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PROJECT TEAM
ONE ENGINEERING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
LAND DEVELOPMENT

FOR RECORD LOCAL BOARD SEATTLE
APPROVED FOR RECORD

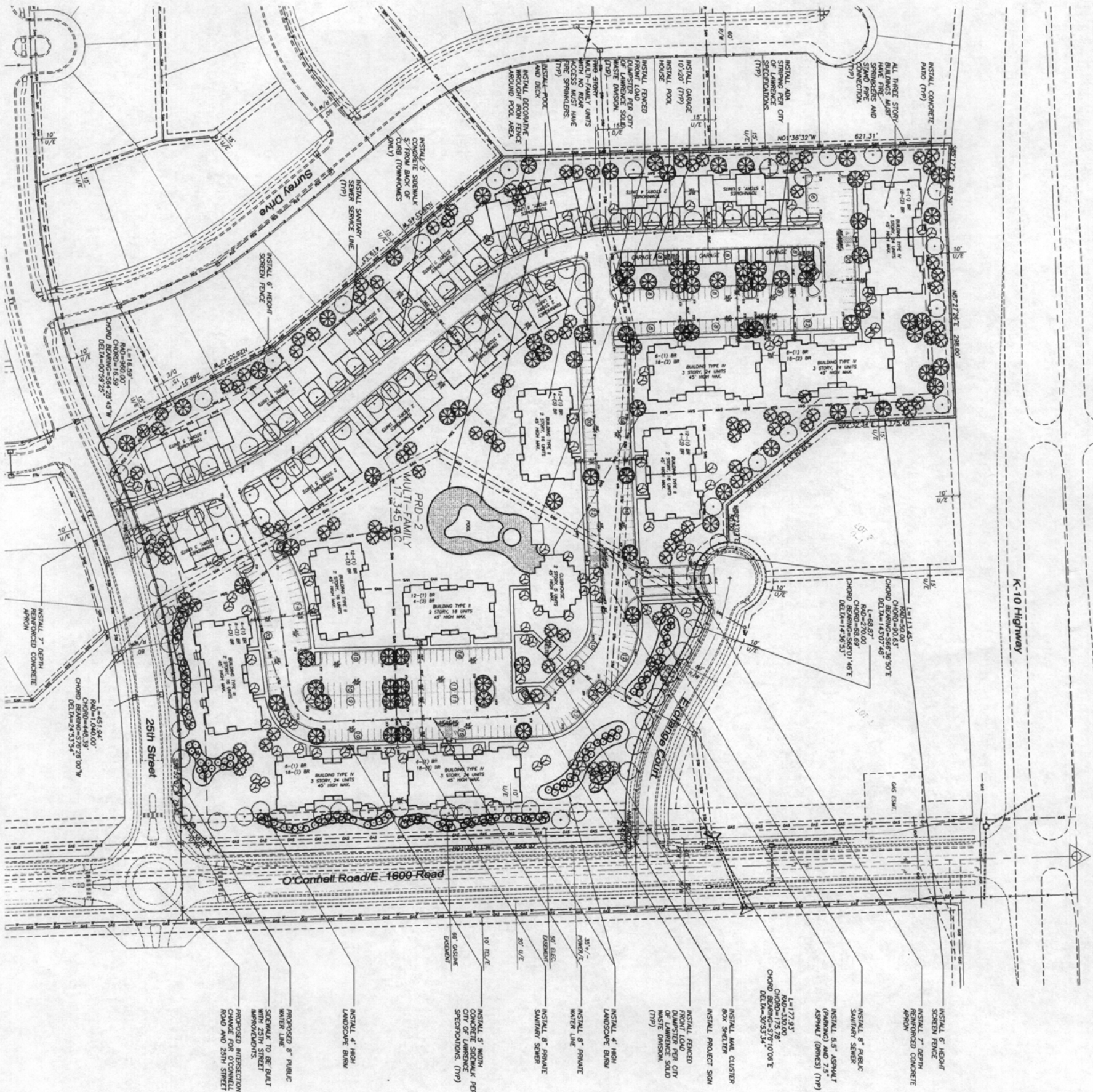
Farmland
Northwest
Addition
SW Corner
K-10 Highway &
E 1600 Road
Lawrence, KS

Preliminary
Development
Plan

REVISIONS:
FEB. 3, 2004
FEB. 18, 2004

PROJECT RECORD:
DRAFT ID: 02163-3.5-PDP

PROJECT NO.: 02160-3.5
DATE: DEC. 12, 2003
DRAWN BY: K/V
CHECKED BY: MK
SHEET NO. 1 OF 3 SHEETS



SCALE: 1" = 60' - 0"

Legal Description:

A PART OF THE NORTH 60 ACRES OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 13 SOUTH, RANGE 20 EAST IN THE CITY OF LAWRENCE, DODGAS COUNTY, KANSAS DESCRIBED AS FOLLOWS:

[illegible]

Parking Summary

LOT 2, BLOCK 2

PARKING SUMMARY:

MULTI-FAMILY RESIDENTIAL - PARKING GROUP 2

PARKING REQUIRED	1 BR UNITS	2 BR UNITS	3 BR UNITS	PARKING REQUIRED
(1.5 SPACE / 1 BR UNIT)	82			123
(1.5 SPACE / 2 BR UNIT)		103		155
(2.5 SPACE / 3 BR UNIT)			20	50

TOTAL REQUIRED SPACES = 328 (INCLUDES 8 ACCESSIBLE)
TOTAL PROVIDED SPACES = 328 (INCLUDES 8 ACCESSIBLE)

TOTAL PROVIDED SPACES = 328 (INCLUDING)

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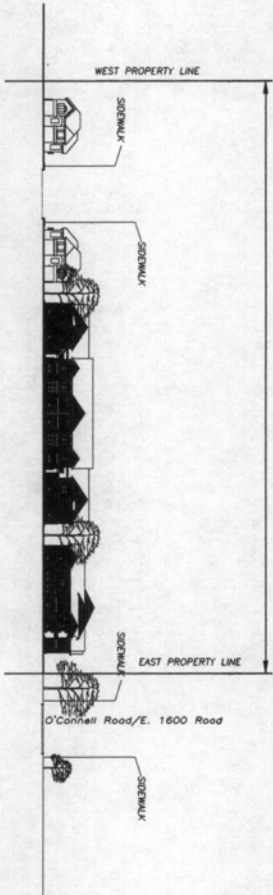
- ALL HANDICAP PARKING SPACES SHALL BE MARKED AND STENCILLED WITH FPMV DISABLED PARKING SIGNS.
- ALL BUILDINGS WILL HAVE A MINIMUM OF 5 BICYCLE PARKING SPACES.
- EACH TOWNHOUSE TO HAVE A GARAGE AND DEDICATED PARKING SPACE.
- 55 TOWNHOUSES TOTAL/110 PARKING SPACES PROVIDED

General Notes:

1. PROPOSED ZONING: RPD-2
2. CURRENT USE: UNDEVELOPED
3. PROPOSED USE: MULTI-FAMILY RESIDENTIAL
4. THIS DOCUMENT IS FOR PLANNING PURPOSES ONLY - NOT FOR CONSTRUCTION.
5. WRITTEN DISCUSSIONS SHALL REFLECT OVER SCALED DIMENSIONS.
6. ADDITIONAL INFORMATION OBTAINED FROM LANDSCAPE DETAILS.
7. PRIVATE DRIVES AND PARKING AREAS TO BE PER CITY OF LANDMARKS STANDARDS.
8. ALL PLANTING TYPES AND PLANTING AREAS TO HAVE 6" X 24" CORBS AND OUTLETS.
9. ALL STANDARD PLANTING SPACES TO BE 9" WIDE AND 18" LONG.
10. THOUGH DIMENSIONS TO BE LOCATED AS SHOWN, SIZE AND TYPE OF FRONT LOAD DIMENSIONS TO BE APPROVED BY THE CITY OF LANDMARKS SURVEILLANCE DEPARTMENT.
11. CITY OF LANDMARKS WILL NOT BE RESPONSIBLE FOR PRESENTATION DAMAGE DUE TO PHOTO COLLECTION.
12. ALL PUBLIC UTILITIES AND IMPROVEMENTS TO BE PROVIDED THROUGH PRIVATE FINANCING AND INSTALLED BY PROJECT DEVELOPER.
13. A DETAILED PHOTOGRAPHIC LAYOUT PLAN WILL BE SUBMITTED AS PART OF THE FINAL DEVELOPMENT PLAN.
14. THIS PLAN HAS BEEN DESIGNED TO COMPLY WITH THE PROVISIONS OF THE CITY OF LANDMARKS DESIGN STANDARDS AND THE CITY OF LANDMARKS RULES AND REGULATIONS AND MEET THE CITY OF LANDMARKS DESIGN STANDARDS FOR BUILDING AND FINISHES. APPROXIMATELY 1/4 IN. OR PART IN.
15. SEE APPROVED DRAINAGE STUDY FOR SURROUNDING DEVELOPMENT.
16. OPEN SPACE SHALL BE MAINTAINED BY THE PROJECT OWNER.
17. THE PROJECT DEVELOPER AGREE TO DEDICATE TO THE CITY OF LANDMARKS THE RIGHT TO REGULATE ANY CONSTRUCTION OVER THE LAND DISCONTIGUATED FROM THE PROJECT SITE AND TO PREVENT ANY CONSTRUCTION WITHIN AND AROUND SPACES INCONSENSIVE WITH THE APPROVED USE OR DEDICATION OF RESIDENTIAL, RECREATION OR OTHER USE OF THE POL.
18. ALL BUILT FINISHING WILL MEET CITY OF LANDMARKS STANDARDS.
19. ALL GROUND ANCHORED TRANSDUCERS AND 4C UNITS SHALL BE SPACED PER SECTION 20-1404.03 OF THE CODE OF THE CITY OF LANDMARKS.
20. THE DEVELOPMENT PLAN SHALL COMPLY WITH CITY ORDINANCE NO. 7154.
21. NO COVENANTS SHALL BE FILED AS PART OF THIS DEVELOPMENT.
22. SINKING POOL DISCHARGE SHALL COMPLY WITH CITY ORDINANCE NO. 7094.
23. ALL CABLE MATS TO BE CITY STANDARD CABLE MATS PER CITY SPECIFICATIONS.
24. TELEPHONE, CABLE TELEVISION AND/OR ELECTRIC LINES, WILL BE LOCATED UNDERGROUND, PER CITY CITY LINES.
25. OCCUPANT FINISHES FOR PROPOSED BUILDINGS WILL NOT BE ISSUED UNTIL THE REQUIRED PUBLIC FINANCE IMPROVEMENTS ARE COMPLETED, UNLESS NOTED AND ACCEPTED BY THE POLICE WORKS DEPARTMENT.
26. OTHER INFORMATION RETAINED FROM COUNCIL, ROAD IMPROVEMENT PLANS.

Project Developer

PROJECT DEVELOPER:
EASTSIDE ACQUISITION, LLC
411 NORTH IOWA STREET
LAWRENCE, KS 66044



Density Summary:

TOTAL UNITS =	260
GROSS AREA =	17.545 AC
GROSS DENSITY =	14.98 UNITS/AC

Interior Greenspace Summary:

INTERIOR GREENSPACE REQUIRED =	304 PARKING (EXCLUDING GARAGES) SPACES x 280 S.F. x .15
=	12,768 S.F.
INTERIOR GREENSPACE PROVIDED =	14,268 S.F.

Impervious Surface Summary:

EXISTING CONDITIONS		PROPOSED CONDITIONS	
BUILDING AREA =	0 S.F.	BUILDING AREA =	152,794 S.F.
PAVEMENT AREA =	0 S.F.	PAVEMENT AREA =	186,079 S.F.
UNPAVED SURFACE =	0 S.F.	UNPAVED SURFACE =	33,873 S.F.
PONDING SURFACE =	755,580 S.F.	PONDING SURFACE =	42,707 S.F.
PROPERTY AREA =	755,580 S.F.	PROPERTY AREA =	755,580 S.F.






Common Open Space Summary:

GROSS S.F.	OPEN SPACE REQUIRED	OPEN SPACE PROVIDED
759,560 S.F.	151,116 S.F./20%	152,248 S.F./20%

Development Schedule:

PHASE	BEGIN CONSTRUCTION	END CONSTRUCTION
I	AUG. 2004	AUG. 2005

Landscape Schedule:

	115	BLUDDOON LONDON PLUMMER - PLUMMER X KESTERDA MILWAU WINTER JOY - PLUMMER PLUMMER MILWAU MILWAU SECTORS JOY - PLUMMER PLUMMER MILWAU SHAW WHITE OAK - QUINCY'S SECTORS OCTOPUS LADY - MILA CORPUS VERNER SPRINKLE LADDER - GREENE MILWAU'S SPRINKLE	2-1/2" OIL	0 0 0
	86	LEADY SHAW WHITE - ALLEN SOCIETY'S LEADY RED SHAW WHITE - ALLEN MILWAU RED SHAW GOLDEN MIL - KESTERDA MILWAU	2-1/2" OIL	0 0 0
	95	ALSTON MIL - PLUMMER MILWAU WHITE MIL - PLUMMER MILWAU GOLDEN MIL - PLUMMER MILWAU GOLDEN MIL - PLUMMER MILWAU	6-8" MIL	0 0 0
	97	EXETER MILWAU - MILWAU MILWAU PLUMMER MILWAU - MILWAU MILWAU SHAW WHITE OAK - MILWAU MILWAU MILWAU MILWAU - MILWAU MILWAU	1-1/2" OIL	0 0 0
	129	CHANCE MILWAU - MILWAU MILWAU	3 OIL OIL	0 0 0

TREES REQUIRED = 1 TREE PER 3,000 S.F. OPEN SPACE

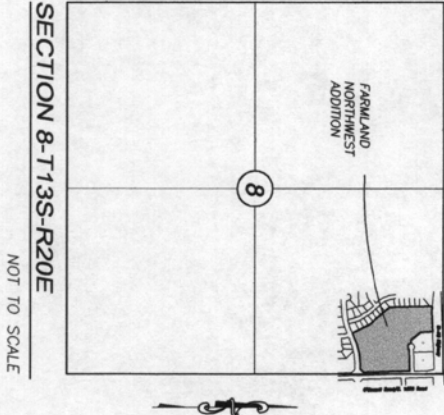
OPEN SPACE TREES REQUIRED = 141

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NOTE:
ALL SCREENING AND LANDSCAPING SHALL MEET CITY OF LAMARCE MINIMUM REQUIREMENTS PER SECTION 20-14404.8 AND 20-1214.

Location Map:



Notes and Sections

SW Corner
K-10 Highway &
E 1600 Road
Lawrence, KS

REVISIONS:

FEB 3, 2004
FEB 18, 2004

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