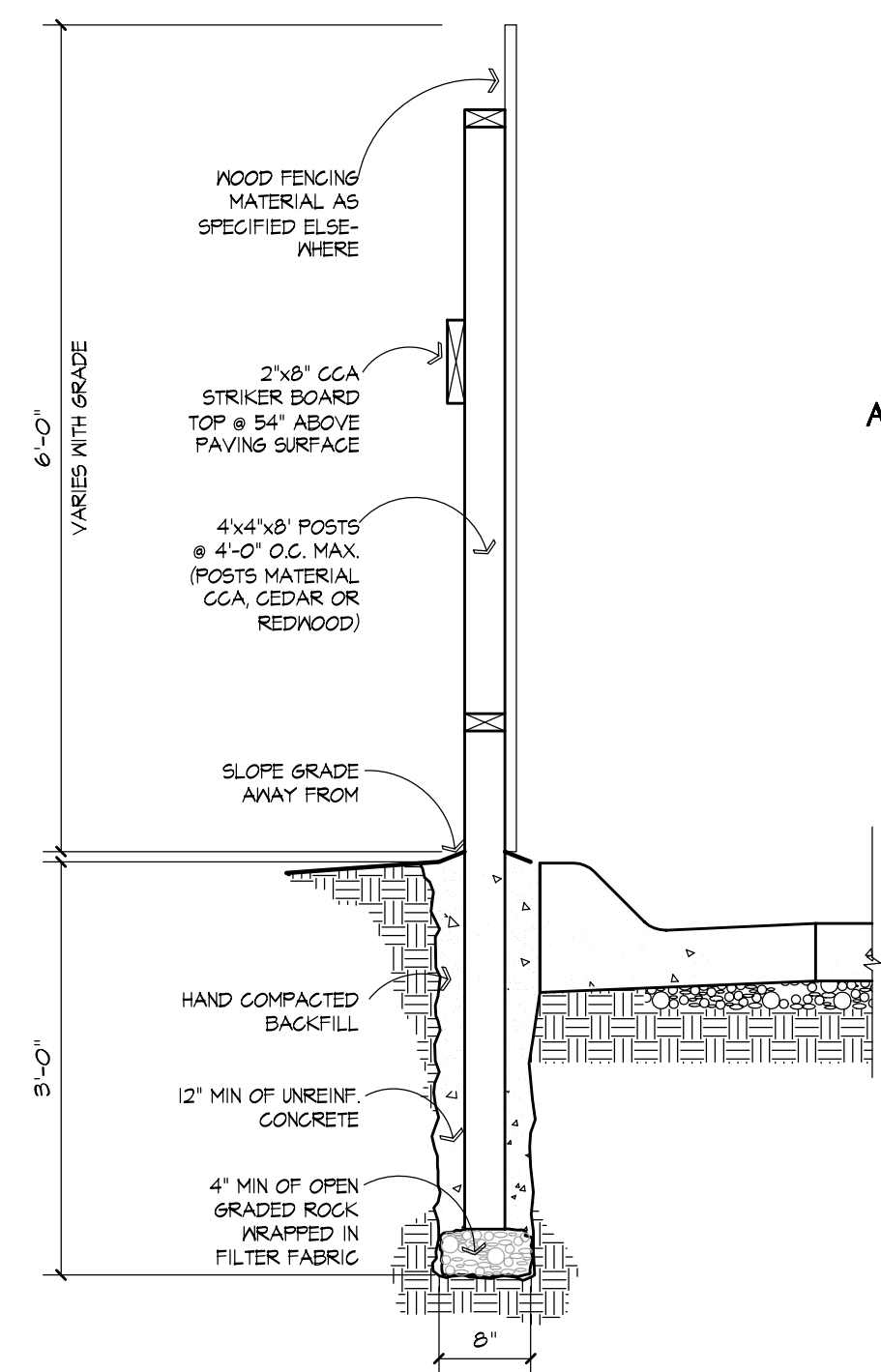
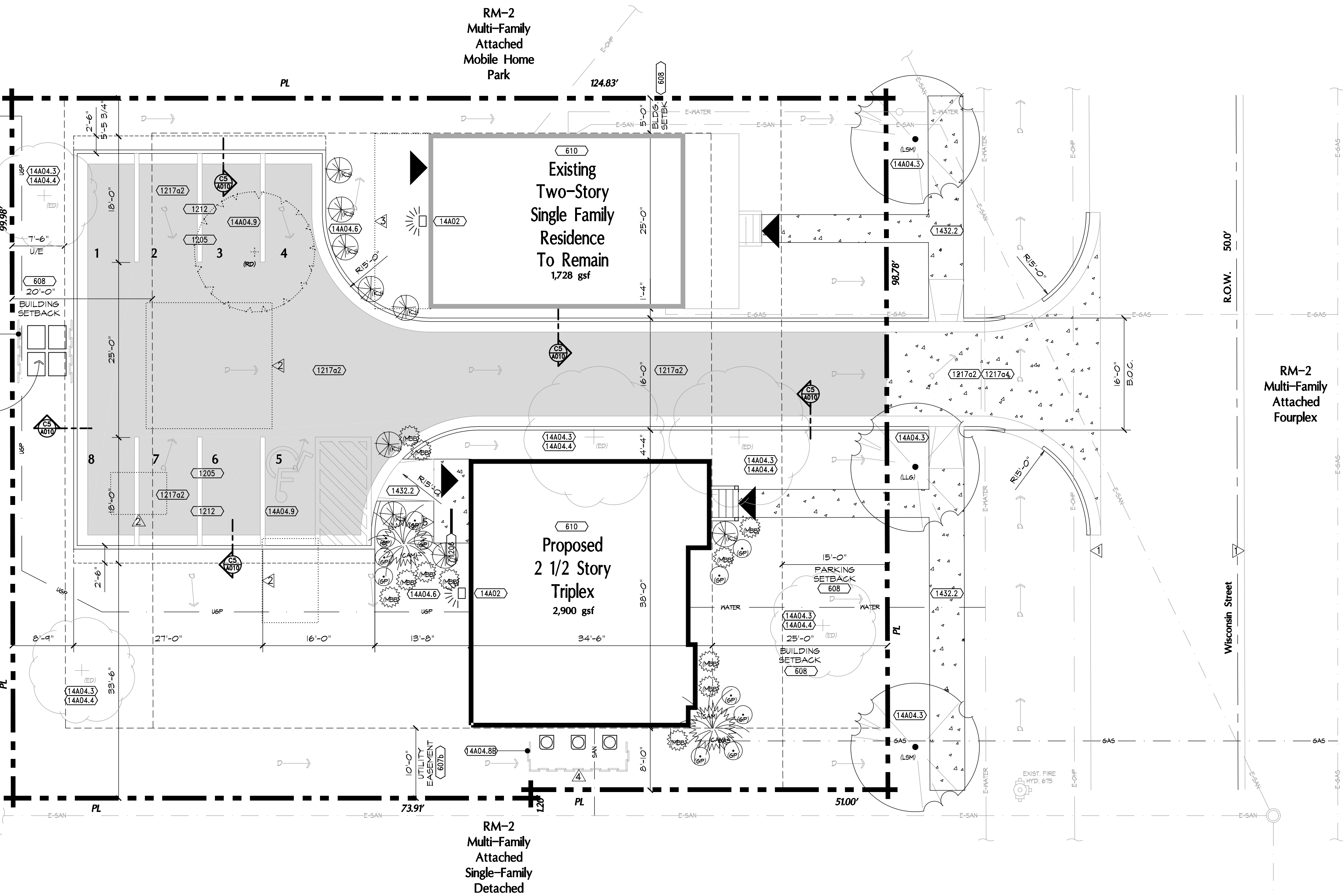


**C5 TYPE I CURB & GUTTER**  
1" = 1'-0"



**A5 TYPICAL SCREEN FENCE DETAIL**  
3/4" = 1'-0"

**A3 PROPOSED SITE DEVELOPMENT PLAN**  
1" = 10.0'



**Legal Description**

Lot 1, Block 1 of the Chenouda Addition, a replat of a portion of Block 30, West Lawrence Addition, in the City of Lawrence, Douglas County, Kansas. Containing 1/4 - 12.423 gross square feet or .285 acres. SW 1/4, SECTION 25-1125-R19E

**Zoning Requirements & Compliance**

608 20-608 DISTRICT STANDARDS/TABLE I		
	Required	Proposed
Zoning	RM-2 Multi-Family	RM-2 Multi-Family
Lot Area	9,000sf	12,423sf
Lot Area/Dwelling Unit	2,000sf	3,105sf
Lot Width	60'	98.78'
Lot Depth	100'	124.83'
Minimum Yards		
Front	25'	25'
Rear	20'	60.42'
Interior Side	5'	5'/9.80'
Exterior Side	N/A	N/A
Parking	15'	2'/1 1/2'
Stories	4	2'/1 1/2'
Height	45'	20'

**610 20-610 ALLOWED USE/TABLE II**

20-610.5 USE GROUP 4: RESIDENTIAL MULTI-FAMILY  
20-610.5.1 Multi-family dwellings (3 Unit Apartment Building + Existing Single Family Residence)

**20-9A FLOODPLAIN & STORMWATER MANAGEMENT**

Storm water Management Criteria  
1.0 General  
1.6 E.2. These requirements apply to all developments except the following:  
d. Improvements on any site having a gross land area of one-half acre or less, regardless of land use.... are exempt from providing on-site detention facilities.

Impervious Surfaces  
Existing  
Building 1,198 GSF  
Pavement 1,744 GSF  
Subtotal 2,942 GSF  
Total 12,423 GSF

Proposed  
Building 3,752 GSF  
Pavement 2,450 GSF  
Subtotal 6,202 GSF  
Total 12,423 GSF

**1205 20-1205 OFF-STREET LOADING & PARKING REQUIREMENTS**

- SIZE
- (a) Standard Car & Truck Requirements  
Angle 90°  
Stall Depth 18'  
Stall Width 25'
- (b) Compact Car & Truck Requirements  
Angle 90°  
Stall Depth 16.5'  
Stall Width 25'
- (c) Standard car minimum width: 9.0'  
Compact car minimum width: 7.5'  
(d) Minimum width one-way aisle: 12.0'  
(e) Minimum width two-way aisle: 25.0'  
(f) Minimum accessible parking spaces  
4. Single-family, duplex or triplex residential dwellings are exempt from the requirements to provide accessible parking spaces.  
(g) Minimum standards for driveway entrances to parking areas  
(1) Thirty foot maximum driveway width  
(2) The curb radius return shall not extend beyond the property line

**1206 20-1206 BICYCLE PARKING AREA**

Each bicycle parking space shall provide for a secure method of locking a bicycle...  
A minimum of 2 bicycle parking spaces shall be provided, (15'x 3' spaces + 25'x 5' spaces)

**1212 20-1212 OFF-STREET PARKING SPACES REQUIRED**

Parking Group 2A: 1.5 spaces for each ...2 Bedroom Apartment (2) = (3)	
Parking Group 2B: 2.5 spaces for each ...3 Bedroom Apartment (2) = (5)	
Provided:	
Full Size	7
Compact	1
Universal Accessible	1
Total Provided:	9

**20-1215 MARKINGS & BARRIERS**

The perimeter of the parking lot shall be curbed as per Detail C5/A010

**20-1217 SURFACING**

- (a) All off-street parking areas shall be surfaced in accordance with City Standards as follows:  
(1) Five (5) inches of granular rock base with two (2) inches of asphalt overlay per City Standards.  
(2) Existing asphalt paving to remain to extent shown  
(3) Six (6) inches of 4000psi concrete reinforced with 6x6, W2.9xW2.9 WWF per City Standards

**1432.2 20-1432.2 SIDEWALKS**

1. Furnish & install five (5) foot wide x 4" thick concrete sidewalk reinforced with 6x6, W1.4 x W1.4 WWF. Provide ramps at all points that terminate at driveways or street intersections in accordance with 6.8 of the Americans With Disabilities Guidelines.

**14A02 20-14A02 PHOTOMETRIC PLAN**

Outdoor lighting fixtures shown thus . The above type fixtures are exempt from photometric plan requirements. Outdoor/security lighting shall be restricted to wall mount units as shown. Any other type lighting shall be prohibited prior to submission & approval of a revised site plan including photometrics for the revised lighting.

**20-14A04.2 LANDSCAPING REQUIRED**

Symbol	Name	Size	Quantity	Package
LSM	Legacy Sugar Maple	2" caliper	2	b&b
LLG	Littledot Linden 'Greenspire'	2" caliper	1	b&b
CAM	Clump Amur Maple	6"-7" multi-stem	2	b&b
ED	Existing Deciduous to Remain	12"-24"	5	n/c
RD	Remove Existing Deciduous	16"	1	n/c
GP	Golden Privet	3 gal.	11	container
KJ	Kelley's Juniper	4-5 ft.	5	b&b
MBB	Mentor Barberry	3 gal.	11	container

**14A04.3 20-14A04.3 MINIMUM TREE REQUIREMENTS**

Street Trees Required  
Street Frontages 98.78'-40' = 2.5 trees required (3) new trees provided  
Additional Trees Required  
(c) 4 dwelling units = 2 = 2 trees required (3) existing trees provided

**14A04.4 20-14A04.4 PROTECTION OF PRESERVED TREES**

Trees destroyed or receiving major damage...during construction... must be replaced by trees of equivalent environmental value as specified by the Planning Department before occupancy or use, unless approval for their removal has been granted.

**14A04.5 20-14A04.5 PLANTING REQUIREMENTS WITHIN PARKING AREAS**

(a) 18 spaces x 280 sf/spaces x 15% = 336 sf required

**14A04.6 20-14A04.6 SCREENING REQUIREMENTS**

(a) Poly Cart Trash enclosure shall be screened AS PER DETAIL C5/A010" this sheet

**14A04.8 20-14A04.8 MARKINGS & BARRIERS**

1. Provide 6" wide (min.) yellow or white stripes on pavement defining each parking stall as shown.  
2. Accessible spaces shall be designated reserved by stencil on paving surface and by a sign mounted 60"-72" above paving surface. Stencil & sign shall both incorporate the symbol of accessibility as defined in 4.30.7 of the ADA Accessibility Guidelines for Buildings & Facilities.

**Disclaimers**

Americans With Disabilities Act Compliance  
This project has been designed to comply with the ADA Act Accessibility Guidelines for Buildings & Facilities (ADAAG). The Architect has used reasonable professional efforts to interpret & comply with applicable ADAAG requirements as they relate to this document. However, since the requirements of the ADAAG are subject to various and possibly contradictory interpretations, the Architect cannot and does not warrant or guarantee that this document will comply with all interpretations that may occur and revisions may be required to comply with those interpretations.  
Sanitation Vehicle Hold Harmless Agreement  
The Owner of this property agrees to hold the City of Lawrence harmless for damage done to the pavement around the trash enclosure which may occur as a result of sanitation vehicles performing normal collection services.

**Keynotes**

1. Existing asphalt paving to remain as shown.  
2. Remove existing accessory buildings as shown.  
3. Remove existing patio cover roof & supports as shown.  
4. Install as shown 36" high 1x6 cedar picket mechanical equipment screen fences. Paint to match building trim.  
5. F&I 5'-0"x8'-0"x4" reinforced concrete bicycle parking pad.

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SHENOUDA ADDITION  
425 WISCONSIN REDEVELOPMENT  
Lawrence, Kansas

PROJECT # 0511  
DATE: 08.16.05  
DRAWN BY:  
CHECKED BY:  
REVISIONS: 12.01.05

PROPOSED  
SITE  
DEVELOPMENT  
PLAN

Sheet  
A010

1 of 1 Sheets