



The Peridian Group

- COMMUNITY PLANNING
 - CIVIL ENGINEERING
 - LANDSCAPE ARCHITECTURE
 - LAND SURVEYING
- 900 ROCKLEDGE ROAD, SUITE A
LAWRENCE, KANSAS 66049
TEL (785) 838-3338 FAX (785) 838-3339

Legal Description:

LOT ONE, BLOCK ONE DCCCA ADDITION IN THE CITY OF LAWRENCE, DOUGLAS COUNTY, KANSAS.

General Notes:

- PROJECT DEVELOPER: DCCCA, INC.
3312 CLINTON PARKWAY
LAWRENCE, KS 66047
- PROJECT ENGINEER: PERIDIAN GROUP, INC.
500 ROCKLEDGE ROAD, SUITE A
LAWRENCE, KANSAS 66049
- TOPOGRAPHIC INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY PERIDIAN GROUP, INC - JULY 1999.
- EXISTING LAND-USE: OFFICES
- ZONING: RO-2
- PROPOSED USE: OFFICES
- ALL TELEPHONE, CABLE TELEVISION, AND ELECTRICAL SERVICES TO BE LOCATED UNDERGROUND.
- THIS LOT IS OUTSIDE FEMA 100 YEAR FLOOD PLAIN.
- THIS DOCUMENT IS FOR PLANNING PURPOSES ONLY - NOT FOR CONSTRUCTION
- WRITTEN DIMENSIONS SHALL PREVAIL OVER SCALED DIMENSIONS.
- THIS SITE PLAN MEETS ADAG STANDARDS, APPENDIX A TO 28 CFR, PART 36.
- ALL SITE LIGHTING TO BE BUILDING MOUNTED, 200 WATT MAX.
- RELOCATION OF ANY EXISTING UTILITIES WILL OCCUR AT THE DEVELOPER'S EXPENSE
- THE MECHANICAL UNITS SHOULD BE SCREENED ACCORDING TO CITY STANDARDS
- ALL LIGHTING PROPOSED TO BE BUILDING MOUNTED, 200 WATT MAX AND SHIELDED FROM GLARE OFF-SITE

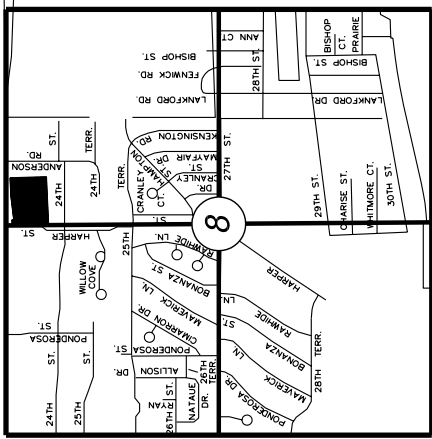
Impervious Surface Summary:

EXISTING BUILDINGS	7,921 S.F.	PROPOSED BUILDINGS	9,721 S.F.
EXISTING PAVEMENT	29,031 S.F.	PROPOSED PAVEMENT	23,572 S.F.
EXISTING IMPERVIOUS	36,952 S.F.	PROPOSED IMPERVIOUS	33,293 S.F.
PROPERTY AREA	237,228 S.F.		

Parking Summary:

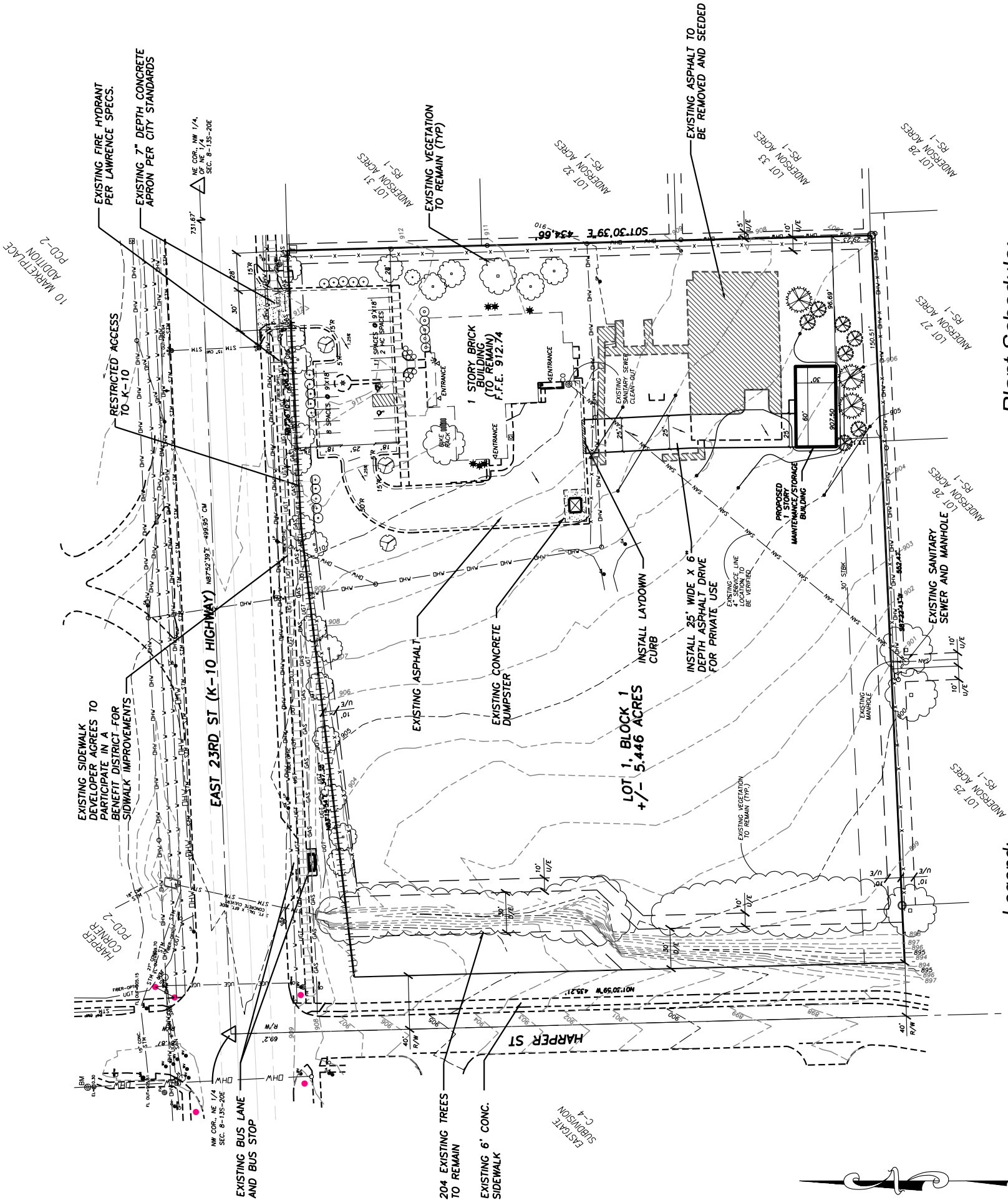
NET BUILDING SQUARE FOOTAGE (70% GROSS):	5545 S.F.
PARKING REQUIRED (1/300 NET BLDG S.F.):	18 SPACES
PARKING PROVIDED:	21 SPACES
HANDI-CAP:	2 SPACES
INTERIOR PARKING LANDSCAPE REQUIRED (# SPACES X 280 S.F. X 15%):	1176 S.F.
INTERIOR PARKING LANDSCAPE PROVIDED	1707 S.F.
TREE CALCULATIONS : OPEN SPACE / 1 TREE PER 2500 S.F. = 203,935 S.F. / 2500 S.F. =	TREES REQUIRED 82 TREES REQUIRED TREES PROVIDED =

Location Map:



SECTION 8-T13S-R20E

NOT TO SCALE



Legend:

PROPERTY LINE	--- --	GAS LINE	---
CONTOUR LINES	---	SANITARY SEWER	---
EXISTING BUILDING	---	STORM SEWER	---
EXISTING CONCRETE	---	WATER LINE	---
EXISTING ASPHALT	---	UNDERGROUND TELEPHONE	---
OVERHEAD ELECTRIC	---	PIN FOUND	○
UNDERGROUND ELECTRIC	---	DESCRIBED	⬢
EXISTING FENCE	---	SECTION CORNER	△

Plant Schedule:

SYMBOL	QTY	NAME	SIZE	COND
	10	(UNIMPERIUS CAENERTII) PYRAMIDAL GREEN	6'-8' HI.	B & B
		EXISTING TREE TYPE		

Scale: 1" = 40' - 0"



Benchmark:

#1368, TOP OF 1/2" IRON BOLT IN MONUMENT BOX 120' NORTH OF CL. ROUTE 10 & 30' WEST OF CL. HARPER STREET
ELEV: 910.30

Family Services Center

Lot 1, Block 1
DCCCA Addition

SITE PLAN

REVISIONS:
FEB. 03, 2006
MARCH 20, 2006
MARCH 22, 2006

PROJECT RECORD:
DIGITAL ID: 00047_SF.DWG
PROJECT NO: 00047
DATE: MAY 02, 2000
DRAWN BY: MW
CHECKED BY: MK
SHEET NO. 1 OF 1 SHEETS