENSPIRE LINDEN LONDON PLANE TREE	ACER SACCHARUM "LEGACY"  ACER PLATANOIDES "SUMMERSHADE"  ULMUS PARVFOLIA  QUERCUS SHUMARDII  TILIA CORDATA 'GREENSPIRE'  PLATANUS OCCIDENTALIS ' BI OODGOOD'	2"-2 I/2" CAL	В≰В
	ORNAMENTAL TREES	23	KOUSA DOGWOOD CORAL BURST CRABAPPLE EASTERN REDBUD CRAB, SARGENTINA PEAR, CLEVELAND SELECT	CORNUS KOUSA MALUS 'CORALBURST' CERCIS CANADENSIS MALUS SARGENTII 'TINA' PYRUS CALLERYANA	I I/2"-2" CAL	B & B

- 3.1 THERE MUST BE A MIN. OF (2) SPECIES USED IN EACH CATEGORY. A LIST OF SPECIES WILL BE PROVIDED PRIOR TO APPROVAL.
- 3.2 ALL TURF AREAS TO BE SEEDED WITH K-3I FESCUE, SOD, OR AS ALLOWED BY CITY CODE.
- 3.3 CARE SHALL BE TAKEN TO PRESERVE ALL TREES OUTSIDE OF THE IMMEDIATE CONSTRUCTION AREA.
- 3.4 REQUIRED INTERIOR LANDSCAPING AREA = 218 SURFACE SPACES\*40 SQ. FT. PER SPACE = 8,720 SQ. FT.; 9,994 SQ. FT. PROVIDED.
- 3.5 REQUIRED INTERIOR PARKING LOT TREES = I PER IO PARKING SPACES = 22 TREES; PROPOSED INTERIOR TREES = 32.

# UNIVERSITY OF KANSAS ENDOWMENT

# PROJECT SUMMARY:

I.I CURRENT ZONING: A I.2 PROPOSED ZONING: GPI

1.3 CURRENT USE: GENERAL ENTERTAINMENT & SPECTATOR SPORTS, I.4 PROPOSED USE:

PASSIVE RECREATION FACILITY

61.344 ACRES (2,672,150 SQ. FT. +/-) 1.5 LAND AREA:

I.6 PROJECT PROPOSED: SPORTS USES FOR THE UNIVERSTIY OF KANSAS, PASSIVE RECREATION USES FOR

THE CITY OF LAWRENCE

# PROPERTY SURFACE SUMMARY:

PROJECT SITE: 61.344 AC EXISTING SUMMARY:	RES (2,672,15	50 SQ. FT. +/-,	) SUMMARY AFTER INITIAL P	HASE PROJEC	T COMPLETION
	SQ. FT.	AC		SQ. FT.	AC
TOTAL BUILDINGS:	0	0.000	TOTAL BUILDINGS:	61,000	1.400
TOTAL PAVEMENT:	0	0.000	TOTAL PAVEMENT:	572,636	13.146
TOTAL IMPERVIOUS:	0	0.000	TOTAL IMPERVIOUS:	633,636	14.546
TOTAL PERVIOUS:	2,672,150	61.344	TOTAL PERVIOUS:	2,038,514	46.798
TOTAL PROPERTY AREA:	2,672,150	61.344	TOTAL PROPERTY AREA:	2,672,150	61.344

#### BUILDING AREA SUMMARY:

<u>SOFTBALL</u>		TRAINING & PERFORMANCE	<del></del>
TRACK & FIELD		TOTAL BUILDING FOOTPRINT:	<u>SQ. FT.</u> 14,000
<u>SOCCER</u>	SQ. FT.	INDOOR SOFTBALL	
TOTAL BUILDING FOOTPRINT:	28,000		<u> </u>
NOTE:	CV #	TOTAL BUILDING FOOTPRINT:	14,000
SOCCER, SOFTBALL, AND TRA FIELD TO HAVE SHARED OFFICE	CES,	<u>FACILITIES</u>	SQ. FT.
LOCKER ROOMS, PRESS BOXE ETC. ADDITIONAL INFORMATION	•	TOTAL BUILDING FOOTPRINT:	5,000
PROVIDED ON SITE PLANS.			

#### PARKING INFORMATION:

2.1 PARKING REQUIRED: PASSIVE RECREATION FACILITY GENERAL ENTERTAINMENT & SPECTATOR SPORTS: I SPACE PER 3 SEATS SOCCER FIELD: 2,500 SEATS @ | SPACE PER 3 SEATS = 834 SPACES SOFTBALL FIELD: 1,000 SEATS @ | SPACE PER 3 SEATS = 334 SPACES

TRACK & FIELD: 1,500 PERMANENT SEATS, 2500 TEMPORARY SEATS @ | SPACE PER 3 SEATS = 3,334 SPACES TOTAL SPACES REQUIRED: 4,502 SPACES

PARKING AREAS: MIN. 5" ASPHALT ON 4" GRAVEL OR 4" CONCRETE - PER CITY STANDARDS

TOTAL SPACES PROVIDED: 1400 PARKING SPACES AVAILABLE PER SHARED USE AGREEMENT 2.2 ACCESSIBLE PARKING REQUIRED: 20 AUTO SPACES, 3 VAN SPACES

PROVIDED: REGULAR 1,221 **ACCESSIBLE** 

BICYCLE (I PER IO AUTO SPACES) 128 (26 RACKS)

2.4 ALL FACILITIES WILL NOT BE USED SIMULTANEOUSLY.

2.5 A DETAILED PARKING/SHUTTLE BUS PLAN WILL BE PROVIDED AND WILL BE DEVELOPED BETWEEN KU AND THE CITY FOR LARGER EVENIS.

2.6 TYPICAL DIMENSIONS: REGULAR AND HANDICAPPED SPACES - 8.5' X 18' (16.5' + 1.5' OVERHANG AT SIDEWALKS OR PERIMETER ROWS) SIDEWALKS SHALL BE 4" CONCRETE - 5' OR 6' WIDE DEPENDING UPON THE LOCATION. RECREATION PATH SHALL BE IO' X 4" CONCRETE.

HANDICAPPED SPACES TO INCLUDE ACCESS AISLE 5' MIN. WIDTH. 2.7 PAVEMENT: APPROACHES: 7" - 4000 PSI CONCRETE W/ #5 BARS I2" O.C.B.W. - PER CITY STANDARDS MIN. 6" ASPHALT ON 4" GRAVEL OR 5" CONCRETE - PER CITY STANDARDS

#### LANDSCAPING NOTES:

SYM.	DESCRIPTION	<u>QTY.</u>	APPROVED TYPES	BOTANICAL NAMES	<u>SIZE</u>	COND.	
La . so	STREET TREES	99	LEGACY SUGAR MAPLE SUMMERSHADE NORWAY MAPLE LACEBARK ELM SHUMBARD OAK GREENSPIRE LINDEN LONDON PLANE TREE	ACER SACCHARUM "LEG ACER PLATANOIDES "SI ULMUS PARVFOLIA QUERCUS SHUMARDII TILIA CORDATA 'GREEN PLATANUS OCCIDENTAL	MMERSHADE" ISPIRE'	2"-2 I/2" CAL	B <b>\$</b> B
	SHADE TREES	55	ELM, LACEBARK HORNBEAM, COLUMNAR MAPLE, AUTUMN BLAZE MAPLE, COLUMNER NORWAY MAPLE, PACIFIC SUNSET MAPLE, SIENNA GLEN OAK, BUR BALD CYPRESS OAK, NORTHERN RED OAK, SHINGLE ZELCOVA, GREEN VASE OAK, SWAMP WHITE SAW TOOTH OAK NORWAY MAPLE THORNLESS HONEY LOCUST	ULMUS PARVIFOLIA CARPINUS BETULUS 'FA' ACER FREEMANII 'JEFF ACER PLATANOIDES ' ( ACER TRUNCATUM X PL ACER FREEMANII 'SIEN' QUERCUS MACROCARP TAXODIUM DISTICHUM QUERCUS RUBRA FAGACEAE QUERCUS ZELKOVA SERRATA QUERCUS BICOLOR QUERCUS ACUTISSIMA ACER PLATANOIDES 'S GLEDITSIA TRIACANTHO	SRED' COLUMNAR' ATANOIDES IA' A	2"-2 I/2" CAL	B & B
	EVERGREEN TREES	12	WHITE PINE EASTERN RED CEDAR GREEN GIANT, ARBORVITAE BLUE SPRUCE	PINUS STROBUS JUNIPERUS VERGINIANA THUJA 'GREEN GIANT' PICEA PUNGENS	<b>.</b>	6'-8' HT.	B & B
	ORNAMENTAL TREES	II7	KOUSA DOGWOOD CORAL BURST CRABAPPLE EASTERN REDBUD CRAB, SARGENTINA PEAR, CLEVELAND SELECT	CORNUS KOUSA MALUS 'CORALBURST' CERCIS CANADENSIS MALUS SARGENTII 'TINA PYRUS CALLERYANA	۸'	I I/2"-2" CAL	B & B
<b>⊙</b>	DECIDUOUS SHRUBS	39	BARBERRY, CRIMSON PIGMY BURNING BUSH, DWARF SPIREA, MAGIC CARPET NINE BARK, PURPLE LILAC, DWARF KOREAN VIBURNUM, ALLEGANY	BERBERIS THUNBERGII EUONYMUS ALATUS ' CO SPIREA X PHUSOCARPUS OPULIFO SYRINGA MEYERI 'PALE VIBURNUM X RHYTIDOPI	OMPACTUS' OLIUS BIN'	18"-24" HT.	CONT
*	EVERGREEN SHRUBS	48	DWARF SPREADING YEW JUNIPER, SEA GREEN JUNIPER, CALLERY CARPET HOLLY, BLUE JUNIPER, GREY OWL	TAXUS CUSPIDA 'DENSA JUNIPERUS VIRGINIANA JUNIPERUS SABINA ' MC ILEX X MESERVEAE JUNIPERUS X PFITZERIA	'GREY OWL' DNNA'	24"- 36" HT.	CONT

- 3.I THERE MUST BE A MIN. OF (2) SPECIES USED IN EACH CATEGORY. A LIST OF SPECIES WILL BE PROVIDED PRIOR TO APPROVAL.
- 3.2 ALL TURF AREAS TO BE SEEDED WITH K-31 FESCUE, SOD, OR AS ALLOWED BY CITY CODE.
- 3.3 CARE SHALL BE TAKEN TO PRESERVE ALL TREES OUTSIDE OF THE IMMEDIATE CONSTRUCTION AREA.
- 3.4 REQUIRED INTERIOR LANDSCAPING AREA = 1,275 SURFACE SPACES\*40 SQ. FT. PER SPACE = 51,000 SQ. FT.; 58,453 SQ. FT. PROVIDED.
- 3.5 REQUIRED INTERIOR PARKING LOT TREES = I PER IO PARKING SPACES = 128 TREES; PROPOSED INTERIOR TREES = 238.

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PROJECT # 212-140

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Daulwerner ARCHITECTS

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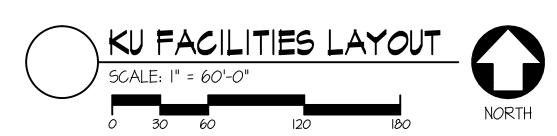
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ROCK CHALK PARK
SPECIAL USE PERMIT
GEORGE WILLIAMS WAY
LAWRENCE, KANSAS

PROJECT # 212-140

RELEASE: DATE: 1.0 10.8.12 1.1 11.26.12



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K PARK
PERMIT
15 WAY
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ROCK C SPECIAL GEORGE

PROJECT # 212-140

DATE: 10.8.12 11.26.12 RELEASE: I.O I.I

youldevans

Daulwerner

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ROCK CHALK PARK
SPECIAL USE PERMIT
GEORGE WILLIAMS WAY

PROJECT # 212-140

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SUP-7

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Dau Werner

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IALK PARK
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ULLIAMS WAY
CE, KANSAS

SPECIAL USE PI GEORGE WILLIAMS W LAWRENCE, KANSA

PROJECT # 212-140

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SUP-8

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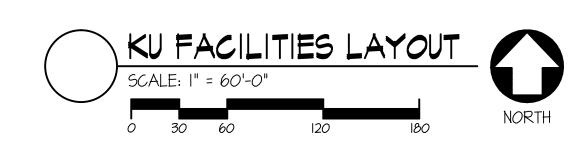
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K PARK
PERMIT
15 WAY
NSAS USE WILLIAM NCE, KAN ROCK C SPECIAL GEORGE

CHALK

PROJECT # 212-140

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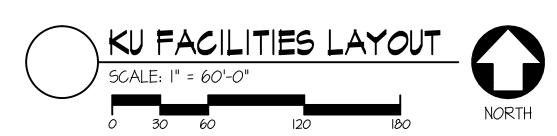
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15 WAY
NSAS ROCK C SPECIAL GEORGE

CHALK

PROJECT # 212-140

DATE: 10.8.12 11.26.12 I.O I.I



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K PARK
PERMIT
15 WAY
NSAS CHALK IL USE F

ROCK C SPECIAL GEORGE

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