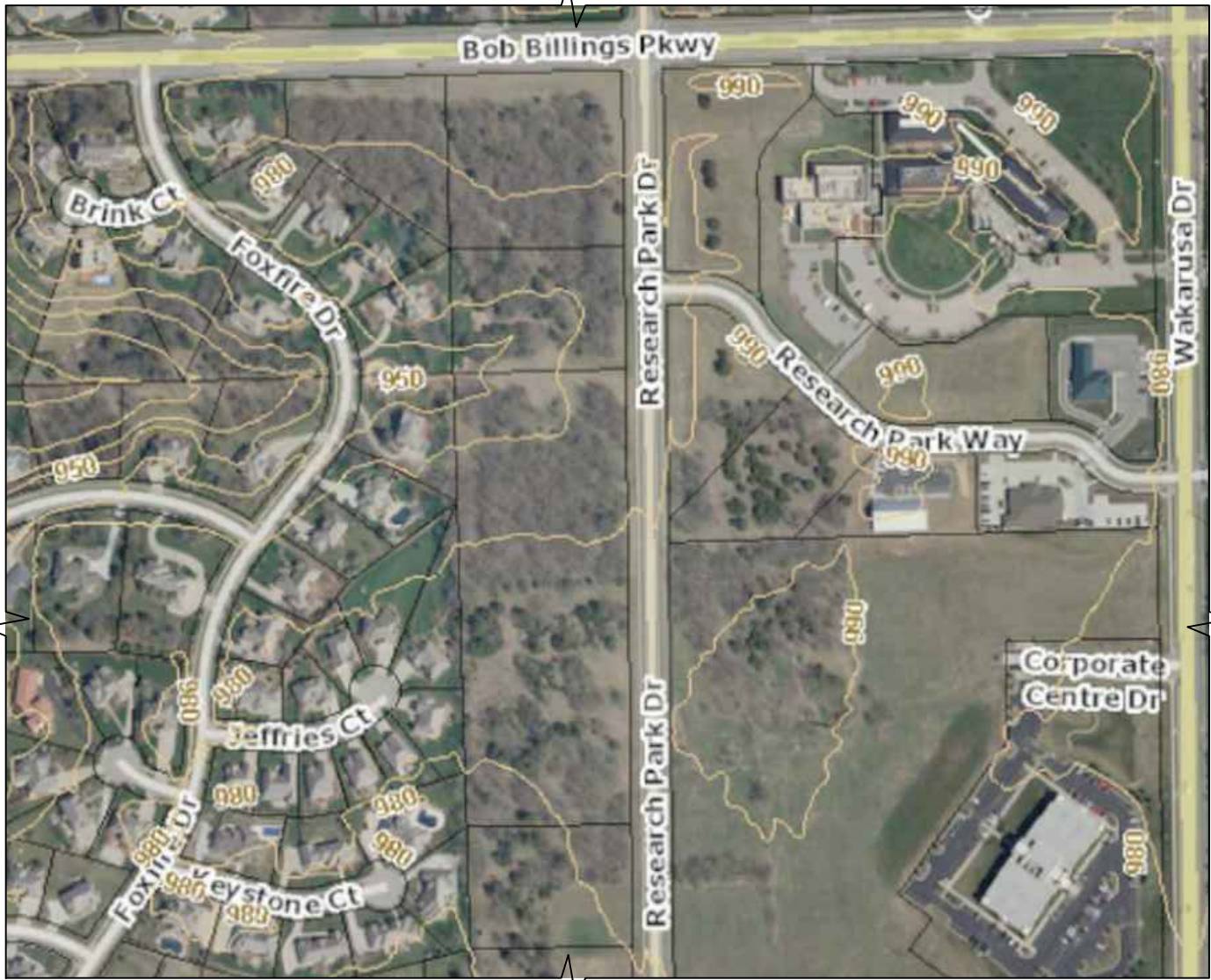


SITE PLAN
SCALE: 1" = 20'-0"
0 10 20 40 60
NORTH



SURROUNDING PROPERTY
APPROXIMATE SCALE: 1" = 100'-0"
0 50 100 200 300
NORTH

LEGAL DESCRIPTION:

LOT 1, RESEARCH PARK ADDITION, LAWRENCE, DOUGLAS COUNTY, KANSAS

PROPERTY OWNERS OF RECORD:

PROPERTY OWNER:
MABET#2 LC
ALVAMAR DEVELOPMENT CORPORATION, MANAGER
1611 ST. ANDREWS DRIVE
LAWRENCE, KS 66041

PROPERTY SURFACE SUMMARY:

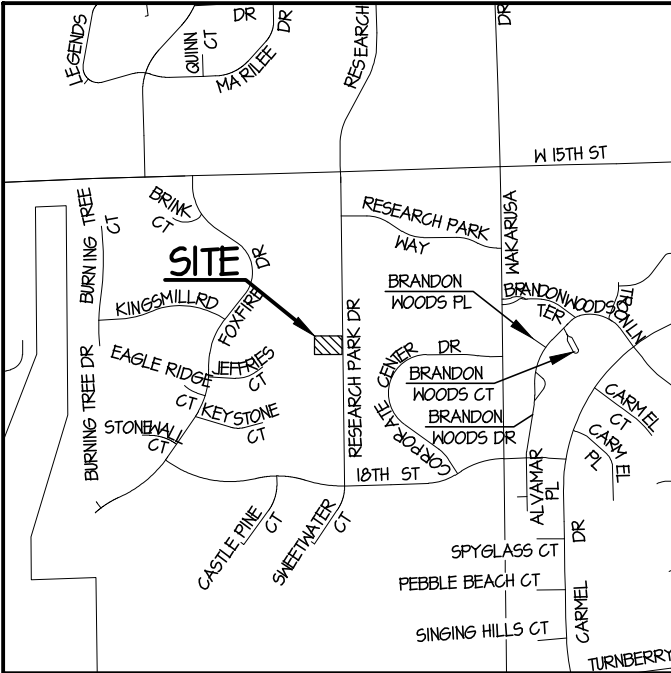
PROJECT SITE: 1.223 ACRES (53,214 SQ. FT. +/-)
EXISTING SUMMARY:

	SQ. FT.	AC
TOTAL BUILDINGS:	0	0.000
TOTAL PAVEMENT:	0	0.000
TOTAL IMPERVIOUS:	0	0.000
TOTAL PERVIOUS:	53,214	1.223
TOTAL PROPERTY AREA:	53,214	1.223

	SQ. FT.	AC
TOTAL BUILDINGS:	4,944	0.224
TOTAL PAVEMENT:	8,018	0.184
TOTAL IMPERVIOUS:	18,006	0.413
TOTAL PERVIOUS:	35,268	0.810
TOTAL PROPERTY AREA:	53,214	1.223

LOCATION MAP:

NOT TO SCALE



RELEASE:

- 1.0 SPECIAL USE SITE PLAN SUBMITTAL
- 1.1 REVISION AND RESUBMITTAL PER CITY STAFF COMMENTS
- 1.2 EASEMENTS REVISION AND RESUBMITTAL

PROJECT SUMMARY:

- 1.1 CURRENT ZONING: IBP
- 1.2 PROPOSED ZONING: IBP
- 1.3 CURRENT USE: VACANT
- 1.4 PROPOSED USE: MEDICAL FACILITY, EXTENDED CARE FACILITY, GENERAL
- 1.5 LAND AREA: 1.223 ACRES (53,214 SQ. FT. +/-)
- 1.6 PROJECT PROPOSED: 8 BEDROOMS WITH UP TO 16 OCCUPANTS PER BUILDING, EXTENDED CARE MEDICAL FACILITIES

GENERAL NOTES:

- 2.1 ALL REQUIRED ACCESSIBLE SIDEWALK RAMP PER A.D.A. STANDARDS.
- 2.2 SITE PLAN HAS BEEN DESIGNED TO COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) FOR BUILDINGS AND FACILITIES, APPENDIX A TO 28CFR PART 36.
- 2.3 SITE PLAN HAS BEEN DESIGNED TO COMPLY WITH THE MINIMUM PROVISIONS OF THE FINAL FAIR HOUSING ACCESSIBILITY GUIDELINES, 24 CFR, CHAPTER I, SUBCHAPTER A, APPENDIX II, OF THE FAIR HOUSING ACT OF 1968, AS AMENDED.
- 2.4 ROLL-AWAY TRASH CARTS TO BE STORED IN THE GARAGE.
- 2.5 THE CITY OF LAWRENCE WILL NOT BE HELD RESPONSIBLE FOR PAVEMENT DAMAGE CAUSED BY TRASH TRUCKS.
- 2.6 A PHOTOMETRIC PLAN WILL NOT BE PROVIDED FOR REVIEW; ALL EXTERIOR LIGHTING WILL BE LESS THAN 150 WATT INCANDESCENT FIXTURES.
- 2.7 PLAN FOR CITY APPROVAL ONLY; CONSTRUCTION DOCUMENTS TO BE FURNISHED AT THE REQUEST OF OWNER.
- 2.8 INFORMATION TAKEN FROM AERIAL PHOTOS, SURVEY PERFORMED BY ALLPOINTS SURVEYING JANUARY 2012.
- 2.9 ALL TRAFFIC CONTROL SIGNS PLACED ON PRIVATE PROPERTY OPEN TO THE GENERAL PUBLIC SHALL COMPLY WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND "STANDARD HIGHWAY SIGNS," PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION, WITH RESPECT TO SIZE, SHAPE, COLOR, RETROREFLECTIVITY, AND POSITION.
- 2.10 THE PROJECT WILL BE BUILT IN TWO PHASES AND WILL REMAIN UNDER COMMON OWNERSHIP.
- 2.11 ADEQUATE INFRASTRUCTURE EXISTS TO INSTALL THE PUBLIC IMPROVEMENTS FOR THIS PROJECT AS SHOWN.
- 2.12 PUBLIC IMPROVEMENT PLANS TO INCLUDE A SEWER EXTENSION TO THE PROPERTY FROM THE SOUTH.
- 2.13 STORMWATER DETENTION AREA TO BE CONSTRUCTED WITH INITIAL PHASE. OUTLET PIPE SHALL BE RESTRICTED TO 2.20 CFS DISCHARGE RATE PER CITY STORMWATER CRITERIA AND DRAINAGE STUDY PERFORMED BY GROB ENGINEERING.
- 2.14 ADULT DAYCARE SERVICE MAY BE PROVIDED AS AN ACCESSORY USE.
- 2.15 RESIDENT CAREGIVERS SHALL SHARE THE SAME BED WITH THE REGISTERED OCCUPANT.

PARKING INFORMATION:

- 3.1 PARKING REQUIRED: 1 SPACE PER 3 BEDS (16 BEDROOMS) = 6 SPACES

- 3.2 ACCESSIBLE PARKING REQUIRED = 1 SPACE (1 VAN)

	TYPE: REGULAR ACCESSIBLE TOTAL:	REQUIRED: 5 1 6	PROVIDED: 12 1 13
BICYCLE (5 OR 1 PER 10 SPACES)		5	5

- 3.4 ADDITIONAL PARKING: ADDITIONAL (7) PARKING SPACES PROVIDED FOR RESIDENT CAREGIVERS.

- 3.5 TYPICAL DIMENSIONS: R' SPACES - 9' X 18' (16.5' + 15' OVERHANGS AT SIDEWALKS)
SIDEWALKS SHALL BE 4' CONCRETE - 5' OR 6.5' WIDE DEPENDING UPON THE LOCATION.
H' SPACES - 8' X 20' (5' OR 8' AISLE)

- 3.6 PAVEMENT: APPROACHES: T' - 4000 PSI CONCRETE W/ #5 BARS 12" O.C.B.W. - PER CITY STANDARDS
DRIVES: MIN. 6" ASPHALT ON 4" GRAVEL OR 5" CONCRETE - PER CITY STANDARDS
PARKING AREAS: MIN. 5" ASPHALT ON 4" GRAVEL OR 4" CONCRETE - PER CITY STANDARDS

LANDSCAPING NOTES:

SYM.	DESCRIPTION	QTY.	APPROVED TYPES	BOTANICAL NAMES	SIZE	COND.
☼	STREET TREES	4	LEGACY SUGAR MAPLE SUMMERSHADE NORWAY MAPLE LACEBARK ELM SHUMBARD OAK GREENSPIRE LINDEN LONDON PLANE TREE	ACER SACCHARUM 'LEGACY' ACER PLATANOIDES 'SUMMERSHADE' ULMUS PARVIFOLIA QUERCUS SHUMARDII TILIA CORDATA 'GREENSPIRE' PLATANUS OCCIDENTALIS 'BLOODGOOD'	2"-2 1/2" CAL	B & B
🌳	ORNAMENTAL TREES	2	CLEVELAND SELECT PEAR KOUSA DOGWOOD CORAL BURST CRABAPPLE EASTERN REDBUD	PYRUS CALLERYANA 'CHANTELIER' CORNUS KOUSA MALUS 'CORALBURST' CERCIS CANADENSIS	1 3/4"-2" CAL	B & B
🌿	EVERGREEN SHRUBS	12	CARMEL CREEPER CREEPING ROSEMARY BLUE PFITZER JUNIPER BAR HARBOR JUNIPER CREEPER ENGLISH YEW	CAENOTUS GRISSEUS HORIZONTALIS ROSEMARY PROSTRATUS JUNIPERUS CHINENSIS 'PFITZERIANA GLAUCA' JUNIPERUS HORIZONTALIS 'BAR HARBOR' TAXUS BACCATA	24"-36" HT.	CONT
🌳	DECIDUOUS SHRUBS	9	DWARF JAPANESE BARBERRY LEATHERLEAF VIBURNUM BEAUTY BUSH DWARF KOREAN LILAC	BERBERIS THUNBERGII 'CRIMSON PYGMY' VIBURNUM RHYTIDOPHYLLUM KOLKATZIA AMABILIS SYRINGA MEYERI 'PALIBIN'	18"-24" HT.	CONT

- 4.1 THERE MUST BE A MIN. OF (2) SPECIES USED IN EACH CATEGORY.
- 4.2 ALL TURF AREAS TO BE SEEDED WITH K-31 PESCUE, SOD, OR AS ALLOWED BY CITY CODE.
- 4.3 ANY EXISTING TREES REMOVED AS PART OF UTILITY INSTALLATION IN THE PROPOSED EASEMENTS SHALL BE REPLACED WITH AN APPROVED TYPE. TREES SHALL BE LOCATED A MINIMUM OF 8 FEET FROM PROPOSED SANITARY SEWER EXTENSION.
- 4.4 CARE SHALL BE TAKEN TO PRESERVE ALL TREES OUTSIDE OF THE IMMEDIATE CONSTRUCTION AREA.
- 4.5 LANDSCAPING SHALL BE IRRIGATED. OWNER SHALL COORDINATE WITH CITY UTILITIES DEPT. IF THEY DESIRE TO METER IT SEPARATELY.

PROJECT SCHEDULE

- 5.1 CONSTRUCTION OF INITIAL PHASE, AS WELL AS REQUIRED INFRASTRUCTURE IMPROVEMENTS WILL COMMENCE UPON BUILDING PERMIT APPROVAL. FINAL PHASE WILL BEGIN CONSTRUCTION UPON FULL OCCUPANCY OF INITIAL PHASE.

paulwerner
ARCHITECTS

123 W. 8TH STREET
SUITE B2
LAWRENCE, KS 66044

OFFICE: 785.832.0804
FAX: 785.832.0890
INFO@PAULWERNERARCHITECTS.COM

© PAUL WERNER ARCHITECTS, L.L.C.
THIS DRAWING IS COPYRIGHTED WORK BY
PAUL WERNER ARCHITECTS, L.L.C. THIS
DRAWING MAY NOT BE REPRODUCED,
TRACED OR COPIED IN ANY MANNER
WITHOUT THE WRITTEN PERMISSION OF PAUL
WERNER ARCHITECTS, L.L.C.

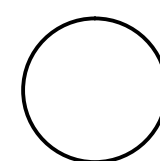
**EXTENDED CARE FACILITY
SPECIAL USE PERMIT**
RESEARCH PARK DRIVE
LAWRENCE, KANSAS

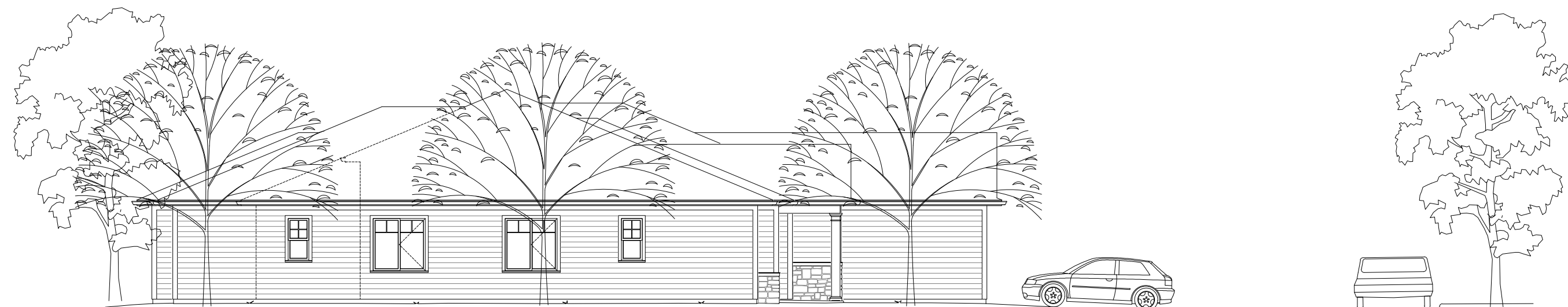
PROJECT # 211-380

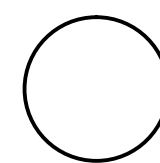
RELEASE:	DATE:
1.0	2.7.12
1.1	4.25.12
1.2	5.1.12
1.3	5.15.12

SUP-1

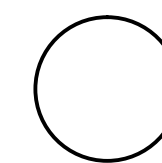


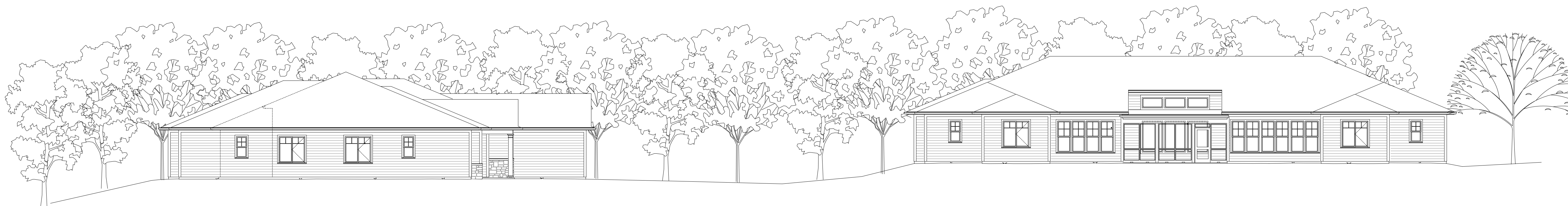
 **NORTH ELEVATION VIEW**
SCALE: 3/32" = 1'-0"

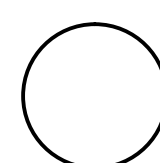


 **EAST ELEVATION VIEW**
SCALE: 3/32" = 1'-0"



 **WEST ELEVATION VIEW**
SCALE: 3/32" = 1'-0"



 **SOUTH ELEVATION VIEW**
SCALE: 3/32" = 1'-0"

paulwerner
ARCHITECTS

123 W. 8TH STREET
SUITE B2
LAWRENCE, KS 66044

OFFICE: 785.832.0804
FAX: 785.832.0890
INFO@PAULWERNERARCHITECTS.COM

DEVELOPER:

LAURENCE, KS 660--
OFFICE: 785----
FAX: 785----

© PAUL WERNER ARCHITECTS, L.L.C.
THIS DRAWING IS COPYRIGHTED WORK BY
PAUL WERNER ARCHITECTS, L.L.C. THIS
DRAWING MAY NOT BE PHOTOGRAPHED,
TRACED OR COPIED IN ANY MANNER
WITHOUT THE WRITTEN PERMISSION OF PAUL
WERNER ARCHITECTS, L.L.C.

**EXTENDED CARE FACILITY
SPECIAL USE PERMIT**
RESEARCH PARK DRIVE
LAWRENCE, KANSAS

PROJECT # 211-380

RELEASE: 1.0 DATE: 2.7.12

SUP-2