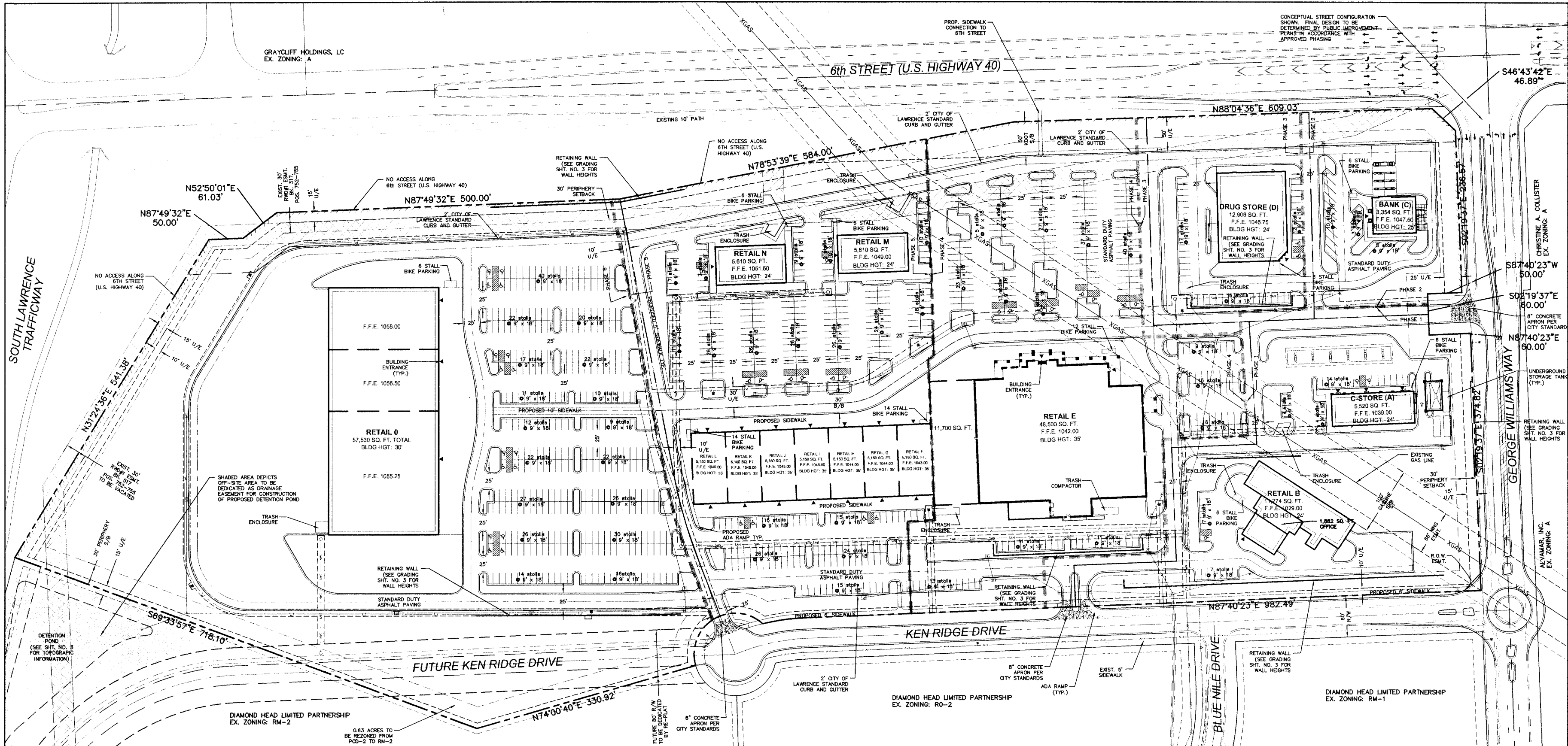




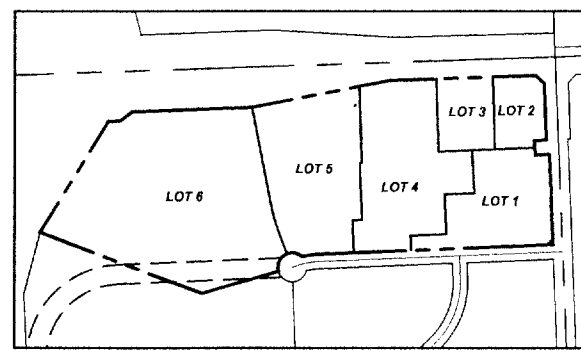
PHASING	BUILDINGS	LOT NO.	LOT AREA	GROSS BLDG. AREA	NET BLDG. AREA	PARKING REQUIRED	PARKING PROVIDED	OPEN SPACE REQUIRED	OPEN SPACE PROVIDED	ACCESSIBLE REQUIRED	ACCESSIBLE PROVIDED	BICYCLE REQUIRED	BICYCLE PROVIDED
PHASE I	A	C-STORE	1	163,980 SF	5,220 GSF	3,864 NSF (70%)	19 (1/200 NSF)	26	39	32,796	47,995	1	2
PHASE I	B	RETAIL	2	62,313 SF	11,274 GSF	7,892 NSF (70%)	7 (1/200 NSF)	12	18	12,463	12,579	1	1
PHASE II	C	BANK	3	71,117 SF	3,354 GSF	2,348 NSF (70%)	12 (1/200 NSF)	45	45	14,223	2,012	2	2
PHASE III	D	DRUG STORE	4	255,058 SF	12,908 GSF	9,036 NSF (70%)	45 (1/200 NSF)	211	213	51,012	28,461	7	8
PHASE IV	E	RETAIL	5	252,811 SF	42,140 NSF	3,605 NSF (70%)	18 (1/200 NSF)	166	292	50,562	42,268	1	2
PHASE V	F	RETAIL	6	545,313 SF	57,530 NSF	3,605 NSF (70%)	18 (1/200 NSF)	201	343	109,063	140,100	9	16
PHASE V	G	RETAIL			5,150 NSF	3,605 NSF (70%)	18 (1/200 NSF)					1	1
PHASE V	H	RETAIL			5,150 NSF	3,605 NSF (70%)	18 (1/200 NSF)					1	1
PHASE V	I	RETAIL			5,150 NSF	3,605 NSF (70%)	18 (1/200 NSF)					1	2
PHASE V	J	RETAIL			5,150 NSF	3,605 NSF (70%)	18 (1/200 NSF)					1	2
PHASE V	K	RETAIL			5,150 NSF	3,605 NSF (70%)	18 (1/200 NSF)					1	2
PHASE V	L	RETAIL			5,150 NSF	3,605 NSF (70%)	18 (1/200 NSF)					1	1
PHASE V	M	RETAIL			5,610 NSF	3,927 NSF (70%)	20 (1/200 NSF)					1	1
PHASE V	N	RETAIL			5,610 NSF	3,927 NSF (70%)	20 (1/200 NSF)					1	2
PHASE VI	O	RETAIL	6	545,313 SF	57,530 NSF	40,271 NSF (70%)	201 (1/200 NSF)	343	109,063	140,100	9	16	5
TOTALS				1,350,592 SF	198,714 NSF	139,100 NSF	661	950	270,116	256,759	30	44	75

PHASING SHOWN PER TIS SUBMITTAL

General Notes

- Existing zoning: PC-2.
- Current use: Vacant Land.
- Proposed Use: PC-2 Commercial Development.
- Written dimensions shall prevail over scaled dimensions.
- Topographic information from aerial topographic survey provided by M.J. HARDEN ASSOCIATES, Inc. 2002.
- Private drives and parking areas to be per City of Lawrence standards Sec. 12-1217. All streets and parking areas to have 24" curb and gutter per Sec. 20-1215. All standard parking spaces to be min. 8' wide and 18' long per Sec. 20-1205(a)(ii).
- City of Lawrence will not be responsible for pavement damage due to refuse collection.
- This plan has been designed to comply with the provisions of The Americans With Disabilities Act Accessibility Guidelines (ADAAG) for buildings and facilities, appendix "a" to 28 CFR part 36. Parking spaces per Sec. 20-1205(f).
- This document is for planning purposes only, not for construction.
- All parties included in the preliminary and final development plan waive their right to protest the layout of future phases.
- All rooftop mechanical equipment shall be screened by means of short walls that will match the architecture per section 20-14A04.8.
- Ground mechanical units shall be screened per City of Lawrence ordinance Section 20-14A04.8.
- The utilities as shown on this drawing were developed from the information available. This is not implied nor intended to be the complete inventory of utilities in this area. It is the contractor's responsibility to verify the location of all utilities (whether shown or not) and protect said utilities from damage.
- Maximum foot candle to be 6 foot candles. Photometric plans shall be approved prior to the release of the development plan for issuance of a building permit. All light fixtures will be screened from adjacent residential property.
- All trash areas in rear of building shall be screened per City of Lawrence Sanitation Department Standards.
- Relocation of and/or damage to all utilities shall be the responsibility of the developer.
- Owners/Developers shall coordinate with the municipal utilities office for extension of water lines and for provision of any additional utility easements required. Lots and easements to be dedicated via final plat.
- The Owners/Developers hereby dedicate to the City of Lawrence the right to regulate any construction over the area designated as common open space, open air recreation area and non-inconspicuous area and to prohibit any construction within said areas and spaces inconsistent with the approval of Lessees and Owners of the Planned Unit Development.
- Landscaping as shown shall be provided per Sec. 20-14A04.
- Owners/Developers shall pay for electric utility relocation on the Owner property.
- All waterline service connections shall meet current City of Lawrence Spec.
- All entrances off of Ken Ridge Drive and George Williams Way shall be 8" concrete paving as shown.
- All interior paving shall be 5" ASPHALT PAVING paving as indicated.
- HD ASPHALT PAVING shall be 9" thick ASPHALT PAVING paving as indicated.
- All interior paving shall be bordered by 24" curb and gutter (City Std.). All parking island shall be 24" curb and gutter City Std.
- All loading dock area(s) shall be 8" concrete Paving.
- Waterline plans to be submitted and approved prior to the construction of combustible materials installed on building.
- Sites proposed by the applicant for land uses in conformance with adopted comprehensive or neighborhood plans. Approval of the preliminary plat does not certify approval of these proposed land uses.
- Covenants and cross-access easements shall be filed with the Douglas County Register of Deeds.

Lot Layout



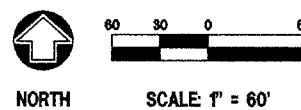
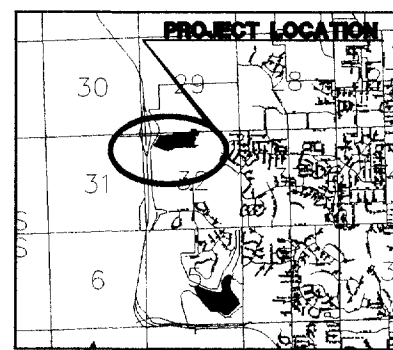
Legal Description

LOT 1, BLOCK ONE OF THE DIAMONDHEAD ADDITION, AN ADDITION WITHIN THE CITY OF LAWRENCE, DOUGLAS COUNTY, KANSAS

Property Owner/Developer

DIAMOND HEAD LIMITED PARTNERSHIP
1400 NORTH STREET, SUITE 100
LAWRENCE, KANSAS 66044

Location Map



CHAIRMAN
LAWRENCE - DOUGLAS COUNTY PLANNING COMMISSION

SECRETARY
LAWRENCE - DOUGLAS COUNTY PLANNING COMMISSION

A Preliminary
Development Plan for
NORTHGATE
Lawrence, Kansas

PRELIMINARY DEVELOPMENT PLAN
6th STREET (U.S. HIGHWAY 40) AND GEORGE WILLIAMS WAY
LAWRENCE, KANSAS
GENERAL LAYOUT

Civil Engineering
Landscape Architecture
Community Planning
Surveying



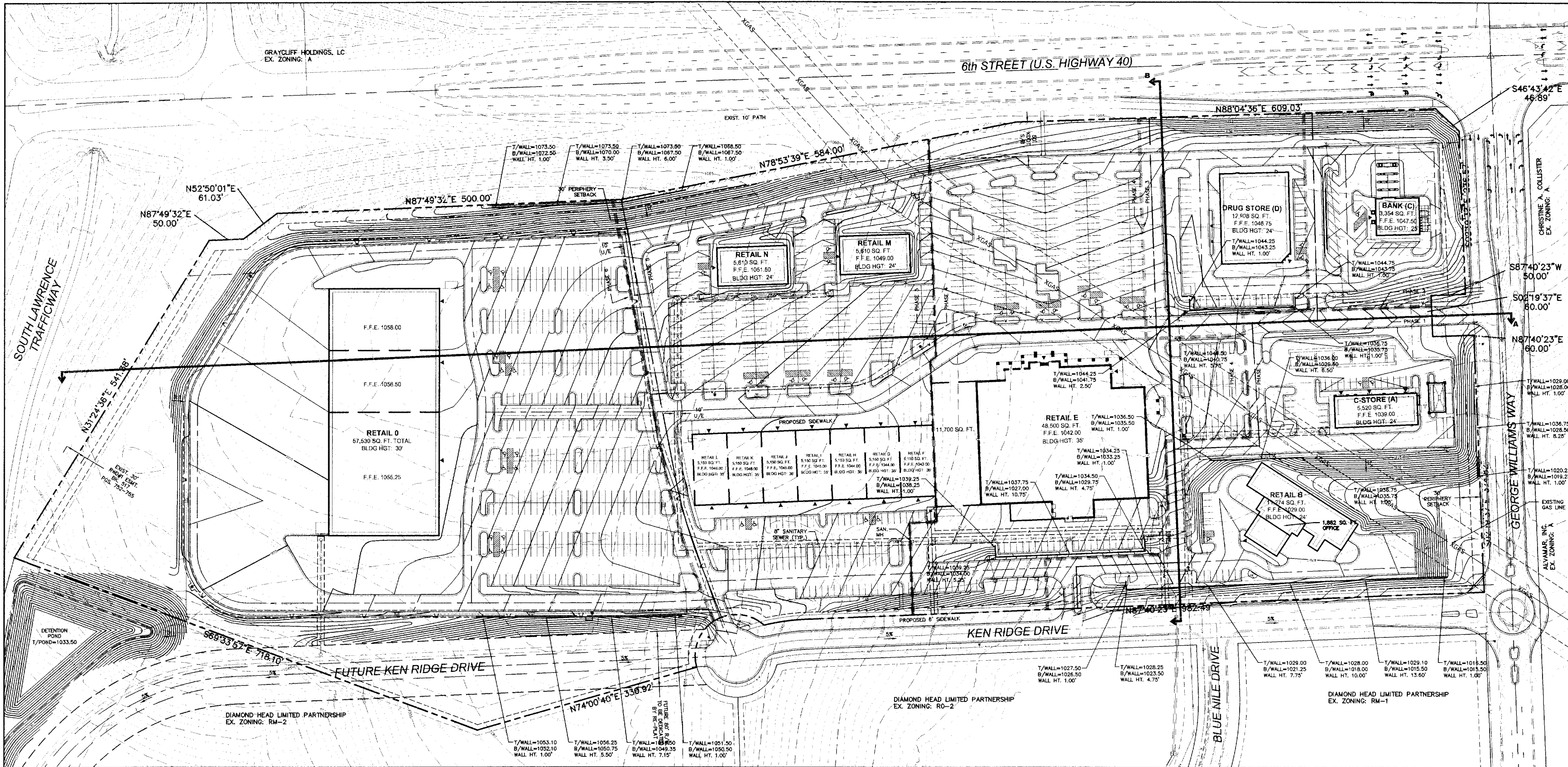
Landplan Engineering, P.A.
1313 Shawnee Mission
Lawrence, Kansas 66044
Phone: 781-6600
Fax: 781-6601
Email: info@landplaneng.com
Web: www.landplaneng.com

Copyright Engineering, P.A. 2004. This drawing is prepared by Landplan Engineering, P.A. The drawing may not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the written permission of Landplan Engineering, P.A.

REVISIONS
12.1.08 per comments

DATE: 12.08.04
PROJECT NO.: 04-009.09
DRAWING NO.: 34490.00
DESIGNED BY: CLM, CMY
DRAWN BY: EWM, BSM
CHECKED BY: CLM, BK

SHEET NO.
1 OF 4 SHEETS



PRELIMINARY DEVELOPMENT PLAN
6th STREET (U.S. HIGHWAY 40) AND GEORGE WILLIAMS WAY
LAWRENCE, KANSAS
GRADING PLAN

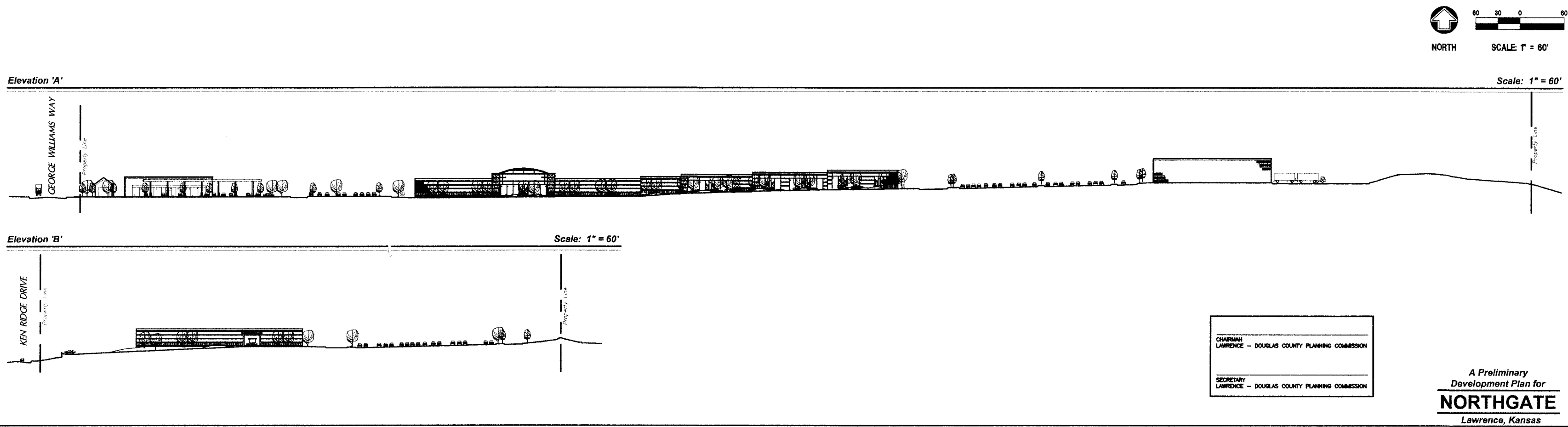
Civil Engineering
Landscape Architecture
Community Planning
Surveying

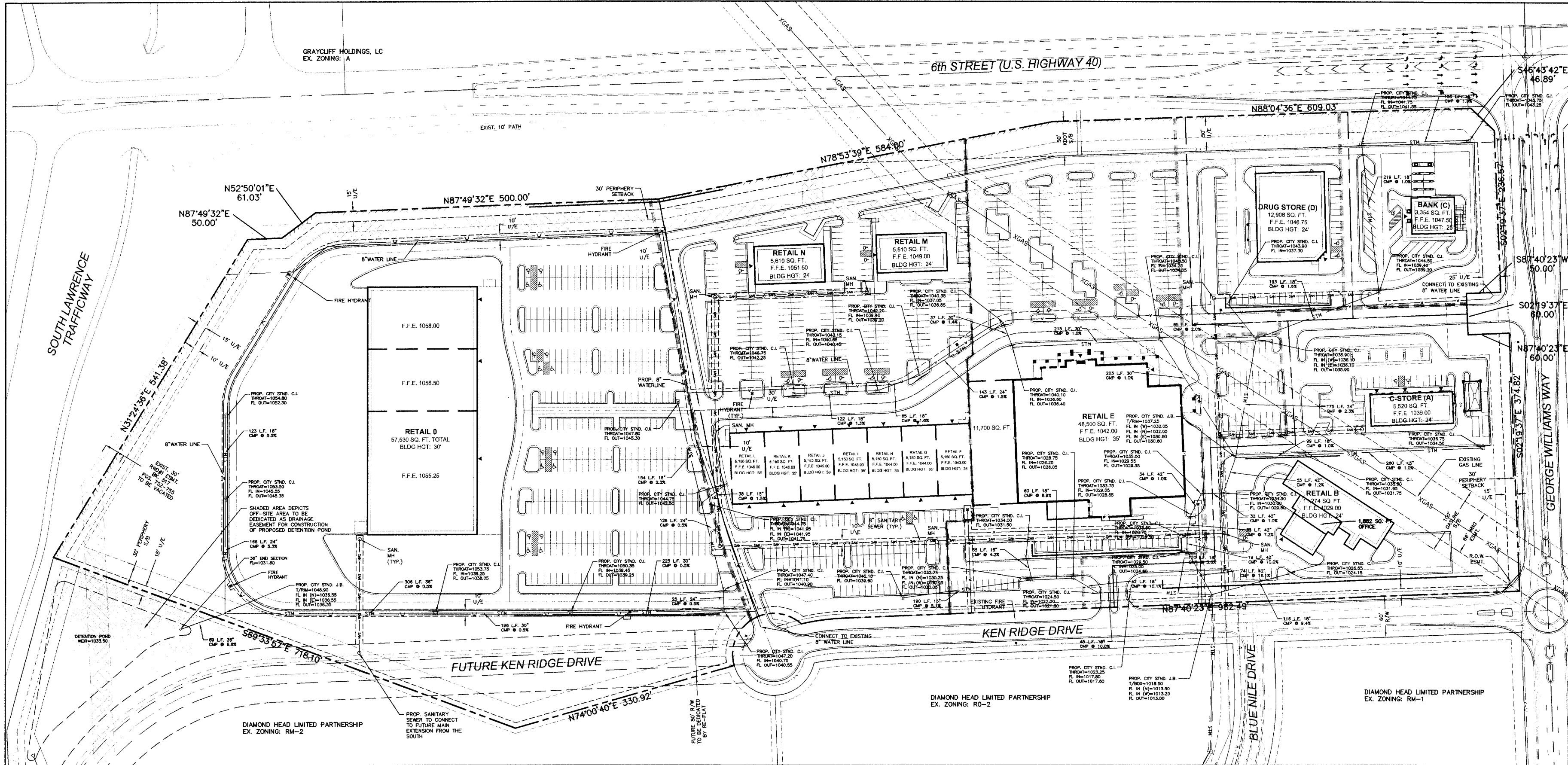
Landplan Engineering, P.A.

REVISIONS

DATE	12.06.04
PROJECT NO.	04-000-00
DRAWING NO.	04000-gr
DESIGNED BY	CLM, EMY
DRAWN BY	EMY, DRM
CHECKED BY	CLM, BK

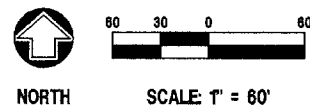
SHEET NO. 3 OF 4 SHEETS





PRELIMINARY DEVELOPMENT PLAN
6th STREET (U.S. HIGHWAY 40) AND GEORGE WILLIAMS WAY
LAWRENCE, KANSAS
UTILITY PLAN

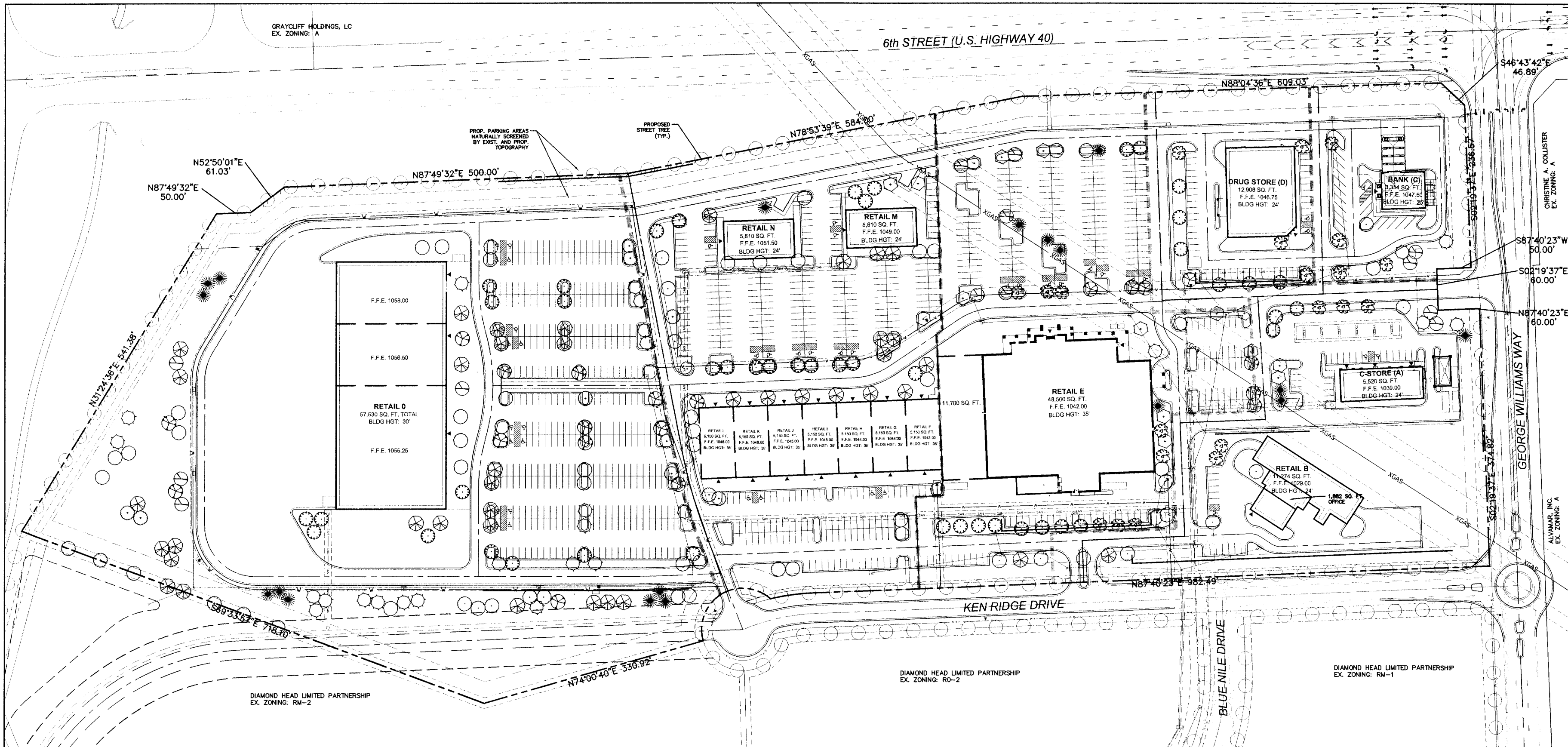
Civil Engineering
Architecture
Planning
Surveying
Landplan Engineering, P.A.
1201 Kansas Street, Suite 100
Lawrence, Kansas 66044
Phone: 781-838-1234
Fax: 781-838-1235
Email: info@landplaneng.com
www.landplaneng.com



CHAIRMAN
LAWRENCE - DOUGLAS COUNTY PLANNING COMMISSION
SECRETARY
LAWRENCE - DOUGLAS COUNTY PLANNING COMMISSION

A Preliminary
Development Plan for
NORTHGATE
Lawrence, Kansas

DATE:	12.08.04
PROJECT NO.:	04.009.06
DRAWING NO.:	04009-06
DESIGNED BY:	CLM, CMV
DRAWN BY:	ENV, DRW
CHECKED BY:	CLM, BK
SHEET NO.	2
OF	4
SHEETS	



PRELIMINARY DEVELOPMENT PLAN
6th STREET (U.S. HIGHWAY 40) AND GEORGE WILLIAMS WAY
LAWRENCE, KANSAS
LANDSCAPE PLAN

Civil Engineering
Landscape Architecture
Community Planning
Surveying

Landplan Engineering, P.A.
1111 West 10th Street
Lawrence, Kansas 66044
Phone: 785.842.1234
Fax: 785.842.1235
Email: info@landplaneng.com



SCALE: 1" = 60'

Plant Schedule

SYM.	QTY.	NAME	SIZE	COND.
TREES				
	59	ACER RUBRUM 'RED SUNSET' - RED SUNSET MAPLE	2" CAL. TO 2 1/2" CAL.	B&B
	38	PAWMORE ASH	2" CAL. TO 2 1/2" CAL.	B&B
	24	QUERCUS IMBRICARIA - SHINGLE OAK	2" CAL. TO 2 1/2" CAL.	B&B
	46	TILIA CORDATA - LITTLELEAF LINDEN	2" CAL. TO 2 1/2" CAL.	B&B
	21	GLADISTIA TRICANTHOS 'SHADEMASTER' - SHADEMASTER HONEYLOCUST	2" CAL. TO 2 1/2" CAL.	B&B
	20	BETULA NIGRA - RIVER BIRCH	2" CAL. TO 2 1/2" CAL.	B&B
	18	WHITE PINE	2" CAL. TO 2 1/2" CAL.	B&B
	15	TAXODIUM DISTICHUM - BALDCYPRESS	2" CAL. TO 2 1/2" CAL.	B&B
	16	AMUR MAPLE	2" CAL. TO 2 1/2" CAL.	B&B
	13	WASHINGTON HAWTHORN	2" CAL. TO 2 1/2" CAL.	B&B

ARTICLE 14A, LANDSCAPE REQUIREMENTS - 20-14A04.3 MINIMUM TREE REQUIREMENTS
(a) 1 TREE FOR EVERY 3000 S.F. OF OPEN SPACE
OPEN SPACE PROVIDED: 447,070 S.F.
149 TREES REQUIRED (NOT INCLUDING STREET TREES)
270 TREES PROVIDED (NOT INCLUDING STREET TREES)
* TURF AREAS TO BE SEEDS WITH K-31 FESCUE OR SODDEN PER DIRECTION OF OWNER.

Interior Landscaping Requirements

THE DATA PROVIDED IN THE FOLLOWING TABLE IS BASED UPON THE AMOUNT OF GREEN SPACE PROVIDED PER LOT EXCLUDING GREEN SPACE WITHIN THE BUILDING FOOTPRINT.

Interior Landscaping Requirements (15%)			
No. of Stalls x 280 S.F. x 0.15 = Required Interior Landscaping			
950 x 280 x 0.15 = 39,900 S.F.			
LOT 1			
Building Area	16,794	Building Area	3,354
Pavement Area	70,229	Pavement Area	30,838
Turf Area (Provided)	46,213	Turf Area (Provided)	12,579
Stalls	39	Stalls	18
Int. Landscape Req.	1,638	Int. Landscape Req.	756
LOT 2			
Building Area	12,908	Building Area	60,200
Pavement Area	49,102	Pavement Area	152,527
Turf Area (Provided)	2,012	Turf Area (Provided)	25,489
Stalls	45	Stalls	213
Int. Landscape Req.	1,890	Int. Landscape Req.	8,946
LOT 3			
Building Area	47,270	Building Area	57,530
Pavement Area	145,461	Pavement Area	260,555
Turf Area (Provided)	41,134	Turf Area (Provided)	138,966
Stalls	292	Stalls	345
Int. Landscape Req.	12,264	Int. Landscape Req.	14,406
LOT 4			
Building Area	198,714	Building Area	674,058
Pavement Area	674,058	Pavement Area	322,596
Turf Area (Provided)	322,596	Turf Area (Provided)	950
Stalls	950	Stalls	345
Int. Landscape Req.	39,900	Int. Landscape Req.	14,406

BENCHMARK 11-B
"T" FENCE POST SET FLUSH WITH GROUND
ELEV. 1017.37
N 245002.792
E 2072943.4673

BENCHMARK 11-E
CHISELED "T" ON CURB INLET
ELEV. 877.19
N 240768.2454
E 2072747.2039

BENCHMARK 11-C
"T" FENCE POST SET FLUSH WITH GROUND
ELEV. 115.94
N 242113.7731
E 20727350.4380

Site Summary

THE DATA WITHIN THE FOLLOWING TABLE REPRESENTS THE PROPOSED TOTAL QUANTITIES PER LOT IN THE DEVELOPMENT.

Lot 1		Area (Sq. Ft.)		Area (Sq. Ft.)	
Existing Buildings	0	Proposed Buildings	16,794		
Existing Pavement	0	Proposed Pavement	70,229		
Existing Impervious	0	Proposed Impervious	87,023		
Existing Pervious	0	Proposed Pervious	76,957		
Property Area	163,980	Property Area	163,980		
Lot 2		Area (Sq. Ft.)		Area (Sq. Ft.)	
Existing Buildings	0	Proposed Buildings	3,354		
Existing Pavement	0	Proposed Pavement	30,838		
Existing Impervious	0	Proposed Impervious	34,192		
Existing Pervious	0	Proposed Pervious	28,121		
Property Area	62,513	Property Area	62,513		
Lot 3		Area (Sq. Ft.)		Area (Sq. Ft.)	
Existing Buildings	0	Proposed Buildings	12,908		
Existing Pavement	0	Proposed Pavement	49,102		
Existing Impervious	0	Proposed Impervious	63,334		
Existing Pervious	0	Proposed Pervious	9,107		
Property Area	71,117	Property Area	71,117		
Lot 4		Area (Sq. Ft.)		Area (Sq. Ft.)	
Existing Buildings	0	Proposed Buildings	60,200		
Existing Pavement	0	Proposed Pavement	152,527		
Existing Impervious	0	Proposed Impervious	212,727		
Existing Pervious	0	Proposed Pervious	42,331		
Property Area	255,058	Property Area	255,058		
Lot 5		Area (Sq. Ft.)		Area (Sq. Ft.)	
Existing Buildings	0	Proposed Buildings	47,270		
Existing Pavement	0	Proposed Pavement	145,461		
Existing Impervious	0	Proposed Impervious	192,731		
Existing Pervious	0	Proposed Pervious	63,334		
Property Area	252,811	Property Area	252,811		
Lot 6		Area (Sq. Ft.)		Area (Sq. Ft.)	
Existing Buildings	0	Proposed Buildings	57,530		
Existing Pavement	0	Proposed Pavement	260,555		
Existing Impervious	0	Proposed Impervious	318,085		
Existing Pervious	0	Proposed Pervious	227,228		
Property Area	545,313	Property Area	545,313		

CHAIRMAN
LAWRENCE - DOUGLAS COUNTY PLANNING COMMISSION

SECRETARY
LAWRENCE - DOUGLAS COUNTY PLANNING COMMISSION

A Preliminary
Development Plan for
NORTHGATE
Lawrence, Kansas

REVISIONS
12.7.06 per comments

DATE: 12.08.04
PROJECT NO.: 04.000.09
DRAWING NO.: 040904-01
DESIGNED BY: CLM, ENV
DRAWN BY: ENV, BSM
CHECKED BY: CLM, BK

SHEET NO:
4 OF 4 SHEETS