

PLANNING COMMISSION REPORT
Regular Agenda – Public Hearing Item

PC Staff Report
5/21/12

**ITEM NO. 4B SPECIAL USE PERMIT FOR EXTENDED CARE MEDICAL FACILITY; 1600
BLOCK OF RESEARCH PARK DRIVE (SLD)**

SUP-2-1-12: Consider a Special Use Permit for an Extended Care Medical Facility, located in the 1600 Block of Research Park Drive. Submitted by Paul Werner Architects, for Mabet #2, LC, Alvamar Development Corporation, property owner of record.

STAFF RECOMMENDATION: Planning Staff recommends approval of Extended Care Medical Facility located in the 1600 Block of Research Park Drive and forwarding the request to the City Commission with a recommendation of approval, subject to the following conditions to be completed prior to the release of the site plan associated with the SUP for building permits:

1. Prior to release of the site plan for issuance of a building permit.
 - a. Submission, approval, and recording of a final plat
 - b. Submission and approval of public improvement
2. Installation of public improvements prior to occupancy.
3. Revise drawing to note phase number on each side of phase line.
4. Provision of a revised Special Use Permit drawing that includes a Landscape note stating that the property owner is responsible for health and success of natural vegetation used for buffering. Loss or removal of existing vegetation shall result in the property owner being required to provide a bufferyard planting compliant with the Development Code.

Applicant's Reason for Request: *A Special Use Permit is required to allow the use "Medical Facility, Extended Care Facility, General", in the IBP zoning district.*

Other Action Required

- Publication of the Special Use Permit ordinance.
- Submission and approval of public improvement plans related to the Final Plat.
- Approval and recording of the Final Plat for this property.

KEY POINTS

- Phased development including two separate buildings on a single lot.

FACTORS TO CONSIDER

CHARACTER OF THE AREA

- Property abuts a collector street.
- Property is within the IBP (Industrial Business Park) District.
- Property abuts a developed residential subdivision.

CONFORMANCE WITH *HORIZON 2020*

- The Plan does not specifically address special uses as defined in the Zoning Code.

PUBLIC COMMENT RECEIVED PRIOR TO PRINTING

- Inquiries via phone regarding proposed development.
- On-site meeting with adjacent property owner to discuss location of sanitary sewer extension

ATTACHMENTS

1. Area Map
2. Site Plan
3. Design Guidelines: <http://www.lawrenceks.org/planning/documents/CommunityDesignMan.pdf>

GENERAL INFORMATION

Current Zoning and Land Use: IBP (Industrial Business Park) District; undeveloped land.

Surrounding Zoning and Land Use: IBP (Industrial Business Park) District to the north and south; undeveloped land owned by adjacent residential property owners presumed to be held as open space buffer from development.

IBP (Industrial Business Park) District to the east; developing office/industrial properties.

RS10 (Single-Dwelling Residential District) to the west; Developed residential subdivision.

Summary of Request

The request is for the development of facility providing care to individuals suffering from Alzheimer's disease as an Extended Care Medical Facility in a residential setting. This use is allowed in the IBP District subject to approval of a Special Use Permit.

Review and Decision-Making Criteria (Land Development Code Section 20-1306(i))

1. WHETHER THE PROPOSED USE COMPLIES WITH ALL APPLICABLE PROVISIONS OF THIS DEVELOPMENT CODE

Applicant's Response: *This proposed use complies with all applicable provisions of the Development Code.*

This proposed use, Extended Care Medical Facility, is a use allowed use in the IBP (Industrial Business Park) District subject to a Special Use Permit. This proposed request complies with the building height, area and massing standards, along with the applicable off-street parking standards. There are no proposed variances associated with this project other than the related lot width reduction addressed as part of the Preliminary Plat review.

Staff Finding – This use complies with the applicable provisions of the Development Code.

2. WHETHER THE PROPOSED USE IS COMPATIBLE WITH ADJACENT USES IN TERMS OF SCALE, SITE DESIGN, AND OPERATING CHARACTERISTICS, INCLUDING HOURS OF OPERATION, TRAFFIC GENERATION, LIGHTING, NOISE, ODOR, DUST AND OTHER EXTERNAL IMPACTS

Applicant's Response: *Each building in the proposed use is designed to appear as "residential" as possible so that it will fit in very well near existing residences. The site design also maintains a significant area of existing trees behind the west building as a buffer to the residential district directly west of the property. There will be no external impacts of lighting, noise, dust, traffic, odor, or etc. created by this development.*

The proposed building elevations reflect a residential character for this project. This character is consistent with the large homes located to the west of the property. The property immediately to the north, south, and east is undeveloped at this time. Only the area to the east has been approved for office development.

As an Extended Care Medical Facility operation of the business will be 24 hours 7 days a week. The active time associated with this use would typically be normal daytime hours with visitations, appointments, care providers and therapists traveling to and from the site. This would be consistent with anticipated business hours of future development in the area.

The site is designed in such a way as to provide a maximum separation between the proposed use and the residences to the west. The retention of existing vegetation will provide an additional buffer between this use and the existing residential uses to the west and future development to the north, south, and east.

Small enclosed patio areas are proposed adjacent to the two buildings to accommodate controlled outdoor activity. No external impacts are anticipated to result from this use.

Staff Finding – The proposed use is compatible with the adjacent uses in terms of size, massing, orientation, hours of operation and other external impacts.

3. WHETHER THE PROPOSED USE WILL CAUSE SUBSTANTIAL DIMINUTION IN VALUE OF OTHER PROPERTY IN THE NEIGHBORHOOD IN WHICH IT IS TO BE LOCATED

Applicant's Response: *This proposed development will not cause substantial diminution in value of other property in the area as it is designed to look residential. The developer is taking great care to assure that this project is not out of character in this area.*

The proposed use will be an initial development along this portion of Research Park Drive. The west side of Research Park Drive is wooded providing an opportunity to use existing mature vegetation to buffer this use from the adjacent residential area to the west. The design of the project provides a transition between the future office development planned to the east and the residential neighborhood to the west. These features are anticipated to protect the value of the neighborhood of which it is a part.

Staff Finding – Substantial diminution of other property values in the area is not anticipated.

4. WHETHER PUBLIC SAFETY, TRANSPORTATION AND UTILITY FACILITIES AND SERVICES WILL BE AVAILABLE TO SERVE THE SUBJECT PROPERTY WHILE MAINTAINING SUFFICIENT LEVELS OF SERVICE FOR EXISTING DEVELOPMENT

This property is located within the existing City limits and located adjacent to a collector street. Infrastructure is available to provide service to this development

Staff Finding – Adequate public facilities and transportation access is accommodated for this development.

5. WHETHER ADEQUATE ASSURANCES OF CONTINUING MAINTENANCE HAVE BEEN PROVIDED

The proposed request provides an enforceable tool to address the use and continued maintenance of the property with regard to landscaping, exterior activity, and off-street parking.

Staff Finding – Adequate assurances of continued maintenance are inherent in the use and the Special Use Permit approval process.

6. WHETHER THE USE WILL CAUSE SIGNIFICANT ADVERSE IMPACTS ON THE NATURAL ENVIRONMENT

Applicant's Response: *The proposed use will not cause significant adverse impacts on the natural environment. There is nothing on this site that could create pollution or destruction to the natural environment.*

The proposed use includes existing vegetation intended to be incorporated into the screening requirements for the site. While some areas will be disturbed, overall mature vegetation will be retained and utilized in this project. There is no designated regulatory floodplain that encumbers this property.

Staff Finding – The proposed development is subject to regulatory controls to protect the significant natural features. This property is free from regulatory floodplain encumbrances.

7. WHETHER IT IS APPROPRIATE TO PLACE A TIME LIMIT ON THE PERIOD OF TIME THE PROPOSED USE IS TO BE ALLOWED BY SPECIAL USE PERMIT AND, IF SO, WHAT THAT TIME PERIOD SHOULD BE

This Special Use Permit is required to accommodate a specific use in this district. The purpose of this district is to accommodate an *industrial/business park district intended to provide space in attractive and appropriate locations for certain lot-impact employment and manufacturing uses in a planned industrial/business park setting (Section 20-214 (a))*. The Extended Care use is categorized within the overall Public and Civic Use Group and more specifically part of the Medical Facilities uses. The intention of the project is to provide a use that is transitional in nature for individuals suffering from Alzheimer's disease who can no longer live unsupervised but are not in need of skilled nursing care found in more institutional type facilities. The proposed development is intended to provide a residential setting. The location on the boundary of the neighborhood makes this specific development a reasonable transition between other future industrial/office uses to the east and the neighborhood to the west.

The proposed project is intended as a phased development in that the first building and parking area to be constructed will be the east building. As the facility becomes occupied the remainder of the site will be developed. The plan does not identify which of the buildings is the initial phase but notes that all stormwater improvements will be provided initially.

These buildings could be modified for other business uses in the future that may or may not require a Special Use Permit. Depending on that future use either a revised site plan or new Special Use Permit would be required. Staff does not recommend there be a time limit on this proposed use.

Staff Finding – Staff does not recommend a time limit on the Special Use Permit.

STAFF REVIEW

A. Site Summary

This project includes two detached buildings providing rooms for patient care in an Extended Care Medical Facility located on the west side of Research Park Drive. The buildings are intended to have a residential character both interior and exterior. A substantial portion of the site will remain in open space providing stormwater detention as well as bufferyards around the development.

Site Summary: Proposed Lot 1, Research Park Addition		
Total area:	Existing	Proposed
1.223 acres		
Lot Size:	55,274 SF	55,274 SF
Building: (SF)	0	9,988
• East Building		• 4,994
• West Building		• 4994
Impervious Cover: (SF)	0	18,006
Pervious Cover: (SF)	55,274 SF	35,268
percent	100%	65%

B. Access and Parking

On-site Parking: The proposed development includes 9 surface parking spaces and two two-car garages. The garages can be used as a covered space for loading and unloading residents as needed. Garages will also be used to store solid waste containers since this site is being designed with curb side service. The garages also help to provide a residential appearance to the buildings.

Parking Summary			
Use	Parking Requirements	Spaces Required	Spaces Provided
Extended Care Facility, General	1 space per 3 beds	8 bed per building 16 "bedrooms" total 5 spaces/ per single occupancy 11 spaces/ per double occupancy	9 Surface spaces 4 garage spaces 13 total spaces
Note: bedrooms are designed for occupancy that could accommodate the registered individual and one care giver (spouse) that would share the same bed/bedroom. While the facility may accommodate dual occupancy of rooms use of rooms/beds may not be used for accommodate of a "resident caregiver".			

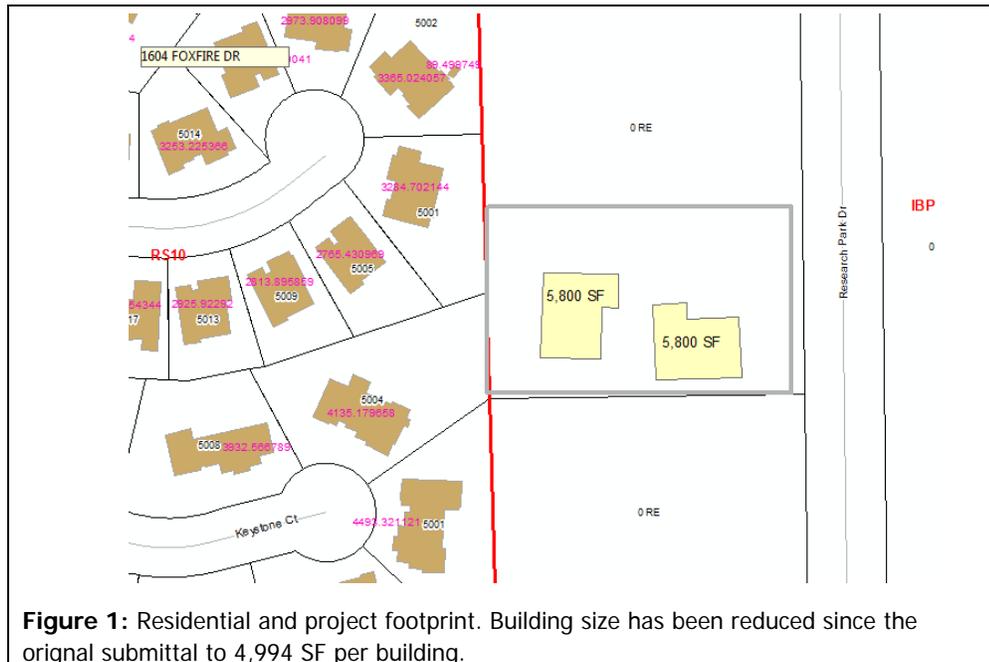
The overall parking for this use exceeds the minimum Development Code Standard. These additional spaces will accommodate residential caregivers. This site is designed so that the parking lot run off is directed to the detention pond. The requirement to mitigate for excess runoff will not be significantly improved for a parking lot of this size. No additional mitigations are recommended for this project.

Access: Access to this site is provided via a single driveway intersecting with Research Park Drive, a collector street. There are no other access options for this property.

C. Design Standards

Site Design: This project is subject to the industrial design guidelines. This use is not a traditional industrial use. The developer does not intend for the buildings to have an institutional appearance. The site design uses the detention area in a manner that can be a focal point for the west building located to the rear of the lot. Loading areas are accommodated at the front of the buildings or from the garages during inclement weather conditions. Fencing associated with the project is residential in nature and provides a secure area for residents of the facility. As a residential design exercise, pedestrian scale is inherent in this project. This project complies with the broadest statements of intent and purpose of the Industrial Design Guidelines. A copy of the design guidelines is available on the Planning website. Page 3-1 provides the summary statements of the Purpose and Intent used to evaluate this project.

Building Elevations: These structures clearly have a distinctive residential character and could easily be found in traditional neighborhoods. However, the overall design of this project with little “front yard” area per unit and shared surface parking are not characteristic of traditional neighborhood design. The following figure shows the proposed units and comparative footprint to existing residences to the west. While larger, the building orientation and architecture are intended to and succeed in reflecting a residential character.



Pedestrian accessibility: The site includes a public sidewalk along Research Park Drive and a connecting sidewalk from the development to the public sidewalk. Pedestrian accessibility is accommodated with this project.

D. Landscaping and Screening

Street Trees: Street trees are required as part of the subdivision design standards and are shown on the proposed drawing.

Bufferyard: The bufferyard standard is applicable only to the rear (west) property line for this project abutting residential zoning. The Development Code requires a Type 3 Bufferyard. This yard can range from 15’ with a wall or fence to as wide as 25’. The rear yard setback of this district is 40’. A private covenant restricts the development setback to 50’. The proposed development reflects a 51.71’ setback with a note to retain existing vegetation. While utilities may be extended along the rear property line sufficient vegetation will be retained to meet and exceed the bufferyard standards of the Development Code. Should this vegetation be removed or lost due to disease, comparable planting shall be required to be installed. This is reflected as a condition of approval.

Interior Landscaping: Interior landscaping is a factor of off-street parking requirements. Typically a minimum of 40 SF per parking space is required for parking lots with 11 off-street parking spaces or more. This project includes 9 surface parking spaces. The proposed development is exempt from this Development Code standard.

Perimeter Landscaping: Perimeter landscape requirements apply to those areas where parking is adjacent to public right-of-way. The proposed development pattern orients the parking areas

internally. The plan shows shrubs located between the end parking space and the public right-of-way. The proposed development complies with this Development Code standard.

Mechanical Equipment Screening: The plan shows appropriate screening of mechanical equipment in accordance with the Development Code. A dumpster area is not proposed for this site. Curbside service is proposed for this site. Carts will be stored in the garages. The proposed development complies with this Development Code standard.

Alternative Compliance: None is proposed with this request.

E. Lighting

The plan notes that the parking lot will be lit by use of building mounted fixtures with 150 watt incandescent bulbs. A photometric plan is not required.

F. Floodplain

This property is not encumbered by regulatory floodplain.

CONCLUSION

This development is intended as a small scale institutional use with a residential character. The design provides a land use transition between the future industrial or office uses to the east and the developed residential neighborhood to the west.