



Peridian Group, Inc.
COMMUNITY PLANNING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
900 ROCKFORD ROAD, SUITE A
LAWRENCE, KS 66044
TEL: (785) 838-3338 FAX: (785) 838-3339

Legal Description:

LOT 1 OF PARKER SUBDIVISION, CITY OF LAWRENCE, DOUGLAS COUNTY, KANSAS

General Notes:

- EXISTING ZONING: RM-1
- EXISTING ZONING: UNDEVELOPED
- PROPOSED USE: MULTI-FAMILY APARTMENTS
- THIS DOCUMENT IS FOR PLANNING PURPOSES ONLY - NOT FOR CONSTRUCTION.
- ALL UTILITIES SHALL BE DEEPENED AND COVERED TO MEET CITY OF LAWRENCE STANDARDS.
- TOPOGRAPHIC INFORMATION DERIVED FROM A FIELD SURVEY PERFORMED BY ESH ASSOCIATES.
- PRIVATE DRIVE AND PARKING AREAS TO BE PER CITY OF LAWRENCE STANDARDS.
- ALL PARKING, DRIVEWAYS, AND DRIVEWAYS SHALL BE PER CITY OF LAWRENCE STANDARDS.
- THIS SITE PLAN MEETS ASADA STANDARDS, APPENDIX A TO 28 CTR.
- ALL SITE LIGHTING TO BE BUILT AND MAINTAINED WITH MAXIMUM OF 300 WATTS AND SHIELD ED FROM GLARE OFF-SITE.
- SITE MAINTENANCE TO BE PROVIDED BY PROJECT OWNER.
- THIS PLAN HAS BEEN DESIGNED TO COMPLY WITH THE MINIMUM PROVISIONS OF THE KANSAS LANDSCAPE ARCHITECTURE ACT, CHAPTER 65, AS AMENDED, SUBCHAPTER A, APPENDIX 1, OF THE PARKING ACT OF 1986, AS AMENDED.
- CITY OF LAWRENCE WILL NOT BE RESPONSIBLE FOR PAYMENT DAMAGE DUE TO REFUSE COLLECTION.
- ALL UTILITIES SHALL BE DEEPENED AND COVERED TO MEET CITY OF LAWRENCE STANDARDS.
- ALL SITE LIGHTING TO BE BUILT AND MAINTAINED WITH A 400 WATT MAX ILLUMINATION TO BE SHIELDED FROM VIEW OFF-SITE.
- RELOCATION OF EXISTING ELECTRICAL UTILITIES WILL BE PROVIDED AT DEVELOPER'S EXPENSE.

Parking Summary:

PHASE	PARKING REQUIRED	PARKING PROVIDED	ACCESS
1	RESIDENTIAL MULTI-FAMILY - USE GROUP 4	37	1
2	(1 1/2 SPACES PER 2 BEDROOM UNIT)	37	1
3	8 - 2 BDR UNITS 8 X 1.5 = 12	37	1
4	10 - 3 BDR UNITS 10 X 2.5 = 25	37	1

TOTAL REQUIRED SPACES = 37
TOTAL PROVIDED SPACES = 40 (INCLUDES 1 VAN ACCESSIBLE SP)
• EACH UNIT TO HAVE TWO CAR GARAGE

Development Summary:

DWELLING DENSITIES	84,518 S.F./1.34 AC
TOTAL UNITS	18
UNITS PER ACRE	18/1.34 = 9.27 UNITS PER ACRE

Impervious Surface:

TOTAL PROPERTY AREA	84,518 S.F.	TOTAL PROPERTY AREA	84,518 S.F.
EXISTING BUILDING	2,877 S.F.	PROPOSED BUILDING	21,818 S.F.
EXISTING DRIVEWAYS	2,877 S.F.	PROPOSED DRIVEWAYS	24,457 S.F.
EXISTING PARKING	81,591 S.F.	PROPOSED PARKING	24,457 S.F.

Plant Schedule:

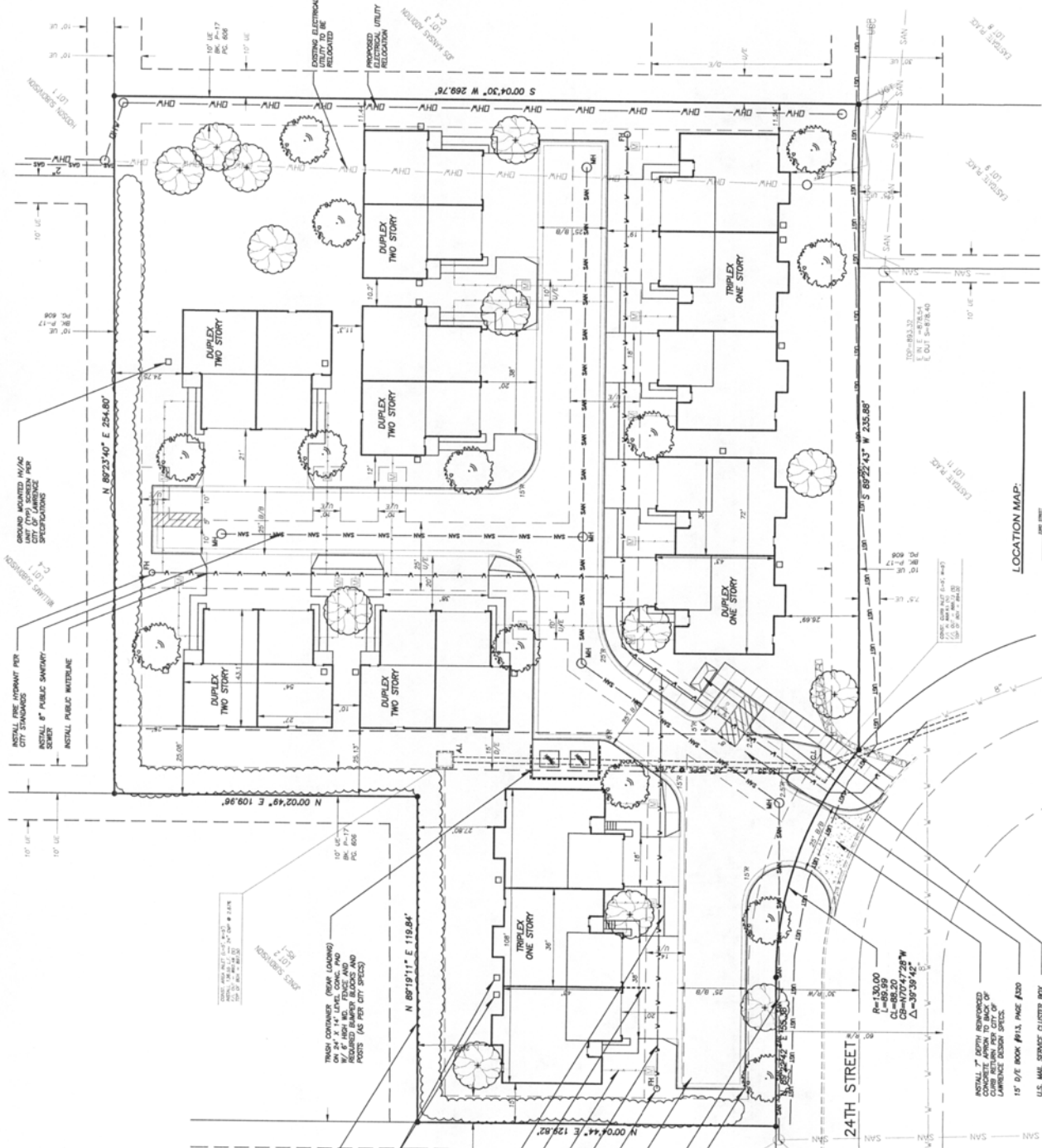
SYMBOL	QTY	NAME	SIZE	COND
	13	RED BARNET MAPLE	2-1/2" B & B	OL
	13	SILVER MAPLE	2-1/2" B & B	OL
	40	EXISTING TREES	1" 1/2" OL	EXISTING

SCALE: 1" = 20'



BENCHMARK:

STAINLESS STEEL AND IN NORTHWEST QUADRANT OF 6-10 CENTERLINE HANCOCK STREET, AND 4.00 FEET NORTH OF A POWER POLE. 1986 ELEVATION: 910.30



LOCATION MAP:



SEE SHEET 13-30

24th Street Villas

East of Ponderosa St
on 24th Street,
Lawrence, KS

Site Plan

REVISIONS:
JUN. 27, 2004

PROJECT RECORD:
DIGITAL ID: 04067-SP.DWG
PROJECT NO: 04067
DATE: JUN. 08, 2004
DRAWN BY: MW
CHECKED BY: MK
SHEET NO: 1 OF 2 SHEETS

TOTAL COPIES: 10



Peridian Group, Inc.

- COMMUNITY PLANNING
 - CIVIL ENGINEERING
 - LANDSCAPE ARCHITECTURE
 - LAND SURVEYING
- 800 ROCKLEDGE ROAD, SUITE A
LAWRENCE, KANSAS 66044
TEL (785) 838-5338 FAX (785) 838-5339

24th Street Villas

East of Ponderosa St.
on 24th Street,
Lawrence, KS

Site Plan

REVISIONS:

PROJECT RECORD:

DIGITAL ID: 04067-SP2.DWG
PROJECT NO: 04067
DATE: JUN. 08, 2004
DRAWN BY: MW
CHECKED BY: MK
SHEET NO. 2 OF 2 SHEETS

SCALE: 1" = 20'

BENCHMARK:

STANDARD STEEL ROD IN MORTAR GUARANTEE OF 4-10
HARDWAY AND HARPER STREET, 100.70 FEET NORTH OF A
POWER POLYMER CONCRETE HARPER STREET, AND 4.60 FEET NORTH OF A
POWER POLYMER CONCRETE HARPER STREET, 910.30
NOS U-306, 1986 ELEVATION: 910.30

