

BAUER FARM

6th Street and Wakarusa Drive
Lawrence, Kansas

Proposed Waivers and Variances



Landplan Engineering, P.A.

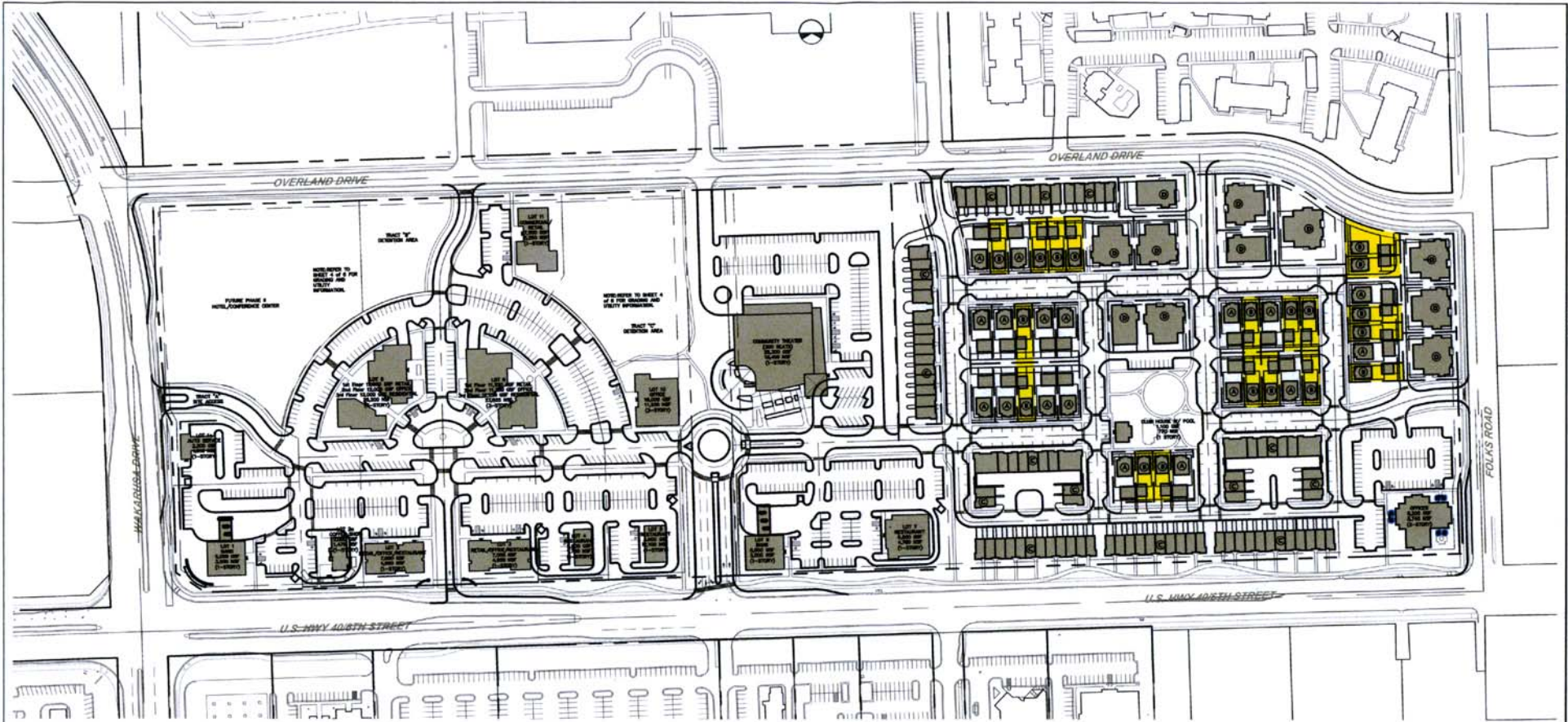
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Landscape Architecture
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Surveying

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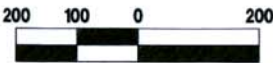


ITEM 1 - Lot Size

Sec. 20-1006(a) of the Code of the City of Lawrence: "No individual building lot shall be created that contains less than 4,000 square feet or that has a frontage less than 40 feet in width or that has less than 80 feet in depth."



NORTH



SCALE: 1" = 200'

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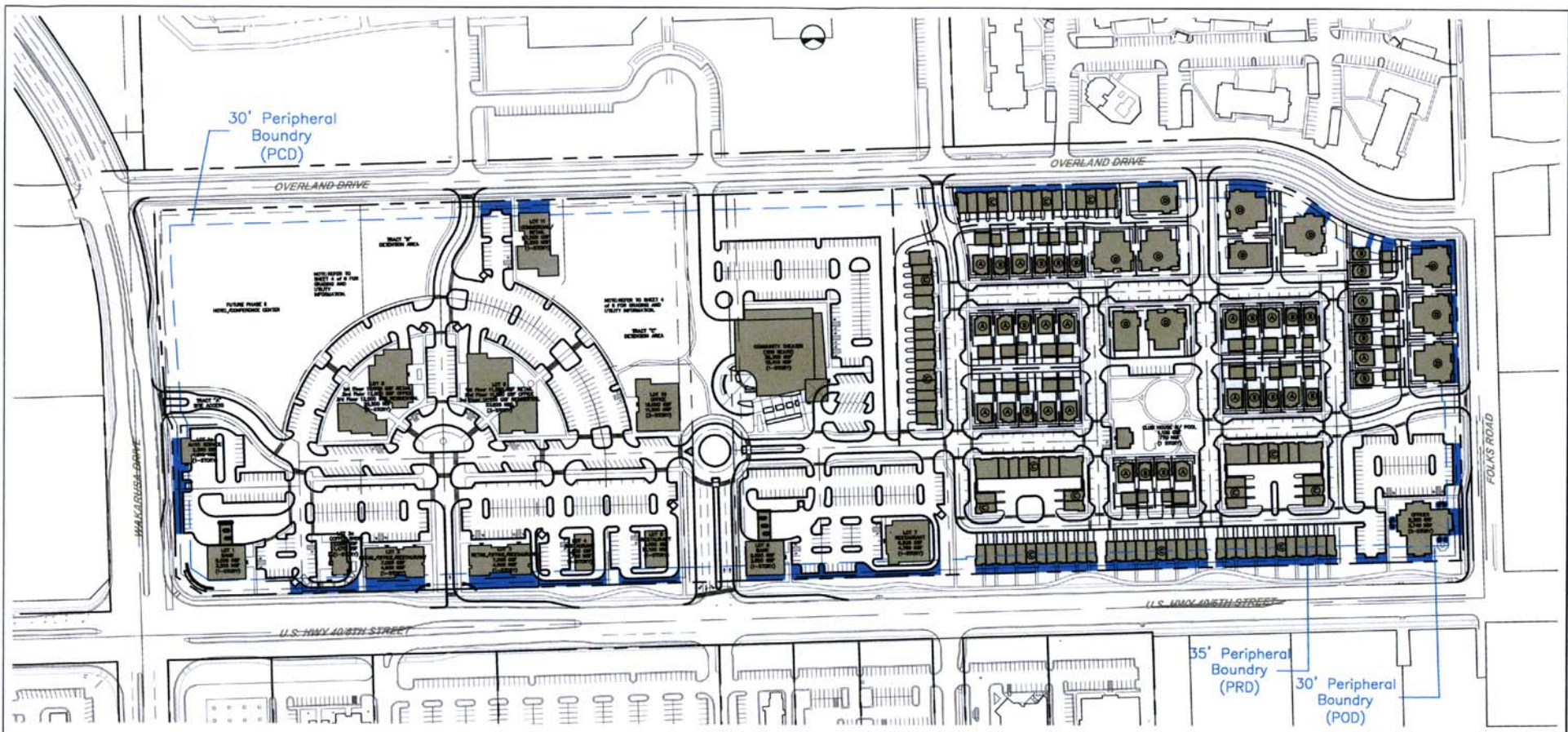
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DATE	BY
11/10/2008	SK/MS
PROJECT NO.	000000
DESIGNED BY	SK/MS
DRAWN BY	SK/MS
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ITEM 2 - Periphery Boundary

Sec. 20-1006(i) PUD: All buildings, structures and parking lots shall be set back from the periphery boundary or periphery street rights-of-way not less than 30 feet.

Sec. 20-1007(E)(2) PRD: All buildings, structures and parking lots shall be set back from the periphery boundary not less than 35 feet.



NORTH



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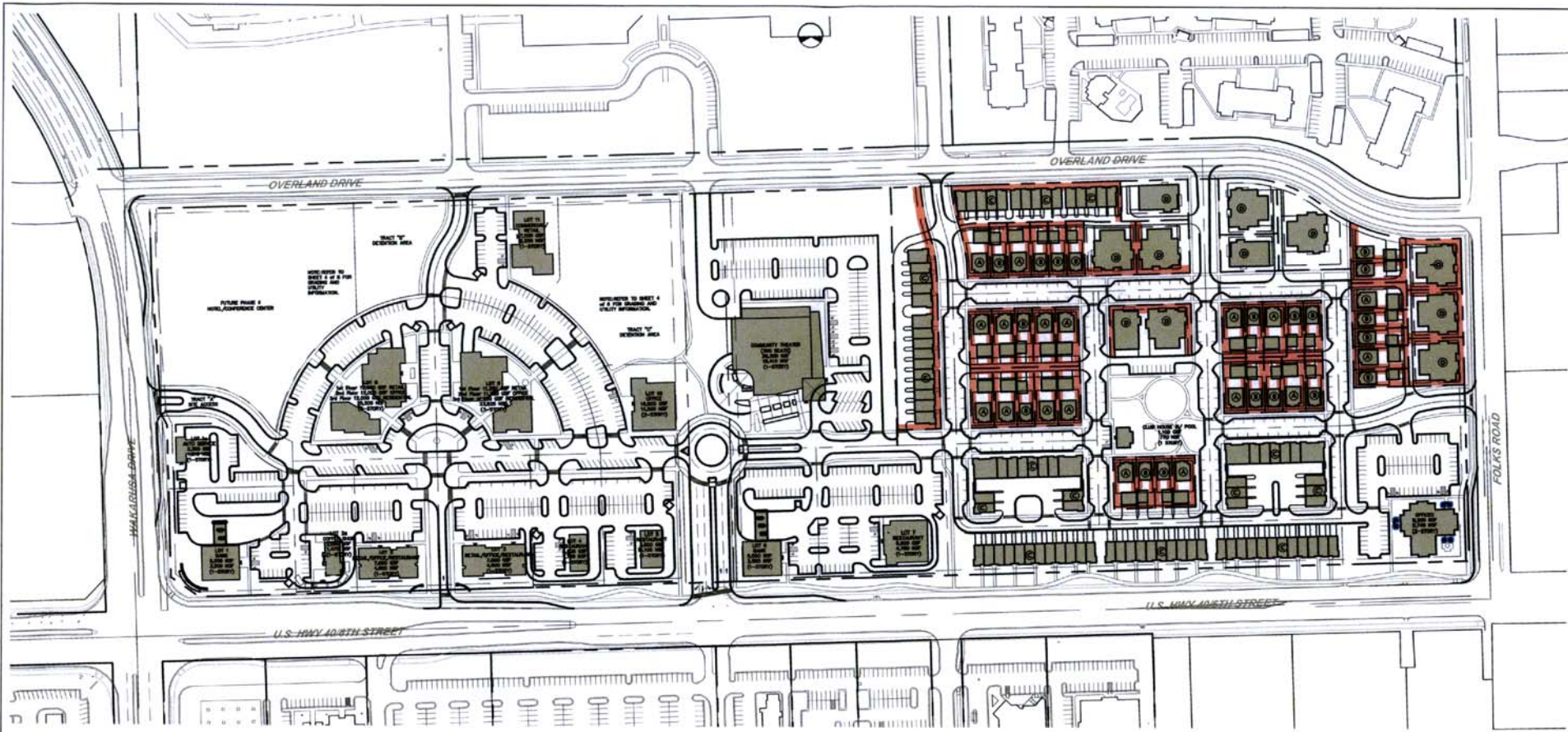
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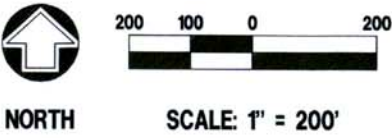
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ITEM 3 - Residential Setbacks

Sec. 20-1006(d)PUD: All individual buildings or structures shall be separated by a minimum distance of 10 feet. A waiver from this minimum distance to permit zero lot line developments may be permitted if the structures are designed to meet the building code requirements adopted by the city.

Sec. 20-1007(E) PRD:
(1) Front yard. Minimum 15 feet from public or private street or road right-of-way line.
(3) Side and Rear Yard. 10 feet.
The Planning Commission may approve a lesser setback provided that if the setback is reduced below 10 feet between structures, the structures must be designed to meet the building code requirements for zero setback.



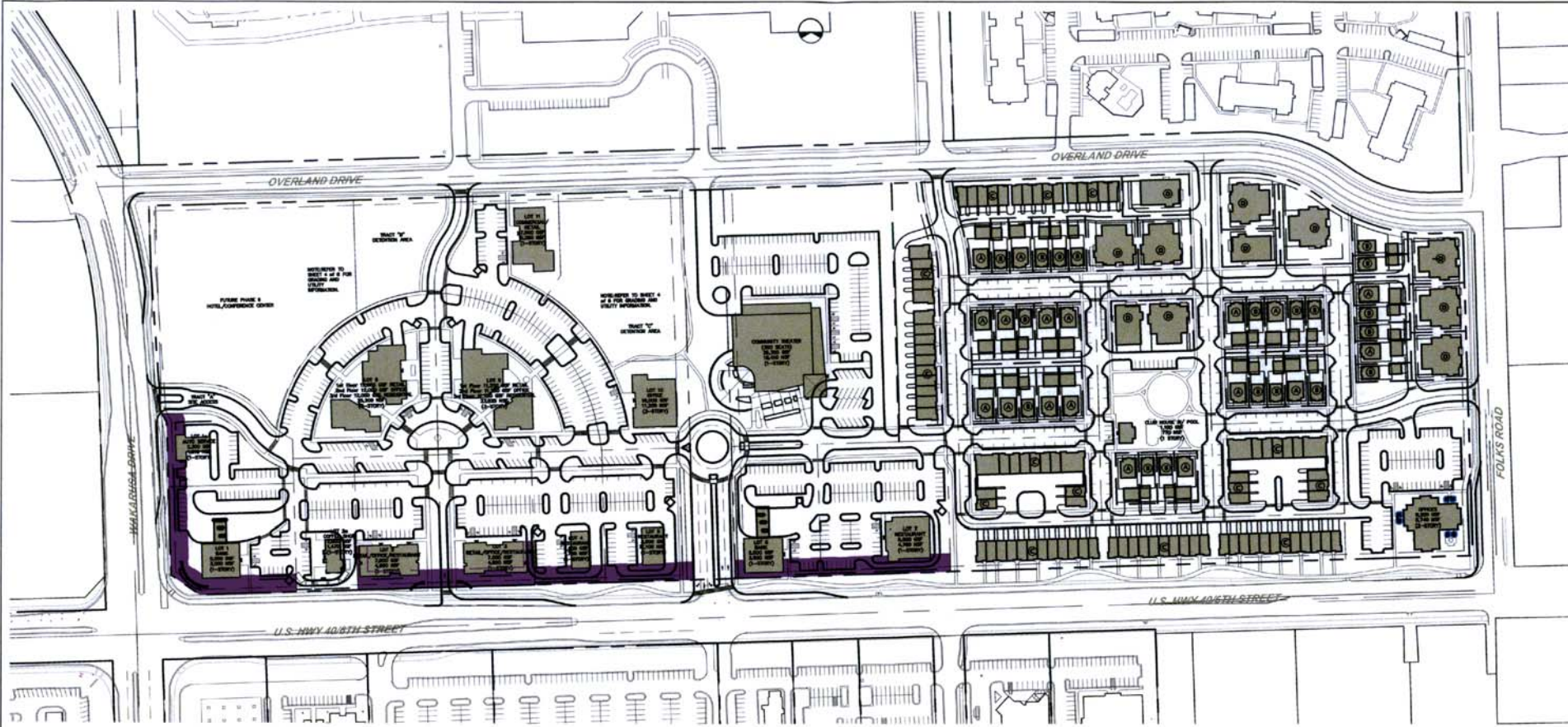
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ISSUED BY:	DATE:	DATE:
REVISION BY:	REVISION NO.:	REVISION DATE:

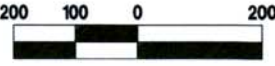


ITEM 4 - Commercial Setbacks

- Sec. 20-1008(D) PCD:
- (1) Front yard. Minimum 15 feet from public or private street or road right-of-way line.
 - (3) Side Yard. (a) Detached or semidetached buildings or structures - 20 feet
 - (4) Rear Yard. 35 feet for commercial.



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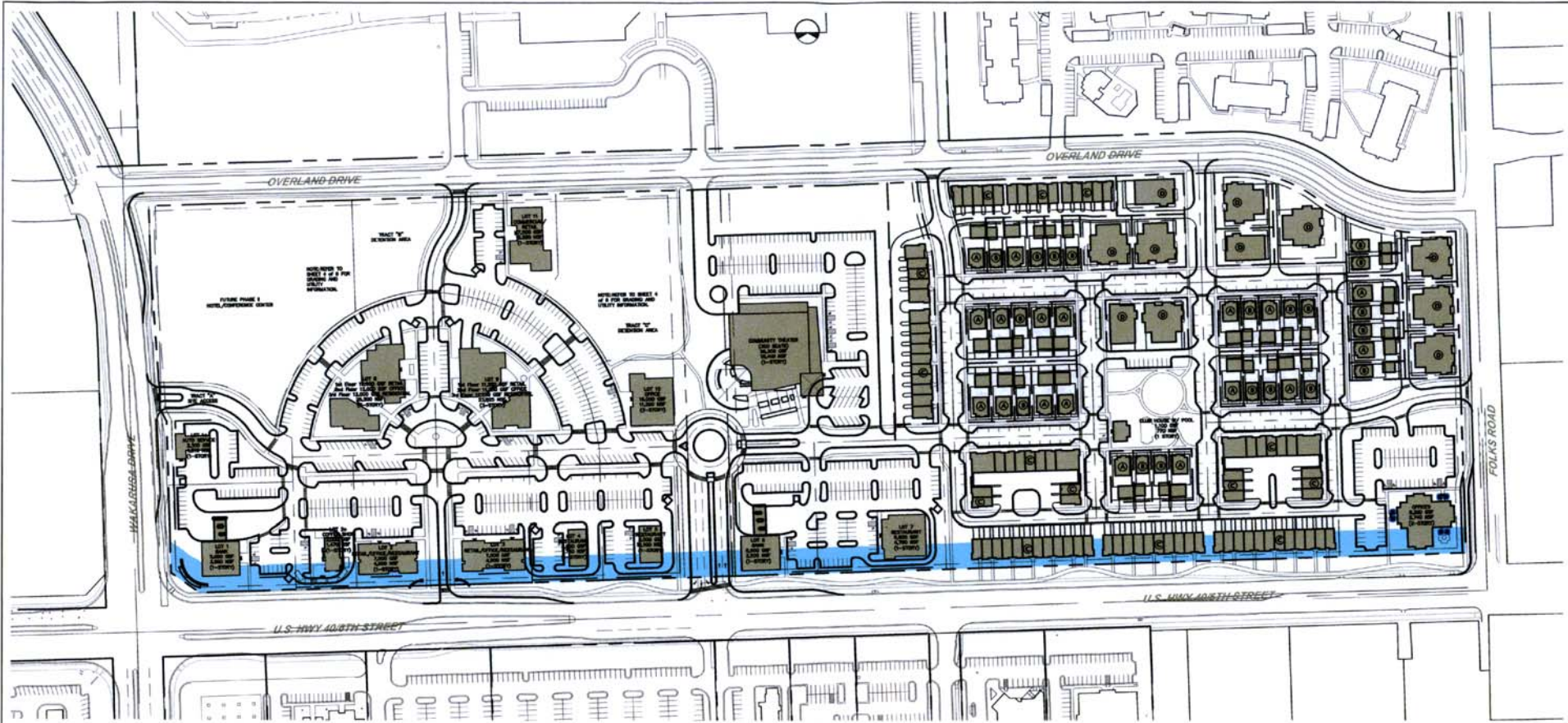
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ITEM 7 - 6th Street Setback

Sec. 21-1201 of the Subdivision Regulations: "Building and parking setback lines are hereby established on certain major streets or highways as follows: West Sixth Street from County Road 13 to Monterey Way: setback line of 50 feet. (Ord. 6146)"



NORTH



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10/1/2010	1000	W. K. K.
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1	1" = 200'	T.M.

